



# 10

PHASED CONDITIONAL USE PERMIT PACKAGE 7/2/2021

## SLO CAL ROOTS DISPENSARY

The SLOCAL Roots Dispensary offers the unique opportunity to provide the City with a burgeoning wellness service. The featured living wall and climbing vine trellises bring the site's landscaping in direct contact with the dispensary itself, hinting at the natural, healing nature of the products provided within its fresh, well-lit interiors. The large expanse of glass storefronts that span the buildings' front elevations nod to the building's current use as an auto-repair shop. The structures' exterior color scheme and materials pay homage to the familiar surrounding hills that define the area as they draw inspiration from the silvery bark of the oaks as well as the goldenrod of the natural flora. The project will be built in two phases. Phase 1 will involve a minor interior remodel of Building 1 enabling it to operate as a temporary dispensary while the major remodel of the site and Building 2 takes place in Phase 2. Building 1 will then be remodeled into an office space at the end of Phase 2 ceasing to operate as a dispensary once Building 2 is operating as the permanent dispensary retail space.

*Prepared by TEN OVER STUDIO*



## PHASED TIMELINE

PHASE I : 6.5 MONTHS FROM ENTITLEMENTS REVIEWS TO OPERATION DATE (DEC. 23, 2021)

PHASE II: 18 MONTHS FROM RECEIPT OF PERMIT

## BUILDING INFO

	PHASE 1	PHASE 2
<b>BUILDING 01 -OFFICE</b>		
<b>OCCUPANCY</b>	M	B
<b>CONSTRUCTION TYPE</b>	VB	VB
<b>SPRINKLER SYSTEM</b>	NONE	NONE
<b>STORIES PROPOSED</b>	1	1
<b>HEIGHT PROPOSED</b>	14'	14'
<b>BUILDING AREA SF</b>	612 SF	612 SF
<b>BUILDING 02 - RETAIL</b>		
<b>OCCUPANCY</b>	N/A	M
<b>CONSTRUCTION TYPE</b>	N/A	V
<b>SPRINKLER SYSTEM</b>	N/A	NONE
<b>STORIES PROPOSED</b>	N/A	1 + EXISTING MEZZANINE
<b>HEIGHT PROPOSED</b>	N/A	20' = 5,092 SF TOTAL
<b>BUILDING AREA SF</b>	N/A	3,867 SF + 1,225 SF MEZZANINE

## LAND USE REQUIREMENTS

<b>ADDRESS</b>	3535 HIGUERA STREET SAN LUIS OBISPO, CA 93401		
<b>APN</b>	053-256-007		
<b>ZONING</b>	C-S		
<b>OVERLAY ZONES</b>	NONE		
<b>SPECIFIC AREA DESIGN GUIDELINES</b>	NONE		
<b>BUILDING 1 CURRENT USE</b>	BUSINESS OFFICE		
<b>BUILDING 1 PROPOSED USE</b>	AFTER PHASE 1: TEMPORARY DISPENSARY, AFTER PHASE 2: OFFICE BUI		
<b>BUILDING 2 CURRENT USE</b>	AUTO REPAIR SHOP		
<b>BUILDING 2 PROPOSED USE</b>	AFTER PHASE 2: CANNABIS DISPENSARY (RETAIL)		
<b>ALLOWED USE IN ZONE</b>	Y		
<b>ENTITLEMENTS/USE PERMIT REQUIRED</b>	CUP, ARC		
<b>LOT SIZE</b>	18431 SF	.42 ACRE	
<b>MAX SITE COVERAGE</b>	ALLOWABLE 75%	PROPOSED 26%	
<b>FAR</b>	ALLOWABLE 1.5	PROPOSED 0.3	
<b>HEIGHT LIMIT</b>	ALLOWABLE 35'	PROPOSED 20'	
<b>ADJACENT ZONES</b>	NORTH C-S	EAST C-S	SOUTH C-S
	WEST C-S		
<b>SETBACKS:</b>	SIDE NO SETBACK REQUIRED	REAR NO SETBACK REQUIRED	
<b>PARKING DIMENSION</b>	STALL 9' x 18.4' TYP. REFER TO SITE PLAN		
<b>PARKING BAY WIDTH:</b>	REFER TO SITE PLAN		

## ADJACENCY DIAGRAM



Note: No preschool, elementary school, junior high school, high school, public park, playground or licensed daycare center exist within 1000 ft. of the proposed site.

## PROJECT DESCRIPTION

The proposed project involves minor aesthetic updates to an existing 612 SF, 1-story office building, the remodel of a 3,687 SF 1st-story and 1,225 SF mezzanine level existing auto repair shop into a cannabis dispensary retail space with associated business offices. The project will include the addition of several parking spaces to the existing parking lot to meet the project's parking requirements.

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TENOVER

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T1.0





**BICYCLE PARKING REQUIRED**

	UNIT COUNT (OR SF)	TOTAL BICYCLE	SHORT TERM	LONG TERM
<b>BUILDING 1</b>				
RETAIL	612 SF	1 / 1000 SF	1 75%	1 25%
<b>BUILDING 2</b>				
N/A				
	<b>TOTAL</b>		<b>1</b>	<b>1</b>
	<b>REQUIRED TOTAL</b>		<b>1</b>	<b>1</b>
	<b>PROVIDED TOTAL</b>		<b>1</b>	<b>1</b>

USE	ROOM NAME	MAIN OCC. SF	INCIDENTAL SF	ACCESSORY SF
N/A	N/A	N/A		
N/A	N/A	N/A		
<b>TOTAL:</b>		<b>0</b>	<b>0</b>	<b>0</b>
AREA %:			#DIV/0!	#DIV/0!

NOTE: EXISTING 5 PARKING SPACES TO REMAIN UNTIL PHASE II





## BICYCLE PARKING CALCULATIONS PHASE 2

### BICYCLE PARKING REQUIRED

	UNIT COUNT (OR SF)	TOTAL BICYCLE	SHORT TERM		LONG TERM	
<b>BUILDING 1</b>						
OFFICE	612 SF	1 / 2000 SF	1	25%	1	75%
<b>TOTAL</b>					<b>1</b>	<b>1</b>
<b>BUILDING 2</b>						
RETAIL	5092 SF	1 / 1000 SF	5	75%	4	25%
<b>TOTAL</b>					<b>4</b>	<b>1</b>
<b>REQUIRED TOTAL</b>					<b>5</b>	<b>2</b>
<b>PROVIDED TOTAL</b>					<b>5</b>	<b>2</b>

## FLOOR AREAS PHASE 2

### BUILDING 01 FIRST FLOOR

USE	ROOM NAME	MAIN OCC. SF	INCIDENTAL SF	ACCESSORY SF
BUSINESS	OFFICE	386		
BUSINESS	BREAK ROOM	155		
BUSINESS	RESTROOM	60		
<b>TOTAL:</b>		<b>601</b>	<b>0</b>	<b>0</b>
<b>AREA %:</b>			<b>0.00%</b>	<b>0.00%</b>

### BUILDING 02 FIRST FLOOR

USE	ROOM	MAIN OCC. SF	INCIDENTAL SF	ACCESSORY SF
MERCANTILE	RETAIL FLOOR	1997		
BUSINESS	OFFICE	258		
BUSINESS	EMPLOYEE LOUNGE	235		
MERCANTILE	VESTIBULE	94		
MERCANTILE	ROOF ACCESS	21		
MERCANTILE	RESTROOMS	90		
SECURE STORAGE	VAULT			199
SECURE STORAGE	JANITOR			19
SECURE STORAGE	INTAKE			245
SECURE STORAGE	DELIVERY BAY			542
<b>TOTAL:</b>		<b>2695</b>	<b>0</b>	<b>986</b>
<b>AREA %:</b>			<b>0.00%</b>	<b>36.59%</b>
<b>MEZZANINE</b>				
BUSINESS	HALL	196		
BUSINESS	OFFICES	952		
<b>TOTAL:</b>		<b>1148</b>	<b>0</b>	<b>0</b>
<b>AREA %:</b>			<b>0.00%</b>	<b>0.00%</b>

## PARKING CALCULATIONS PHASE 2

### PARKING REQUIRED

USE	AREA SF	PARKING FACTOR	SPACES REQUIRED
BUSINESS	2,225 SF	1/300 SF	8
COMMERCIAL	2,205 SF	1 / 300 SF	8
INDOOR STORAGE	1,035 SF	1/1,500 SF	1
<b>TOTAL</b>			<b>17</b>
<b>TOTAL REQUIRED</b>			<b>17</b>
<b>TOTAL PROVIDED</b>			<b>18</b>

### ADA SPACES

USE	# OF SPACES	ADA FACTOR	ADA REQUIRED
MIXED	18	10% OF SPACES	2 (1 STD., 1 EV)
<b>REQ'D TOTAL</b>			<b>2</b>
<b>PROVIDED TOTAL</b>			<b>1 VAN, 1 EV VAN</b>

### EV REQUIRED

USE	# OF SPACES	EV FACTOR	EV REQUIRED
MIXED	18	3 EV READY SPACES MIN. PLUS 50% EV CAPABLE	3 EV READY +1 EV VAN READY, 9 STANDARD EV CAPABLE
<b>REQ'D TOTAL</b>			<b>4 EV READY, 9 EV CAPABLE</b>
<b>PROVIDED TOTAL</b>			<b>1 VAN, 3 STD EV READY, 9 EV CAPABLE</b>

### CLEAN AIR

USE	# OF SPACES	CLNR AIR FACTOR	CLEAN AIR REQ'D
MIXED	18	3 @ 26-50 SPCS	1
<b>REQ'D TOTAL</b>			<b>1</b>
<b>PROVIDED TOTAL</b>			<b>1</b>

### MOTORCYCLE

USE	# OF SPACES	PARKING FACTOR	MOTORCYCLE REQ'D
MIXED	18	1 / 20 @ 10+SPCS	1
<b>REQ'D TOTAL</b>			<b>1</b>
<b>PROVIDED TOTAL</b>			<b>1</b>



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SAN LUIS OBISPO, CA  
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**T1.1b**





- SAN LUIS GARBAGE
- SOUTH COUNTY SANITARY
- MISSION COUNTRY DISPOSAL
- MORRO BAY GARBAGE



*Safety • Integrity • Service*

January 21, 2021

Jennifer Brennan  
10 Over Studio, Inc.  
539 Marsh St.  
San Luis Obispo, CA 93401

Re: 3535 S Higuera St.

Jennifer

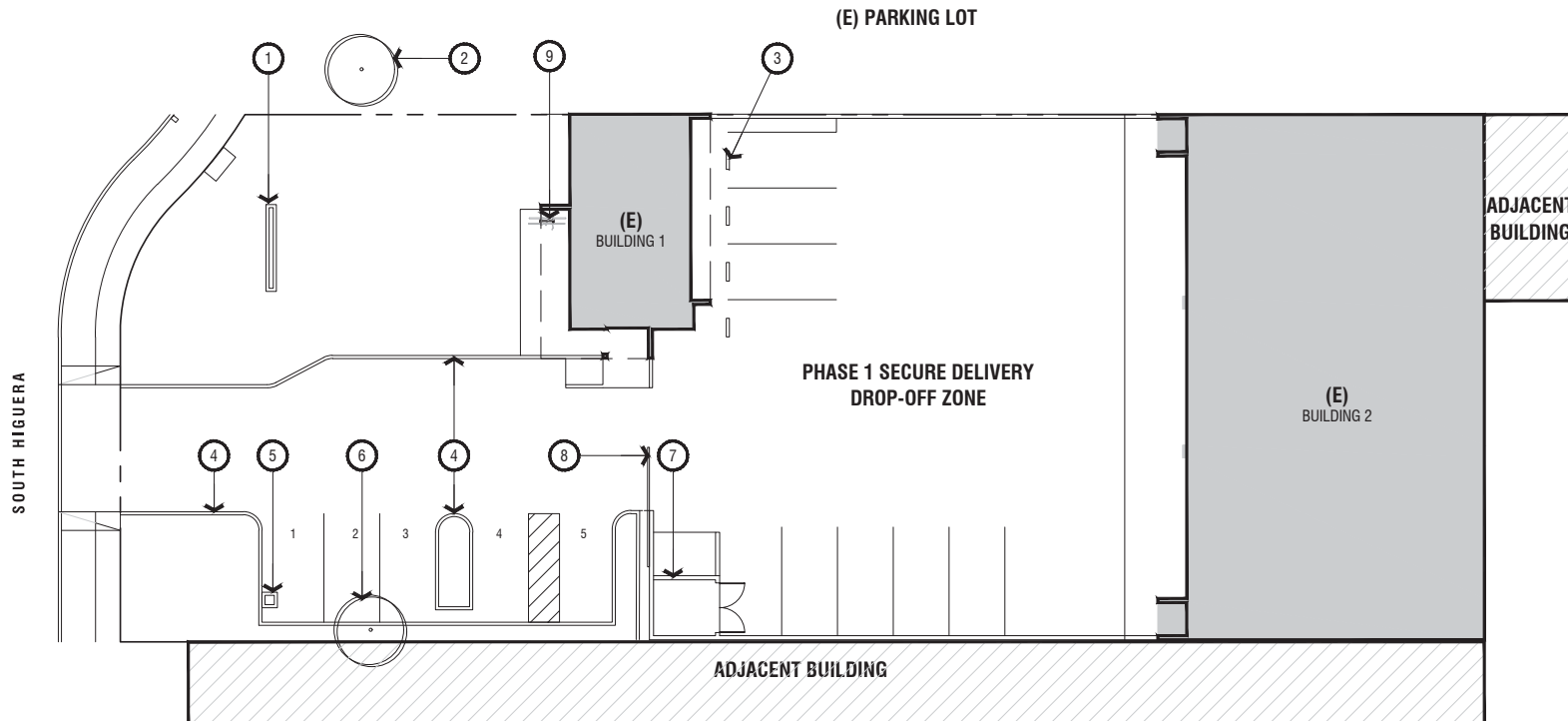
San Luis Garbage Co. has reviewed the garbage and recycling plan for the project at 3535 South Higuera in San Luis Obispo. We approve Site Plan A1.0 for solid waste and recycling services. All bin enclosures must meet building standards established by the City of San Luis Obispo. The gates for the enclosures must open outward and there must be cane bolts added to keep the door secure when open. Holes will need to be drilled into the concrete for the cane bolts to drop in to.

Truck access point and path of travel must be designed in a manner that will accommodate the solid waste and recycling collection vehicles. San Luis Garbage Co. reserves the right to require a waiver, release and hold harmless agreement for damages that may occur during normal collection activities.

Peter Cron  
San Luis Garbage Co.  
805.550.4089  
pcron@wasteconnections.com

## PHASE I SITE PLAN NOTES

1. ALL EXISTING PARKING TO REMAIN AS IS UNTIL PHASE 2. REFER TO PHASE 2 SITE PLAN FOR DETAILS.



## SITE PLAN LEGEND

- (E) BUILDING
- (E) PROPERTY LINE
- (E) ROOF ABOVE

## KEYNOTES

1. (E) MONUMENT SIGN TO REMAIN WITH TEMPORARY, NON-ILLUMINATED NEW BUSINESS LOGO
2. (E) SITE TREE ON NEIGHBORING PROPERTY TO REMAIN
3. (E) CONCRETE WHEEL STOPS TO REMAIN
4. (E) CURB AND PLANTER TO REMAIN
5. (E) STORM DRAIN TO REMAIN
6. (E) SITE TREE TO REMAIN
7. (E) TRASH ENCLOSURE AND AIR COMPRESSOR TO REMAIN
8. (E) OPAQUE ROLLING SECURITY GATE TO REMAIN
9. (N) BIKE RACK PER BIKE PARKING CALCULATIONS SHEET T1.1a

N  
PHASE I  
SITE PLAN  
SCALE: 1" = 20'-0"

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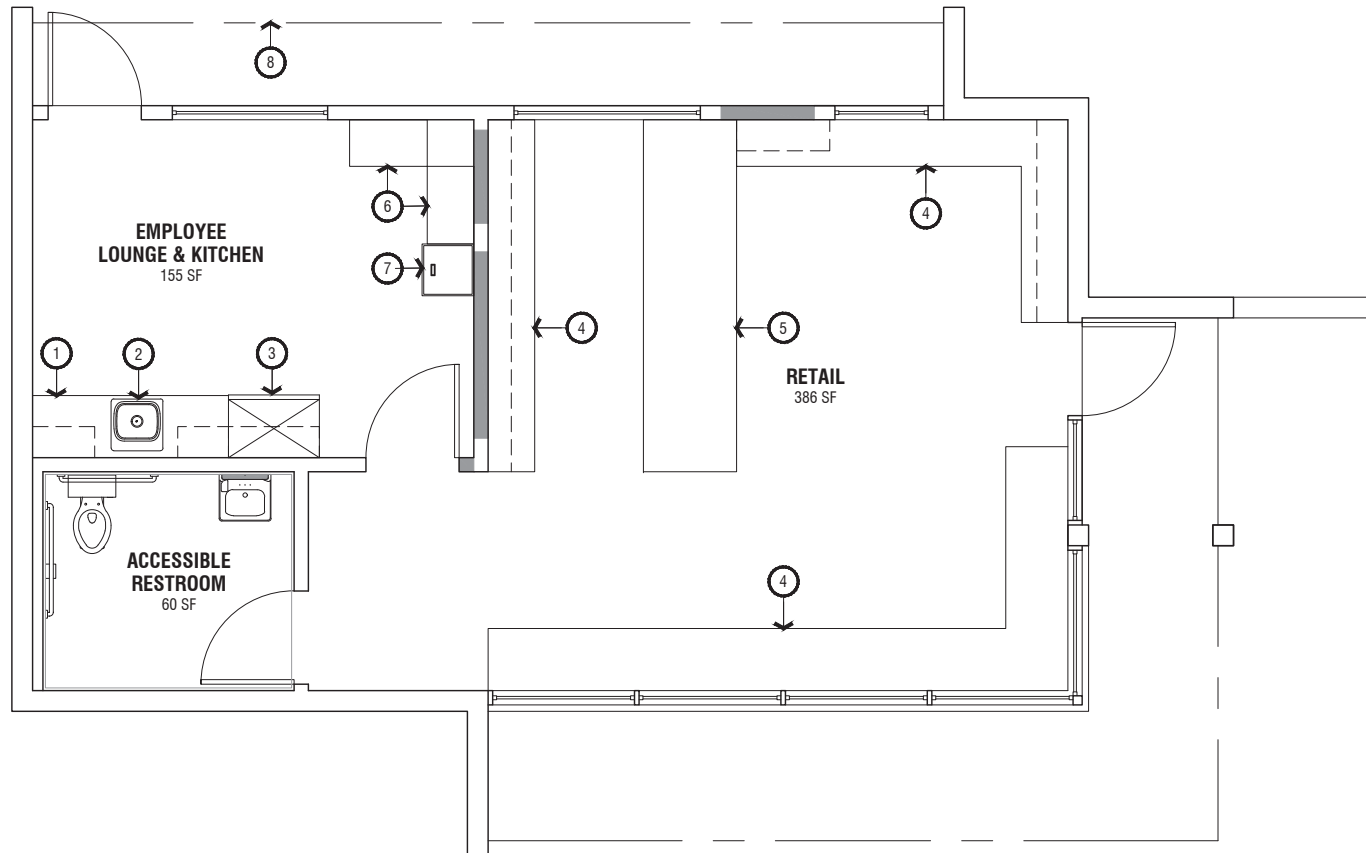
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A1.0a





## KEYNOTES

1. (N) COUNTER AND UPPER CABINETS
2. (N) SINK
3. (N) REFRIGERATOR
4. (N) BUILT-IN CASEWORK/SHELVING
5. (N) LOCKABLE DISPLAY COUNTER
6. (N) LOCKABLE STORAGE SAFE
7. (N) LOCKABLE WASTE CONTAINER
8. LINE OF (E) ROOF ABOVE



## PHASE I BUILDING 1 - FLOOR PLAN

SCALE: 1/4" = 1'-0"

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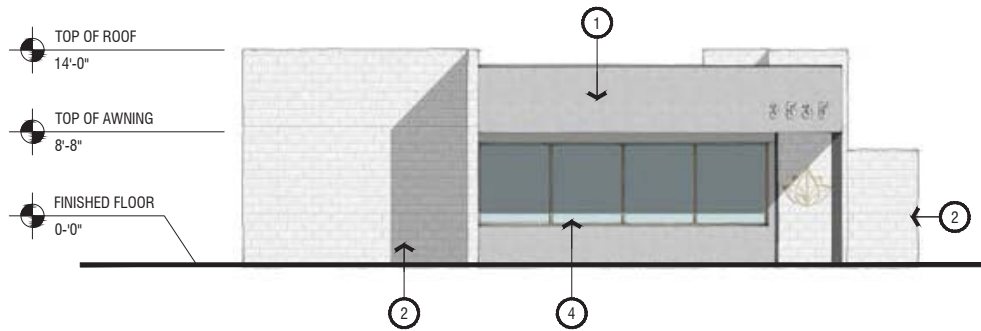
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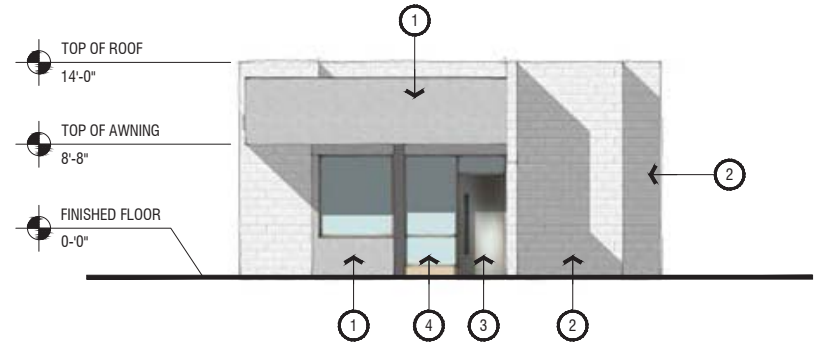
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**A2.0a**



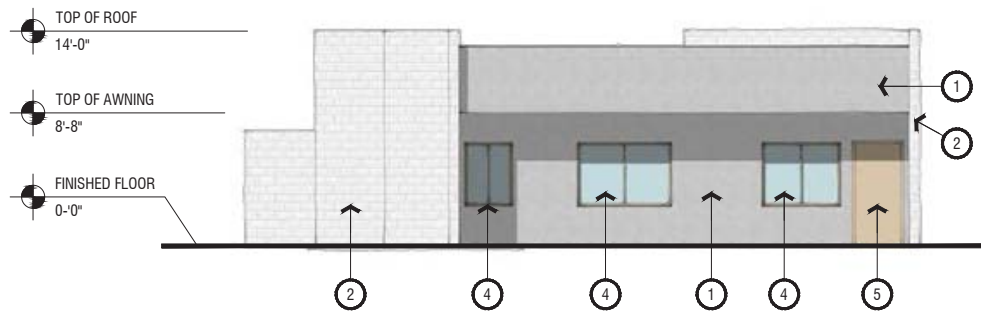
**OFFICE BUILDING 1 WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**OFFICE BUILDING 1 SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**OFFICE BUILDING 1 EAST ELEVATION**

SCALE: 1/8" = 1'-0"

### KEYNOTES

1. (E) PAINTED STUCCO
2. (E) PAINTED CMU WALL
3. (N) MTL. DOOR TO REPLACE (E) DOOR
4. (E) WINDOW IN (E) WINDOW OPENING
5. (E) DOOR

### PHASE I BUILDING EXTERIOR ELEVATIONS

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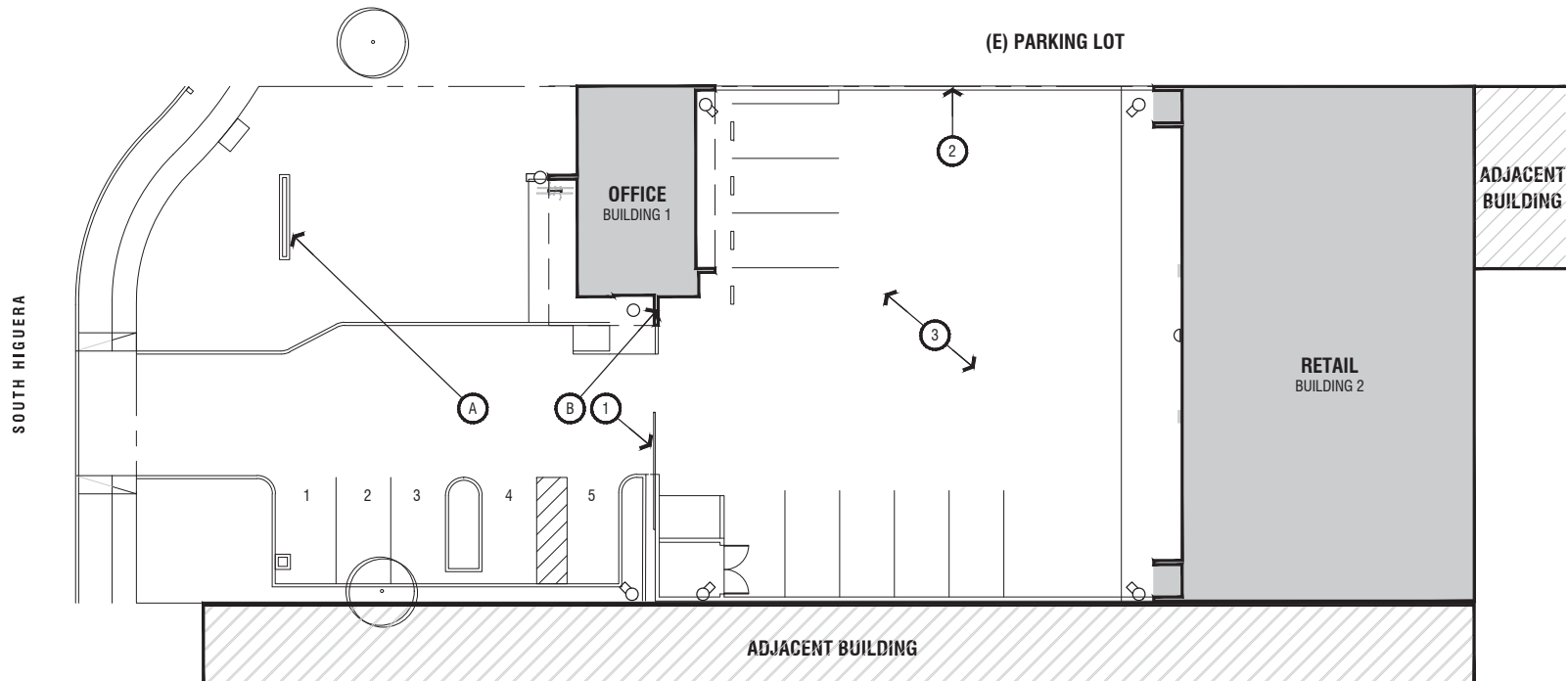
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**A3.0a**



## SYMBOL LEGEND

- ⊞ 5MP TURRET DOME CAMERA
- 12MP 360° FISH EYE CAMERA
- ⊞ 4MP 2.8-12mm REGISTER ZOOM CAMERA
- ⊞ 8MP 180° CAMERA
- ⊞ SURVEILLANCE SYSTEM STORAGE DEVICE



## SAFETY PLAN KEYNOTES

1. (E) ROLLING GATE TO BE LOCKED DURING DELIVERIES.
2. (E) 8' HIGH CONCRETE BLOCK WALL
3. SECURE DROP OFF ZONE

## SIGNAGE PLAN KEYNOTES

- A. (E) MONUMENT SIGN, TO BE REUSED FOR PHASE 1
- B. COMPANY LOGO ON WING WALL OF BUILDING, REFER TO DETAILS ON SHEET A6.0



## PHASE I SITE SAFETY & SIGNAGE PLAN

SCALE: 1" = 20'-0"

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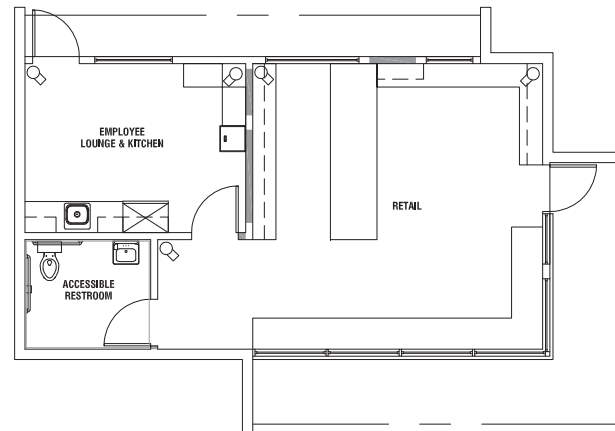
**SLO CAL ROOTS DISPENSARY**

3535 S. HIGUERA  
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DATE: 7/2/2021

**A5.0a**

## SYMBOL LEGEND

- ⦿ 5MP TURRET DOME CAMERA
- 12MP 360° FISH EYE CAMERA
- ⦿ 4MP 2.8-12mm REGISTER ZOOM CAMERA
- ⦿ 8MP 180° CAMERA
- ☐ SURVEILLANCE SYSTEM STORAGE DEVICE



**PHASE I**  
**TEMPORARY DISPENSARY SAFETY PLAN**  
*SCALE: 1/8" = 1'-0"*

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**A5.1a**



WALL SIGN CALCULATION BUILDING 1

ALLOWED SIGNAGE AREA:	15% OF BUILDING FACE
FRONT WINDOW:	192 SF
WINDOW SIGN:	11.25 SF
11.25 / 192 SF	= 0.05
	= 5%

MONUMENT SIGN CALCULATION

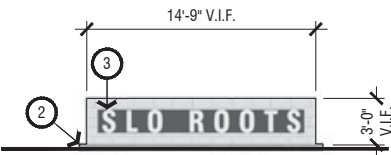
ALLOWED MAX SIGN SQ FOOTAGE:	24
PROPOSED MONUMENT SIGN SQ FOOTAGE:	24
WINDOW SIGN:	
55 / 628 SF	= 0.08
	= 8%

NOTE:

MONUMENT SIGN TO BE TEMPORARY IN PHASE 1  
USING EXISTING MONUMENT SIGN BASE



BUILDING 2 - DISPENSARY



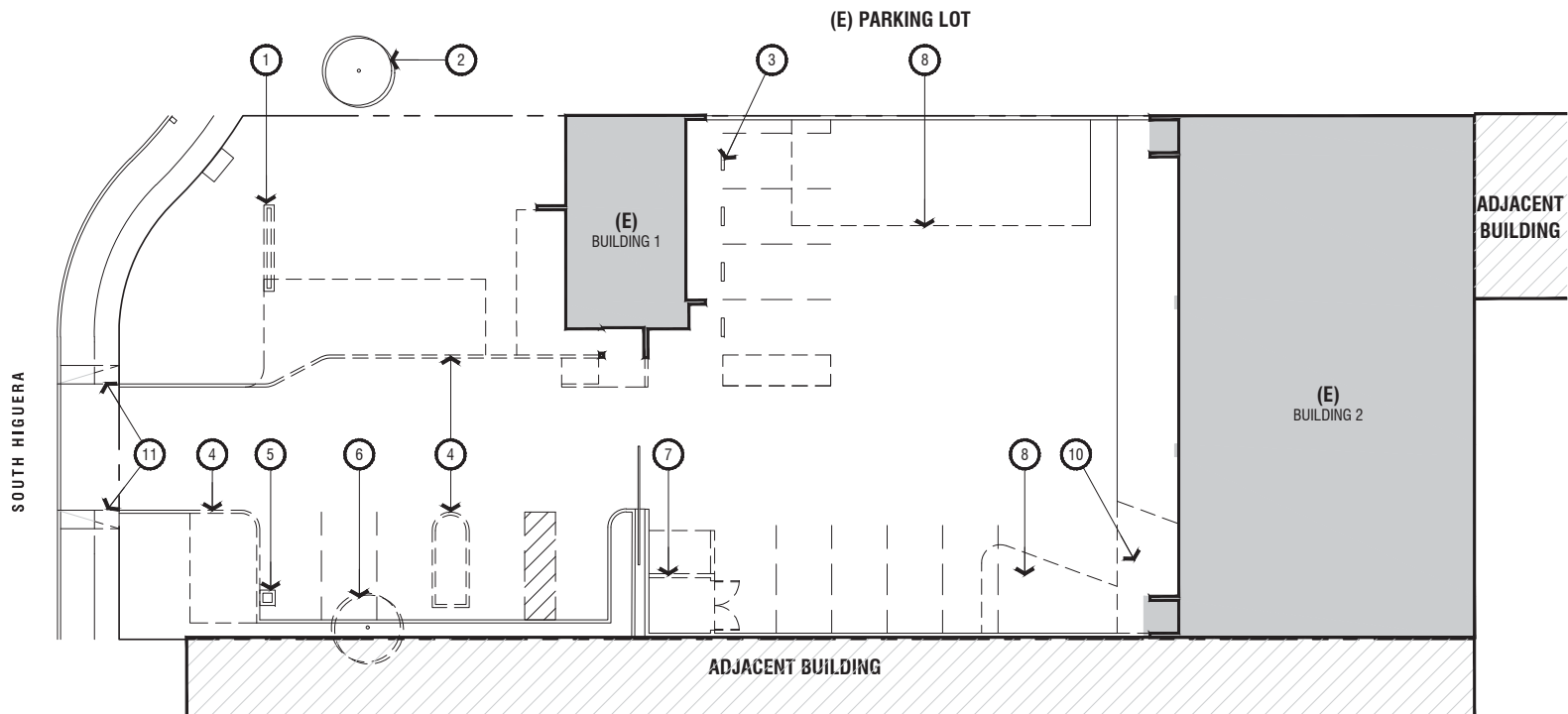
MONUMENT SIGN

KEYNOTES

- 1. (N) BUILDING WALL LOGO
- 2. (E) CONCRETE BASE
- 3. (E) CONC. BLOCK MONUMENT SIGN WITH (N) NON ILLUMINATED TEMPORARY SIGNAGE WITH SLOCAL ROOTS NAME AND/OR LOGO

PHASE I  
SIGNAGE PLAN

SCALE: 1/8" = 1'-0"



## SITE PLAN LEGEND

- (E) BUILDING
- (E) PROPERTY LINE
- (E) TO BE DEMOLISHED

## SITE DEMO PLAN NOTES

1. ASPHALT PARKING AREA TO BE RE-SEALED AND RE-STRIPED PER PROPOSED SITE PLAN ON SHEET A1.1

## KEYNOTES

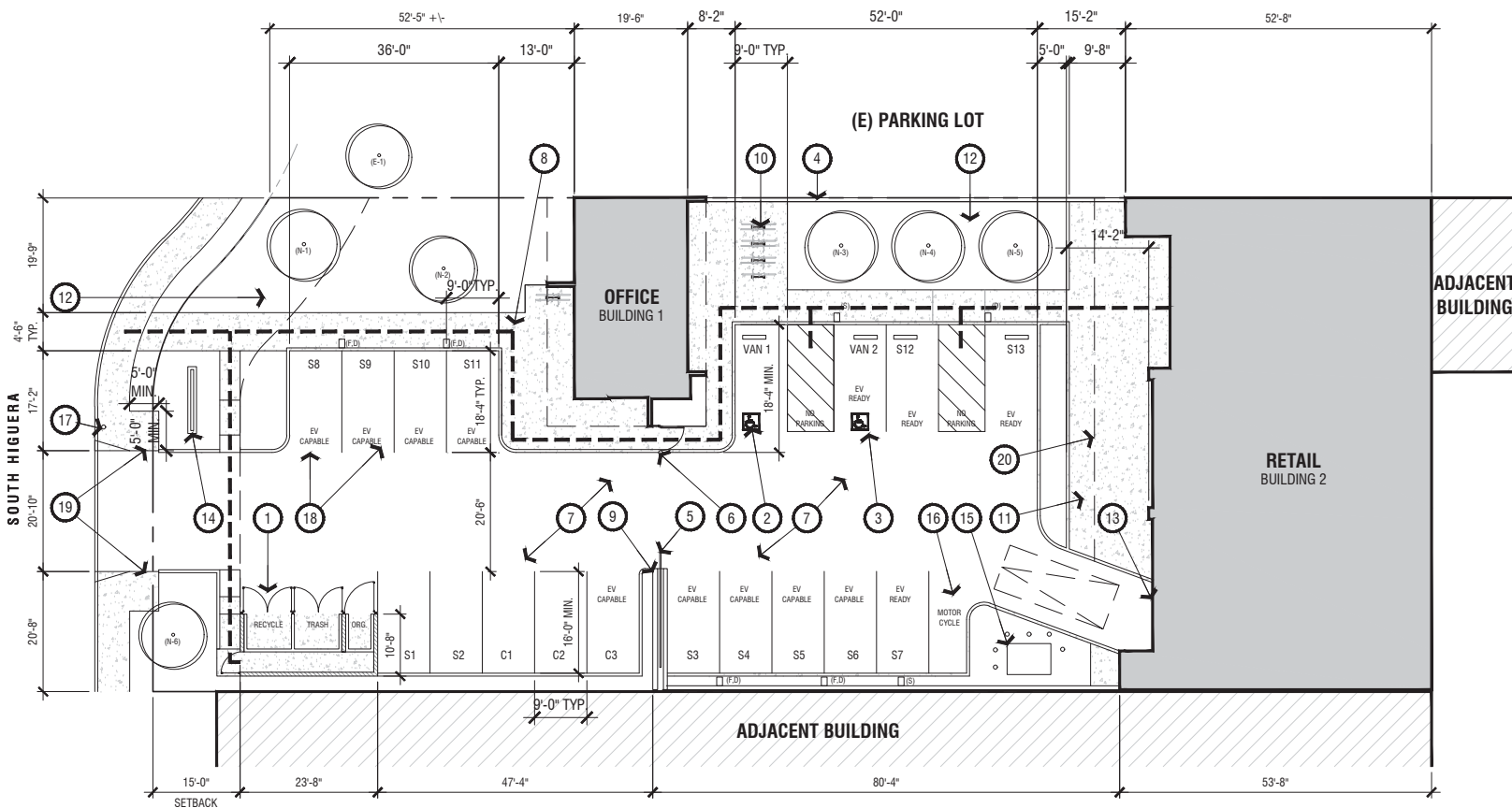
1. (E) MONUMENT SIGN TO BE REMOVED AND REPLACED
2. (E) SITE TREE ON NEIGHBORING PROPERTY TO REMAIN
3. (E) CONCRETE WHEEL STOPS TO BE REMOVED AND REPLACED
4. (E) CURB AND PLANTER TO BE REMOVED
5. (E) STORM DRAIN TO BE REMOVED AND REPLACED
6. (E) SITE TREE TO BE REMOVED AND BE REPLACED, SEE SHEET L1.0 FOR MORE INFORMATION
7. (E) TRASH ENCLOSURE AND GENERATOR TO BE REMOVED AND REPLACED IN AN ALTERNATE LOCATION, REFER TO SHEET A1.1
8. (E) ASPHALT PAVING TO BE REMOVED FOR NEW PLANTER, REFER TO LANDSCAPE SHEETS
9. (E) ROLLING GATE TO BE REMOVED AND REPLACED
10. CONCRETE WALKWAY TO BE REMOVED TO CREATE SECURED VEHICLE ENTRY FOR DELIVERIES
11. (E) CONCRETE TO BE REMOVED AND REPLACED WITH (N) ADA SIDEWALK EXTENSION, SEE SHEET A1.1



## PHASE II SITE DEMO PLAN

SCALE: 1" = 20'-0"





## SITE PLAN LEGEND

- AREA NOT IN SCOPE
- (E) BUILDINGS
- (E) PROPERTY LINE
- BUILDING SETBACK
- ACCESSIBLE PATH OF TRAVEL
- (N) OR (E) SITE TREE TO REMAIN, REFER TO LANDSCAPE PLAN SHEET L1.0
- S# STANDARD PARKING STALL 9' WIDE X 18'-4" DEEP
- C# STANDARD PARKING STALL 9' WIDE X 16' DEEP MIN. TYP.
- VAN # STANDARD ACCESSIBLE VAN STALL, 9' WIDE X 18'-4" DEEP MIN. TYP.
- (D) DUAL EV CHARGER
- (S) SINGLE EV CHARGER
- (F) FUTURE EV CHARGER

## KEYNOTES

1. (N) CMU TRASH ENCLOSURE SHALL MEET CITY OF SLO ENGINEERING STANDARDS.
2. (N) ACCESSIBLE PARKING STALL
3. (N) ACCESSIBLE EV STALL
4. (E) CMU WALL
5. (N) ROLLING GATE TO BE CLOSED DURING DELIVERIES.
6. (N) POLE AND GATE LATCH
7. (E) PAVING TO BE RE-STRIPPED
8. (N) CONCRETE WALKWAY
9. (N) CONCRETE BLOCK WALL
10. (N) BIKE PARKING
11. (N) CONCRETE SLAB
12. (N) LANDSCAPING AREA
13. (N) SECURE DROP OFF ENTRANCE
14. (N) MONUMENT SIGN, SHALL MEET 10'-0" STREET SETBACK REQUIREMENT
15. (N) GENERATOR LOCATION
16. (N) MOTORCYCLE PARKING
17. (E) FIRE HYDRANT
18. (N) PAVEMENT FOR ADDITIONAL SITE PARKING
19. (N) ADA SIDEWALK EXTENSION PER CITY OF SLO ENGINEERING STANDARDS
20. LINE OF (E) CONCRETE TO REMAIN



## PHASE II SITE PLAN

SCALE: 1" = 20'-0"

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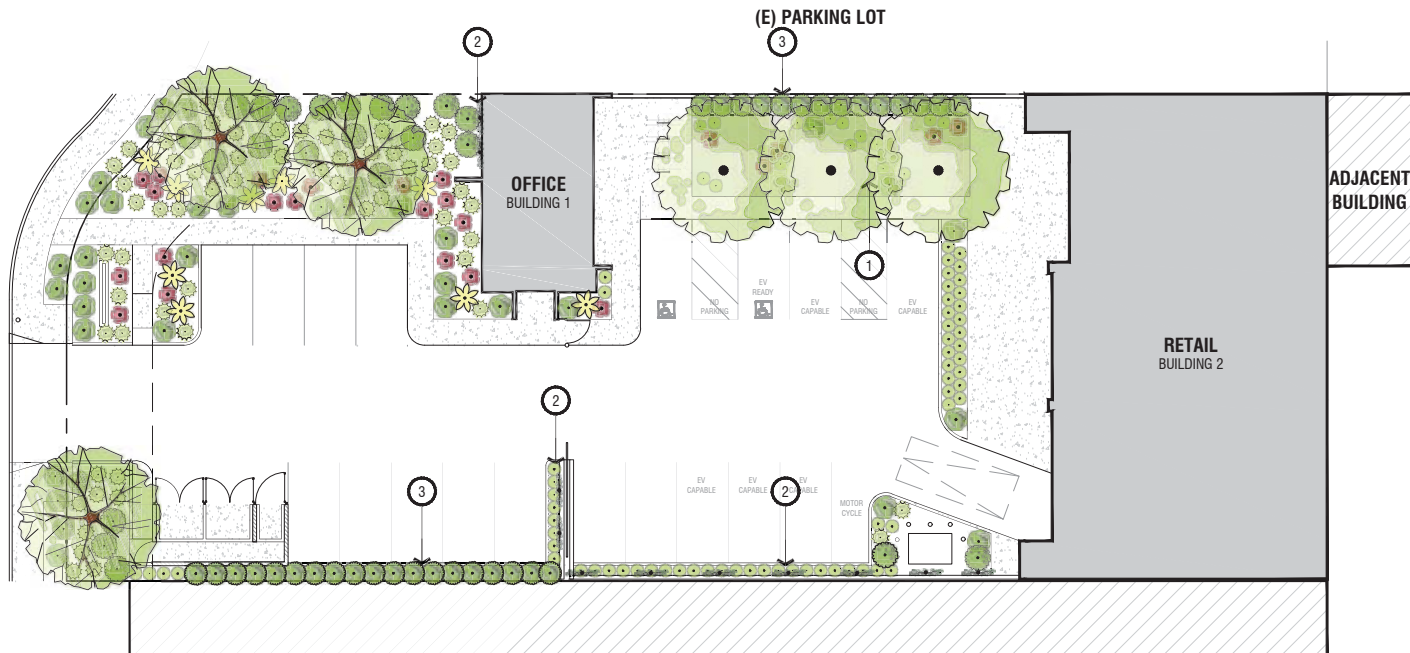
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## SLO CAL ROOTS DISPENSARY

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**A1.1b**

SOUTH HIGUERA



## KEYNOTES

1. (N) DECOMPOSED GRANITE MULCH
2. (N) CLIMBING VINES ON WALL
3. (N) TALL HEDGE-TYPE WALL
4. (N) STREET/SITE TREE, SEE SHEET LI.1  
FOR MORE INFORMATION
5. (E) STREET TREE ON ADJACENT SITE



## PHASE II LANDSCAPE PLAN

SCALE: 1" = 20'-0"

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**L1.0b**

## PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS
	3	Gleditsia triacanthos inermis `Shademaster` / Shademaster Locust	24"box	Size: to 45' Tall & up to 40' Wide WUCOLS PF: .1-3
	3	Platanus x hispanica / London Plane Tree	24"box	Size: 40-60' Tall & 40-50' Wide WUCOLS PF: .4-6
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
	38	Arctostaphylos x `Emerald Carpet` / Emerald Carpet Manzanita	1 gal	Size: <1' Tall & 3-4' Wide WUCOLS PF: .4-6
	82	Calamagrostis x acutiflora `Karl Foerster` / Feather Reed Grass	1 gal	Size: 4-5' Tall & 2-3' Wide WUCOLS PF: .4-6
	4	Clematis armandii / Evergreen Clematis	5 gal	Size: Climbing to 15' Tall & Wide WUCOLS PF: .4-6
	9	Furcraea foetida `Variegata` / Variegated False Agave	3 gal	Size: 3-5' Tall & 6-8' Wide WUCOLS PF: .1-3
	24	Hesperaloe parviflora `Perpa` TM / Brakelights Red Yucca	1 gal	Size: 2-3' Tall & Wide WUCOLS PF: .1-3
	32	Ligustrum japonicum / Japanese Privet	5 gal	Size: 8-12' Tall & 6' Wide WUCOLS PF: .4-6
	58	Lomandra longifolia `Roma 13` TM / Platinum Beauty Variegated Mat Rush	1 gal	Size: 2-3' Tall & Wide WUCOLS PF: .1-3
	23	Pittosporum tobira `Variegata` / Variegated Mock Orange	5 gal	Size: 4-5' Tall & Wide WUCOLS PF: .1-3
	7	Trachelospermum jasminoides / Star Jasmine Trellis	5 gal	Size: Climbing to 15' Tall & Wide WUCOLS PF: .4-6

## LEGEND

SYMBOL	DESCRIPTION	QTY
	COMPACTED DECOMPOSED GRANITE MULCH 3" DEPTH, NON-STABILIZED	687 sf
	12/09/2020 EXISTING LANDSCAPE AREA: 3,450 SF POST CONSTRUCTION LANDSCAPE AREA: 3,475 SF	

## PLANT PHOTOS



Shademaster Honey Locust



Feather Reed Grass



Brakelights Red Yucca



Variegated Mock Orange



London Plane Tree



Evergreen Clematis



Japanese Privet



Star Jasmine Trellis



Emerald Carpet Manzanita



Variegated False Agave



Platinum Beauty Variegated Mat Rush

## PHASE II PLANT SCHEDULE

NTS

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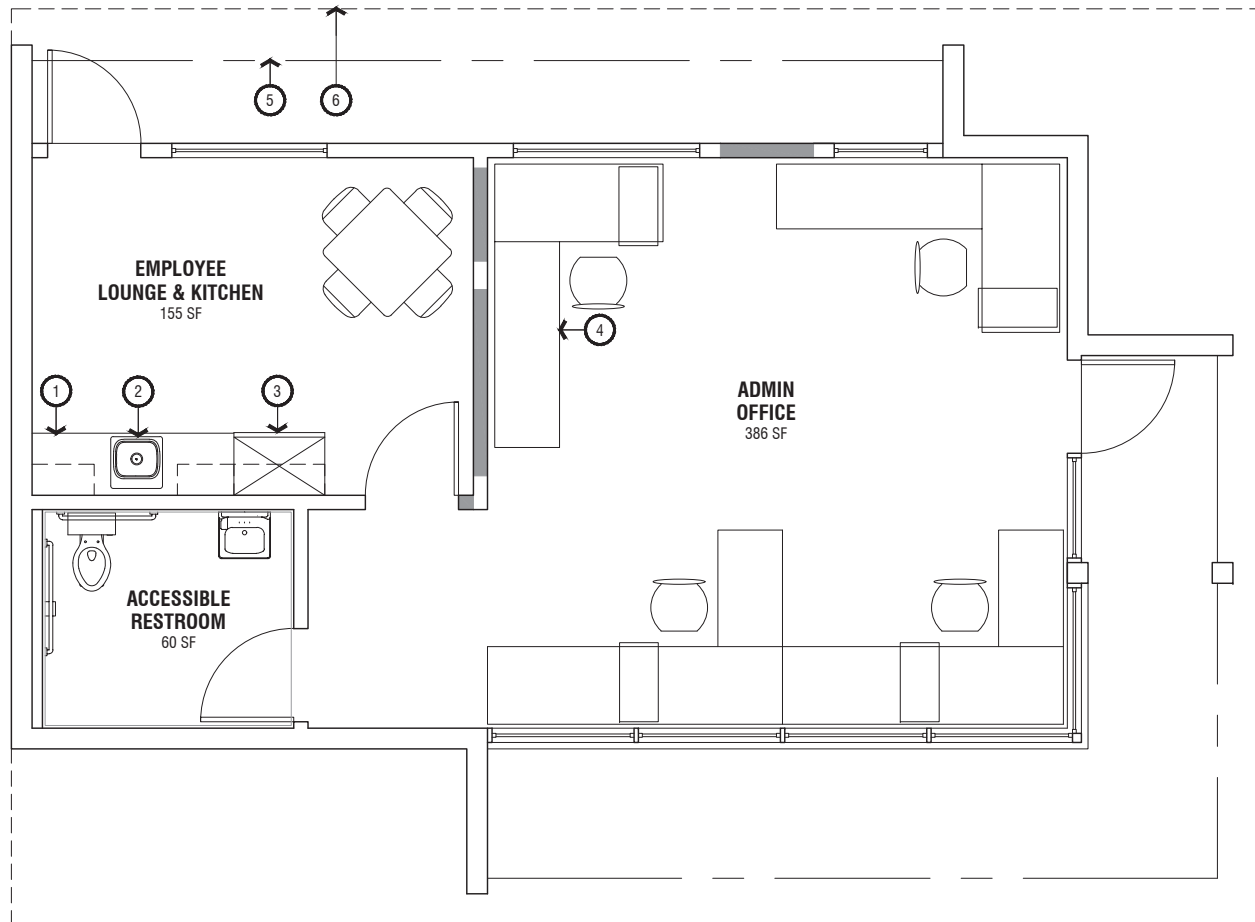
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info@tenoverstudio.com

## SLO CAL ROOTS DISPENSARY

3535 S. HIGUERA  
SAN LUIS OBISPO, CA  
DATE: 7/2/2021

L1.1b



## KEYNOTES

1. (N) COUNTER AND UPPER CABINETS
2. (N) SINK
3. (N) REFRIGERATOR
4. (N) OFFICE DESKS
5. (E) ROOF OVERHEAD
6. (N) AWNING OVERHEAD



## PHASE II BUILDING 1 - FLOOR PLAN

SCALE: 1/4" = 1'-0"

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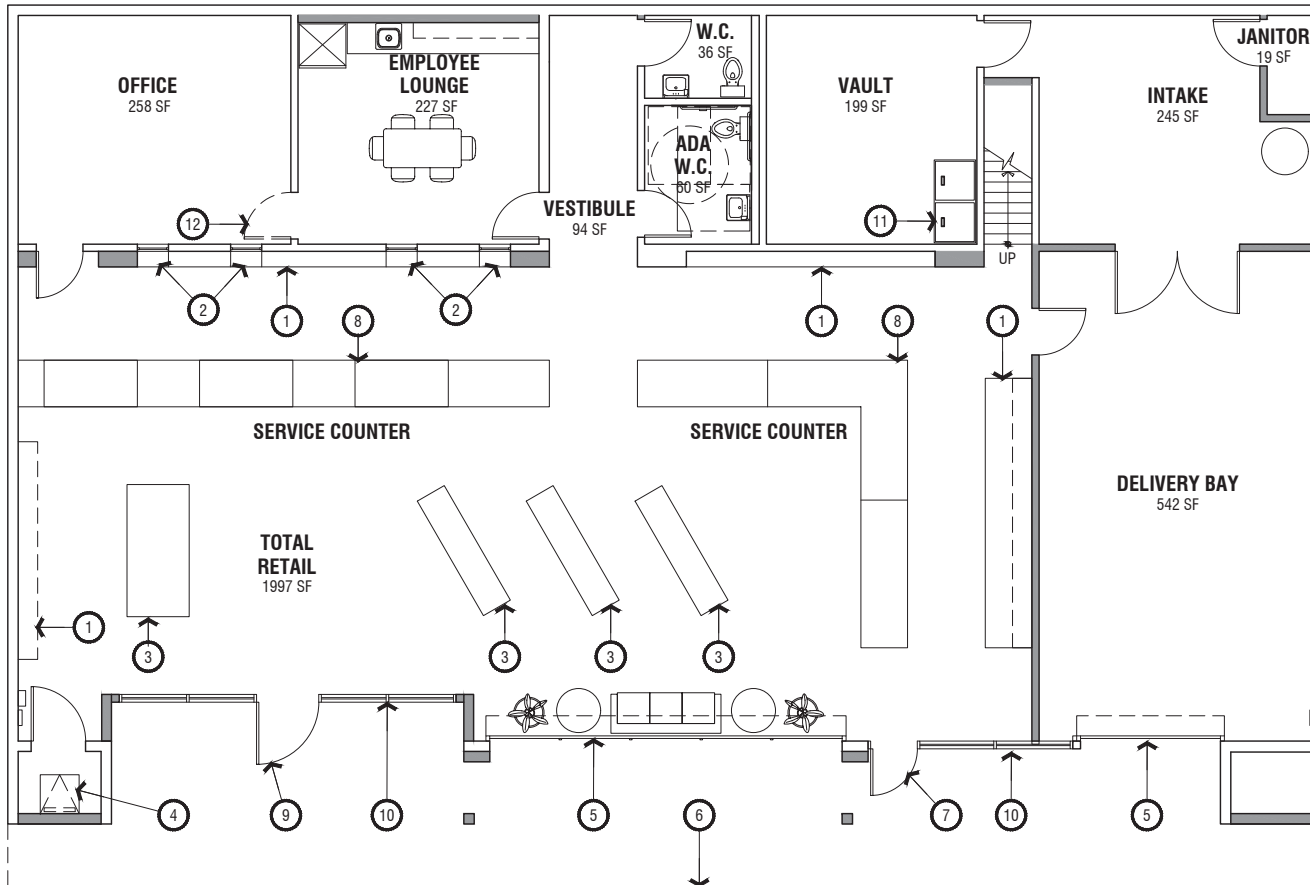
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**A2.0b**





## KEYNOTES

1. (N) BUILT-IN CASEWORK/SHELVING
2. (N) RECESSED WINDOWS
3. (N) NON-CANNABIS DISPLAY SHELVES
4. (N) ROOFTOP ACCESS LADDER
5. (N) OVERHEAD ROLL-UP DOOR
6. (N) ROOF CANOPY ABOVE
7. (N) SECONDARY EXIT DOOR
8. (N) LOCKABLE DISPLAY SERVICE COUNTER
9. (N) MAIN ENTRY DOOR
10. (N) STOREFRONT GLAZING
11. (N) SECURED CANNABIS WASTE RECEPTACLE
12. (N) POTENTIAL ALTERNATE DOOR



## PHASE II - BUILDING 2 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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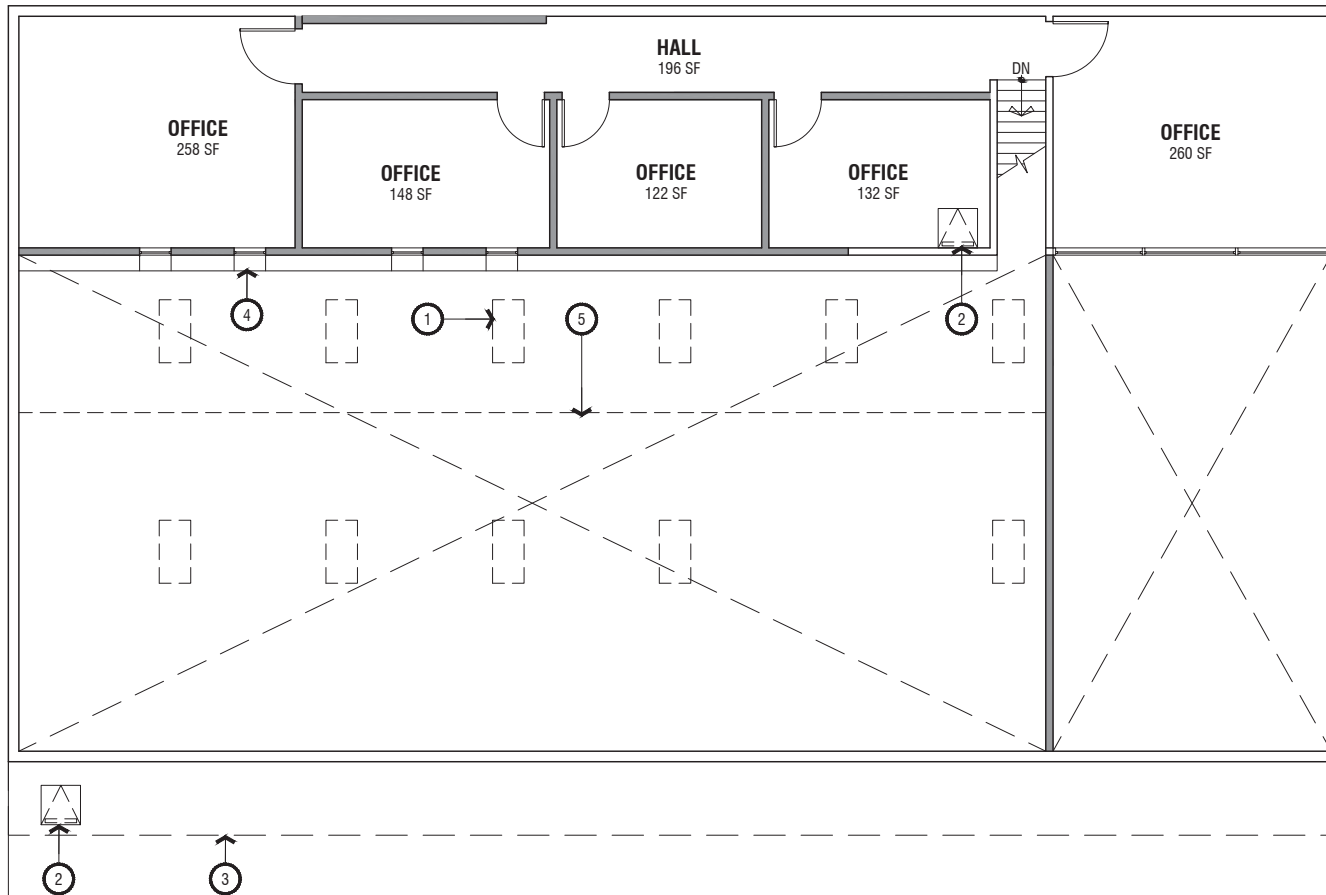
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#### KEYNOTES

1. (E) SKYLIGHTS TO REMAIN
2. ROOFTOP ACCESS LADDER
3. (N) PLANT WALL
4. (N) RECESSED WINDOWS
5. EDGE OF (N) DROPPED CEILING

#### PHASE II - BUILDING 2 MEZZANINE FLOOR PLAN

SCALE: 1/8" = 1'-0"



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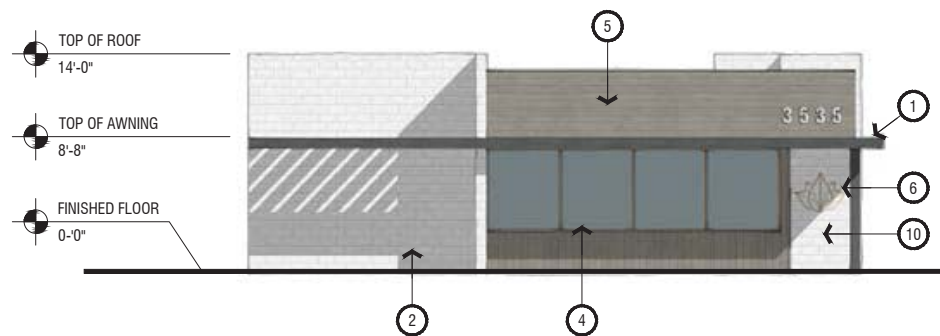
**A2.2b**



### RETAIL BUILDING 2 WEST ELEVATION

SCALE: 1/8" = 1'-0"

RETAIL BUILDING 2'S ADDITIONAL ELEVATIONS ARE SHARED WALLS WITH NEIGHBORING BUILDINGS. NO CHANGES WILL BE MADE TO THE ELEVATIONS. REFER TO SITE PLAN AND 3D IMAGES SHEETS



### OFFICE BUILDING 1 WEST ELEVATION

SCALE: 1/8" = 1'-0"

### KEYNOTES

1. (N) AWNING
2. (E) PAINTED CMU EXTERIOR WALL
3. (N) METAL ENTRY DOOR
4. (N) WINDOW IN (E) WINDOW OPENING
5. (N) EXTERIOR HORIZONTAL WOOD SIDING
6. (N) LOGO DECAL
7. (N) MAIN STORE LOGO
8. (N) STOREFRONT ASSEMBLY
9. (N) SECTIONAL ROLL-UP DOOR
10. (N) EXTERIOR VERTICAL WOOD SIDING
11. (N) STOREFRONT LOGO DECALS
12. (N) LIVING WALL OR FAUX LIVING WALL

### PHASE II BUILDING EXTERIOR ELEVATIONS

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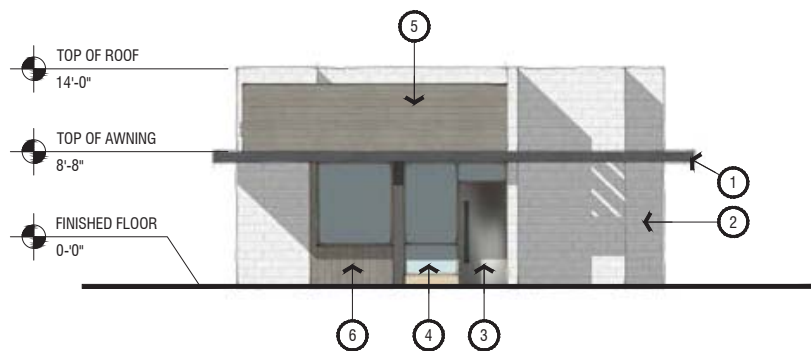
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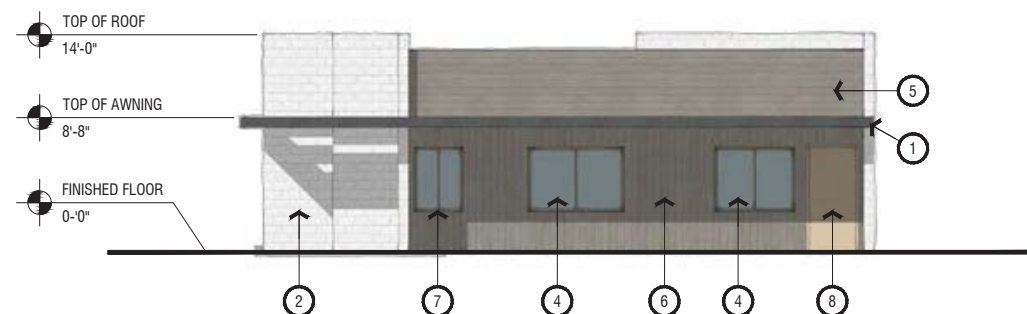
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**A3.0b**



**OFFICE BUILDING 1 SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**OFFICE BUILDING 1 EAST ELEVATION**

SCALE: 1/8" = 1'-0"

## KEYNOTES

1. (N) AWNING
2. (E) PAINTED CMU WALL
3. (N) MTL. DOOR TO REPLACE (E) DOOR
4. (N) WINDOW IN (E) WINDOW OPENING
5. (N) EXTERIOR HORIZONTAL WOOD SIDING
6. (N) EXTERIOR VERTICAL WOOD SIDING
7. (N) WINDOW IN (E) DOOR OPENING
8. (E) DOOR

## PHASE II BUILDING EXTERIOR ELEVATIONS

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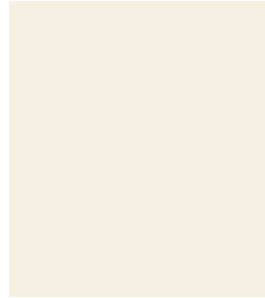
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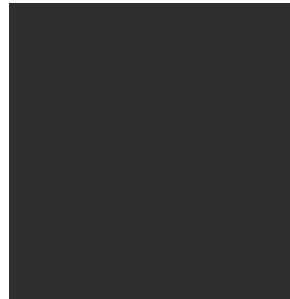
BAY TRIM  
SW 7401 VAN DYKE BROWN



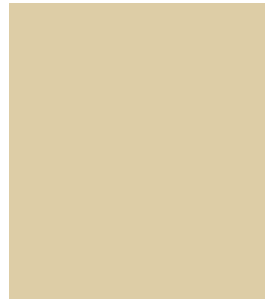
WOOD SIDING  
SEMI-TRANSPARENT SILVER STAINED WOOD



CMU WALLS  
SW 7562 ROMAN COLUMN



CANOPY FASCIA  
SW 6258 TRICORN BLACK



STOREFRONT  
SW 6407 ANCESTRAL GOLD



PHASE II  
COLOR AND MATERIALS





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A4.3b





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A4.4b



## SAFETY PLAN GENERAL NOTES

(FROM SAN LUIS OBISPO POLICE DEPARTMENT CANNABIS BUSINESS SECURITY PLAN REQUIREMENTS 09/12/19)

1. ALL WINDOWS TO BE ABLE TO BE SECURED FROM THE INSIDE IN A MANNER THAT PREVENTS THEM FROM BEING OPENED FROM THE OUTSIDE.

2. WINDOWS SHALL BE COVERED WITH A FILM OR COVERING ON THE INTERIOR SO THAT NO CANNABIS , CANNABIS RELATED PRODUCTS OR CANNABIS RELATED MOVEMENTS ARE VISIBLE FROM THE OUTSIDE. ALL WINDOWS (INTERIOR AND EXTERIOR) SHALL BE SHATTERPROOF GLASS, OR SAFETY FILM, OR SIMILAR PRODUCT TO PREVENT UNWANTED ENTRY TO THE PREMISES.

3. ALL ROOF HATCHES SHALL BE CONSTRUCTED IN A WAY TO ELIMINATE ANY UNWANTED ACCESS FROM THE ROOF.

4. ALL SKYLIGHTS SHALL HAVE THE SAME REQUIREMENTS AS GROUND LEVEL WINDOWS.

5. ANY VENTILATION AIR DUCT WORK SHALL BE SEALED TO ELIMINATE ANY POSSIBLE INTRUSION INTO ANY CANNABIS FACILITY.

6. ALL SECURITY FENCING SHALL BE OF SUFFICIENT HEIGHT AND DESIGN SO AS TO BE CLEAR FROM HOLES AND DAMAGE TO PREVENT A PERSON FROM CLIMBING THROUGH OR OVER.

7. ALL NON-PUBLIC ACCESS ENTRY/EXIT DOORS SHALL ONLY BE OPENED BY USE OF A KEY OR OTHER APPROVED METHOD ON THE EXTERIOR OR BY REMOTE RELEASE FROM INSIDE THE BUSINESS

8. ALL EMERGENCY EXIT DOORS SHALL BE EASILY OPENED FROM THE INTERIOR BY WAY OF ADA COMPLIANT MECHANISM TO ALLOW IMMEDIATE AND UNINHIBITED EXIT FROM THE BUILDING IN THE CASE OF AN EMERGENCY.

9. ALL EXTERIOR DOORS CONTAINING ANY AMOUNT OF GLASS SHALL HAVE THE SAME REQUIREMENTS AS EXTERIOR WINDOWS.

10. ALL NON-PUBLIC ACCESS/ENTRY/EXIT DOORS SHALL BE EQUIPPED WITH A CLOSING MECHANISM THAT WILL AUTOMATICALLY CLOSE THE DOOR WHEN NOT HELD OPEN BY A PERSON.

11. ANY EXTERIOR DOOR USED BY EMPLOYEES TO ENTER ANY BUILDING WILL BE CONTROLLED USING A BIOMETRIC IDENTITY VERIFICATION OR SIMILAR INDIVIDUALIZED SECURITY LEVEL TYPE METHOD AS APPROVED BY THE POLICE DEPARTMENT.

12. EXTERIOR DOORS NOT USED AS EMPLOYEE ACCESS OR DELIVERY DOORS WILL BE SECURED IN A FASHION SO THEY MAY NOT BE OPENED FROM THE EXTERIOR AND WILL BE DEEMED EMERGENCY EXIT DOOR ONLY.

13. ALL EMERGENCY EXIT DOORS WILL BE EQUIPPED WITH AN AUDIBLE ALARM SYSTEM THAT IS MONITORED BY A CENTRAL ALARM COMPANY. ALL EMERGENCY EXIT ALARMS WILL REQUIRE THE DISPATCHING OF A POLICE OFFICER THE SAME AS A BURGLARY ALARM RESPONSE.

14. ALL EMERGENCY EXIT DOORS SHALL BE SOLID CORE WOODEN OR SUBSTANTIAL METAL DOORS FEATURING HINGE-PIN REMOVABLE DETERRENCE. EMERGENCY EXIT DOORS SHALL HAVE LATCH GUARDS AT LEAST TWELVE INCHES (12") IN LENGTH PROTECTING THE LOCKING BOLT AREA. LATCH GUARDS SHALL BE A MINIMUM OF 0.125-INCH THICK STEEL, AFFIXED TO THE EXTERIOR OF THE DOOR WITH NON-REMOVABLE BOLTS, AND ATTACHED SO AS TO COVER THE GAP BETWEEN THE DOOR AND THE DOOR JAMB FOR A MINIMUM OF SIX INCHES (6") BOTH ABOVE AND BELOW THE AREA OF THE LATCH.

15. ALL EMPLOYEE ENTRANCE DOORS SHALL HAVE THE SAME HINGE PIN AND LATCH PROTECTION AS EMERGENCY DOORS.

16. ALL ROLL UP AND DELIVERY DOORS WILL BE CONSTRUCTED OF MEDIUM TO HEAVY GAUGE METAL THAT WILL PREVENT A PERSON FROM EASILY GAINING ACCESS TO THE BUILDING WITHOUT THE USE OF HEAVY TOOLS. ROLL UP AND DELIVERY DOORS WILL BE CONSTRUCTED IN A WAY THAT THEY MAY ONLY BE OPENED FROM THE INTERIOR OF THE BUSINESS. ALL SHIPPING/ RECEIVING AREAS SHALL BE CONDUCTED IN A SECURE, ENCLOSED AREA, NOT VISIBLE TO THE PUBLIC RIGHT OF WAY.

17. ALL LIGHTING SHALL BE COMPLIANT WITH MUNICIPAL CODE 17.70.100 (LIGHTING AND NIGHT SKY PRESERVATION AND ANY OTHER APPLICABLE CODES REQUIRED BY THE CITY OF SAN LUIS OBISPO.

## PHASE II SAFETY PLAN GENERAL NOTES

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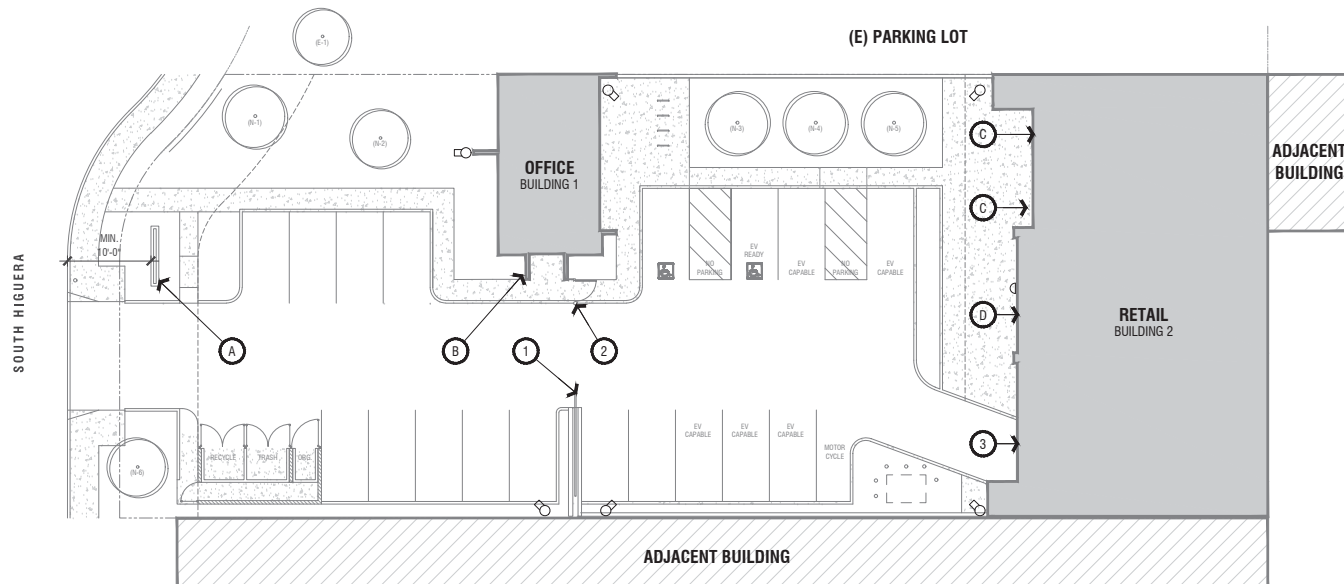
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DATE: 7/2/2021

A5.0b

## SYMBOL LEGEND

- ⊞ 5MP TURRET DOME CAMERA
  - 12MP 360° FISH EYE CAMERA
  - ⊞ 4MP 2.8-12mm REGISTER ZOOM CAMERA
  - ⊞ 8MP 180° CAMERA
  - ⊞ SURVEILLANCE SYSTEM STORAGE DEVICE
- \* ALL SITE SURVEILLANCE EQUIPMENT TO BE INSTALLED IN PHASE 1



## SAFETY PLAN KEYNOTES

1. (N) ROLLING GATE TO BE CLOSED DURING DELIVERIES.
2. (N) POLE AND GATE LATCH
3. (N) SECURE DROP OFF ENTRANCE

## SIGNAGE PLAN KEYNOTES

- A. (N) MONUMENT SIGN, REFER TO DETAILS ON SHEET A6.0
- B. COMPANY LOGO ON WOOD WING WALL OF BUILDING, REFER TO DETAILS ON SHEET A6.0
- C. COMPANY LOGO DECAL ON STOREFRONT WINDOWS ON EITHER SIDE OF MAIN ENTRANCE DOOR, REFER TO DETAILS ON SHEET A6.0
- D. MAIN BUILDING SIGN ON PARAPET WALL OF RETAIL BUILDING, REFER TO DETAILS ON SHEET A6.0



## PHASE II SITE SAFETY & SIGNAGE PLAN

SCALE: 1" = 20'-0"

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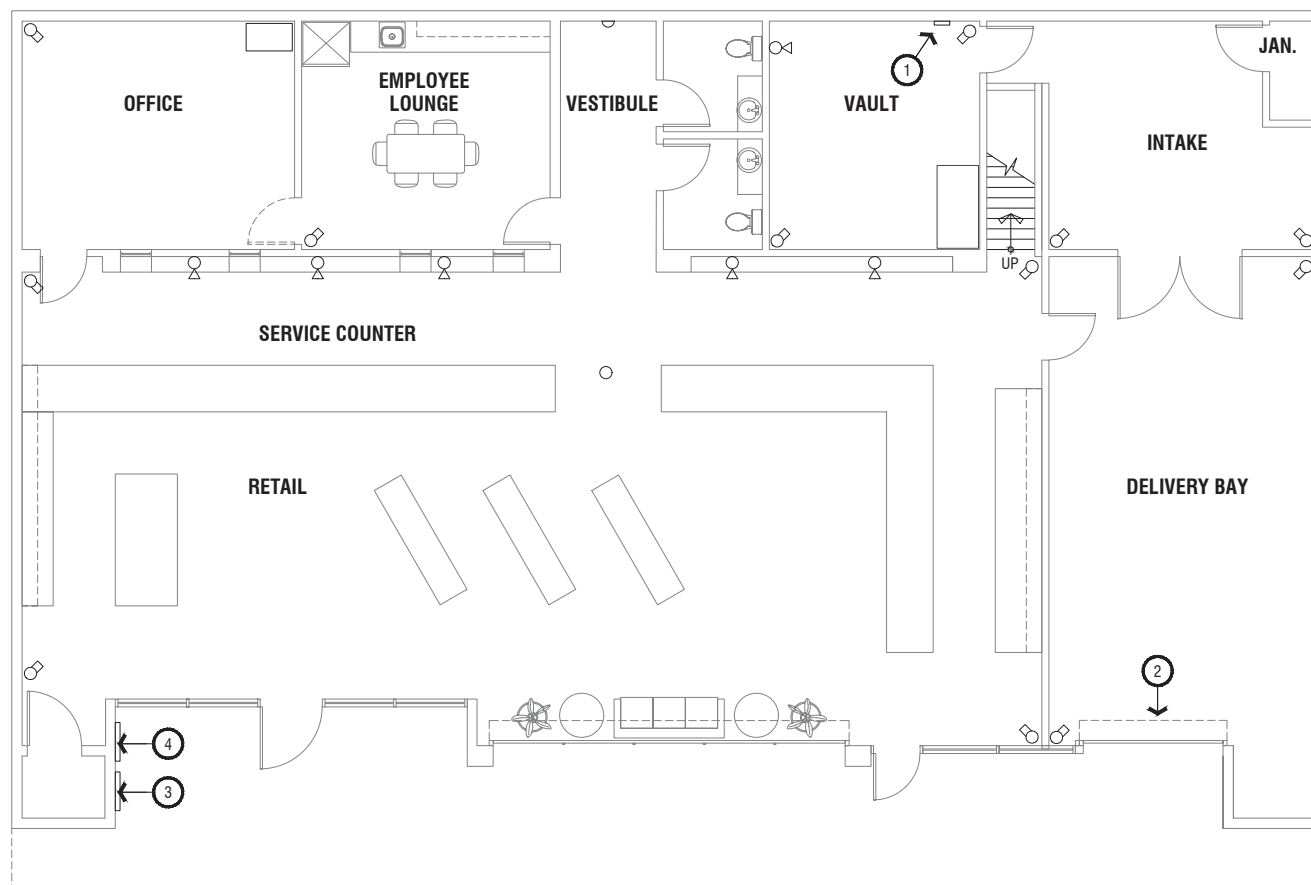
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**A5.1b**

## SYMBOL LEGEND

- ⦿ 5MP TURRET DOME CAMERA
- 12MP 360° FISH EYE CAMERA
- ⦿ 4MP 2.8-12mm REGISTER ZOOM CAMERA
- ⦿ 8MP 180° CAMERA
- ⦿ SURVEILLANCE SYSTEM STORAGE DEVICE



## KEYNOTES

1. (N) SECURITY PANEL
2. (N) OVERHEAD ROLL-UP DOOR
3. SIGNAGE WITH THE WORDING: "SMOKING, INGESTING, VAPING, EATING OR CONSUMING CANNABIS PRODUCTS ON SITE OR IN A PUBLIC PLACE IS PROHIBITED"
4. SIGN PROHIBITING PERSONS UNDER 21 OF AGE FROM ENTERING



## PHASE II DISPENSARY SAFETY PLAN

SCALE: 1/8" = 1'-0"

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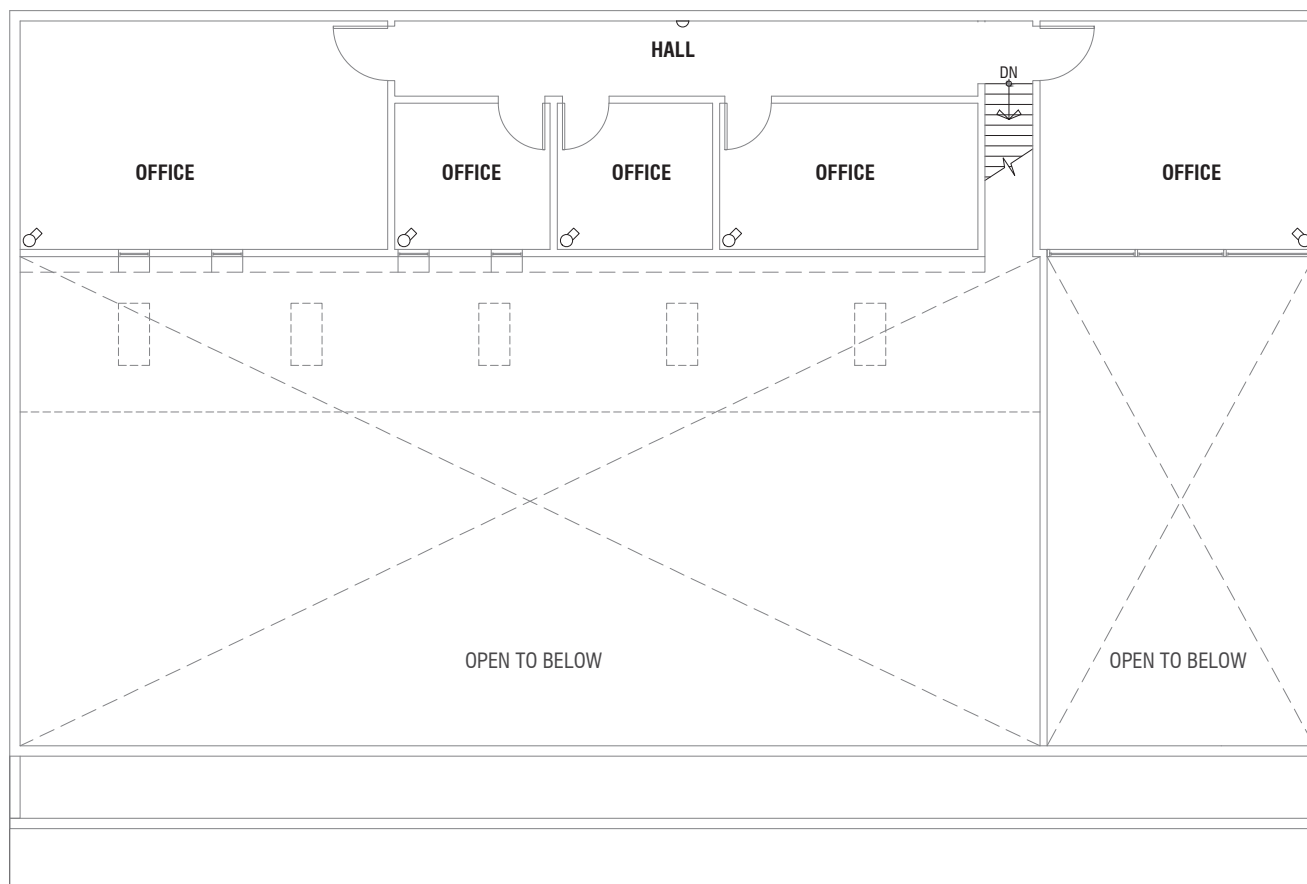
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**A5.2b**

## SYMBOL LEGEND

- ⊞ 5MP TURRET DOME CAMERA
- 12MP 360° FISH EYE CAMERA
- ⊞ 4MP 2.8-12mm REGISTER ZOOM CAMERA
- ⊞ 8MP 180° CAMERA
- ⊞ SURVEILLANCE SYSTEM STORAGE DEVICE



## PHASE II - MEZZANINE DISPENSARY SAFETY PLAN

SCALE: 1/8" = 1'-0"

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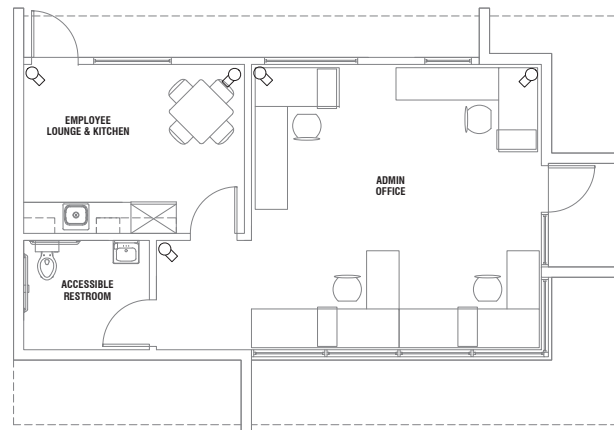
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DATE: 7/2/2021

**A5.3b**

## SYMBOL LEGEND

- ⊞ 5MP TURRET DOME CAMERA
- 12MP 360° FISH EYE CAMERA
- ⊞ 4MP 2.8-12mm REGISTER ZOOM CAMERA
- ⊞ 8MP 180° CAMERA
- ⊞ SURVEILLANCE SYSTEM STORAGE DEVICE

\* ALL BUILDING 1 SURVEILLANCE EQUIPMENT  
TO BE INSTALLED IN PHASE 1



## PHASE II OFFICE SAFETY PLAN

SCALE: 1/8" = 1'-0"

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**A5.4b**

## WINDOW SIGN CALCULATION

ALLOWED SIGNAGE AREA:	15% OF WINDOW
FRONT WINDOW:	190 SF
WINDOW SIGNS:	22.5 SF
22.5 / 190 SF	=0.11
	=11%

## WALL SIGN CALCULATION BUILDING 1

ALLOWED SIGNAGE AREA:	15% OF BUILDING FACE
FRONT WINDOW:	192 SF
WINDOW SIGN:	11.25 SF
11.25 / 192 SF	=0.05
	=5%

## WALL SIGN CALCULATION - BUILDING 2

ALLOWED SIGNAGE AREA:	15% OF BUILDING FACE
FRONT WINDOW:	628 SF
WINDOW SIGN:	55 SF
55 / 628 SF	=0.08
	=8%

## MONUMENT SIGN CALCULATION

ALLOWED MAX SIGN SQ FOOTAGE:	24
PROPOSED MONUMENT SIGN SQ FOOTAGE:	24
WINDOW SIGN:	
55 / 628 SF	=0.08
	=8%

### NOTE:

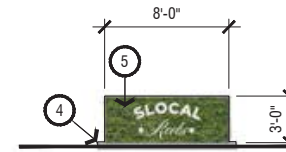
ALL BUILDING SIGNAGE TO BE NON-ILLUMINATED



BUILDING 1 - DISPENSARY



BUILDING 2 - OFFICE



MONUMENT SIGN

### KEYNOTES

1. (N) WINDOW LOGO
2. (N) BUILDING WALL SIGN
3. (N) BUILDING WALL LOGO
4. (N) CONCRETE BASE
5. (N) CONC. BLOCK MONUMENT SIGN WITH PLANTED WALL AND WHITE LETTERING

### PHASE II SIGNAGE PLAN

SCALE: 1/8" = 1'-0"





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TO LEAVE THE WORLD  
BETTER THAN WE  
FOUND IT.

