

CONDITIONS of APPROVAL

RELEVANT CONDITIONS FROM COUNCIL RESOLUTION No. 10140 (2010 Series) AND RESPONSES:

SECTION 2: CONDITIONS

(1) The Community Development Director has designated Parcels One, Two and Three as "sensitive sites". This status ensures that future infill development will respect existing site constraints, privacy for occupants and neighbors of the project, provide for adequate parking, and be compatible with the scale and character of the existing neighborhood. An application for architectural review will be required for all three parcels in accordance with Municipal Code Section 2.48.050. Development applications for Parcel One must be reviewed by the Architectural Review Commission.

RESPONSE: PROPOSED PLANS AND SUPPLEMENTAL MATERIALS HAVE BEEN PREPARED FOR REVIEW AS APPLICABLE

(2) Applications submitted for architectural review on Parcel One shall include housing designed not to exceed a 406-foot elevation at the highest point of the roof, to preserve pleasant views from and towards the property (LUE 2.2.12), and remain consistent in character with the neighborhood.

RESPONSE: PROPOSED PARCEL 1 RESIDENCE TO NOT EXCEED 406 FT. ELEVATION; SEE SITE SECTION B-B, SHT T-2

(3) The building footprint shown on Parcel One shall be reduced in size so that eventual housing development of the parcel will be setback at least 10 feet from the northeast property line. The driveway shall not be allowed within this required 10 foot setback.

RESPONSE: NO HOUSING OR DRIVEWAY IS PROPOSED WITHIN A 10 FT. SETBACK FROM THE NORTHEAST PROPERTY LINE OF PARCEL 1

(4) Future development of Parcels One & Three shall provide one (1) additional on-site guest parking space per lot, subject to the approval of the Community Development Director.

RESPONSE: THREE PARKING SPACES EACH ARE PROPOSED FOR LOTS 1 & 3

(6) Grading associated with development of new structures shall be minimized to the smallest practical area of land for development on each parcel.

RESPONSE: GRADING MINIMIZED TO EXTENT POSSIBLE TO ACHIEVE ACCESS, CREATE STABLE BUILDING PADS, AND TO IMPROVE DRAINAGE; ADDITIONAL GRADING AT PARCEL 1 REQUIRED TO COMPLY WITH HEIGHT RESTRICTION PER CONDITION (2) ABOVE

(10) The subdivision improvement plans and map shall show and honor the existing sump and berm area located at the northeast corner of proposed Parcel 2 that serves the upslope lots of Tract 1272. The final map shall include an additional drainage easement if the existing containment area and safe overflow for the storm drain system are not located within the existing easement area. Otherwise, the applicant shall demonstrate that the existing grading improvements are not necessary and shall propose a revised solution for the safe overflow.

RESPONSE: NO DEVELOPMENT OR GRADING IS PROPOSED WITHIN THE EXISTING SUMP & BERM AREA EASEMENT SERVING UPSLOPE PARCELS; (CONDITION TEXT SHOULD REFERENCE PROPOSED PARCEL 1, NOT PARCEL 2; SEE SITE PLAN FOR EASEMENT LOCATION AT NE CORNER OF PARCEL 1)

(14) A CCTV inspection of the existing sewer lateral proposed to serve Parcel 3 shall be submitted to the Building Division during the building permit process.

RESPONSE: CONDITION OF LATERAL TO BE DETERMINED DURING THE BUILDING PERMIT PROCESS TO THE SATISFACTION OF BUILDING OFFICIAL

DEFERRED CONDITIONED ITEM(S) FROM SCOPE OF WORK PER THE ADOPTION OF PARCEL MAP SLO 09-0074:

(1) Planting of five (5) street trees along the Johnson Avenue frontage (Covenant# 2017030230 dated June 22, 2017) as well as all associated and/or required work within the 10 ft. street tree easement

RESPONSE: STREET TREES AND ASSOCIATED WORK WITHIN THE 10 FT. STREET TREE EASEMENT IS SPECIFIED ON THE PROJECT LANDSCAPE PLANS

PROJECT DATA

PROJECT DESCRIPTION

1. NEW 3-BR. S.F.R. MANUFACTURED HOME AND 2-BR. A.D.U. MANUFACTURED HOME ON EXISTING VACANT PARCEL WITH DRIVEWAY, PARKING, PATIOS, WALKWAYS & LANDSCAPING AT PARCEL 1

2. NEW 3-BR. S.F.R. MANUFACTURED HOME ON EXISTING VACANT PARCEL, WITH PATIO, WALKWAY & LANDSCAPING AT PARCEL 3

3. TREE REMOVAL & REPLACEMENT; STREET TREES; GRADING AS REQUIRED; FENCING, LANDSCAPING & IRRIGATION SYSTEMS

PROJECT AREA DATA

DESIGNATION	AREA (SQ. FT.)
PARCEL 1	(.4 Acre) 17382
UNIT A	1923
COVERED PORCH	41
PORCH & STEPS (<30")	41
A.D.U.	971
COVERED PORCH (<30")	80
PORCH & STEPS (<30")	47
DECK	80
LOT 1	120
EASEMENTS	(5170)

PARCEL 3	(.25 Acre) 10914
UNIT B	1923
COVERED PORCH	41
PORCH & STEPS (<30")	41

HARDSCAPE, PARCEL 1, UNIT A	755
HARDSCAPE, PARCEL 1, A.D.U.	305
HARDSCAPE, PARCEL 3, UNIT B	1194
DRIVEWAY, PARKING & ACCESS, PARCEL 1	1933
DRIVEWAY, PARKING & ACCESS, PARCEL 3	624
STEPS & SECONDARY PORCHES, TOTAL	87

LANDSCAPE, PARCEL 1	2906
LANDSCAPE, PARCEL 3	2390

FLOOR AREA RATIO, PARCEL 1	0.11
FLOOR AREA RATIO, PARCEL 3	0.18

PARKING	SPACES
PARCEL 1, UNIT A, UNCOVERED	2+1
PARCEL 1, A.D.U., UNCOVERED	0
PARCEL 3, UNIT B, UNCOVERED	2+1

DENSITY CALCULATIONS

PARCEL 1 (17% slope): 4 D.U. x .4 (Ac.) = 1.75; 2 D.U. ALLOWED FOR LOT 1
PARCEL 3 (13.5% slope): 7 D.U. x .25 (Ac.) = 1.6; 2 D.U. ALLOWED FOR LOT 3

FIRE HYDRANT LOCATIONS

- PROJECT STREET FRONTAGE, JOHNSON AVE.
- WEST CORNER OF SMITH ST. & JOHNSON AVE. INTERSECTION

MANUFACTURED HOMES

UNITS A & B: MODEL #3845 CTB, A.D.U.: MODEL #K610CTB
SKYLINE HOMES, 499 W. ESPLANADE AVE., SAN JACINTO, CA 92583

OWNER

JEFFREY SPEVACK
2410 JOHNSON AVE.
SAN LUIS OBISPO, CA 93401
tel. 805.423.2335

LEGAL DESCRIPTION

PARCEL 1: 2406 JOHNSON AVE.
SAN LUIS OBISPO, CA
APN 003-703-072

PARCEL 3: 2414 JOHNSON AVE.
SAN LUIS OBISPO, CA
APN 003-703-074

ZONING: R-1
OCCUPANCY CLASS: R-3
BUILDING TYPE: V-B,
SPRINKLERED

DIRECTORY

CIVIL ENGINEER

SHANNON DAVIS, PE, MS
ATLAS CIVIL DESIGN
872 HIGUERA ST.
SAN LUIS OBISPO, CA 93401
619.307.2749

SOILS ENGINEER

CRAIG CROZIER C61361
GEOSOLUTIONS, INC.
220 HIGH ST.
SAN LUIS OBISPO, CA 93401
tel. 805.543.8539
REPORT #SLO-6905-2

LANDSCAPE DESIGN

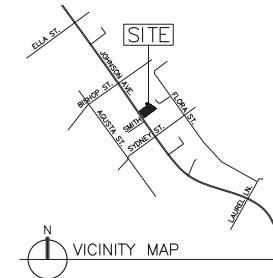
JIM HOMER LANDSCAPE DESIGN
P.O.B. 180
SAN LUIS OBISPO, CA 93406
tel. 805.431.9403

TREE REPORT

CHRIS STIER
CERTIFIED ARBORIST #WE9262-A
GREENVALE TREE COMPANY
PO BOX 13234
SAN LUIS OBISPO, CA 93406
tel. 805.544.1124
REPORT DATED AUGUST 11, 2021

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TIMOTHY BERNER
BECHER
AIA
ARCHITECT

P.O. BOX 96
SAN LUIS OBISPO,
CALIFORNIA 93406
805 549 0218
FAX 805 549 0154
tmspace@frix.net

ARCHITECTURE
PLANNING
SUSTAINABLE
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SCULPTURE

These drawings and specifications and design and construction documents are not to be used for any other project for which they have been prepared and designed without the written consent of the Architect. Violation of these drawings and specifications shall constitute a breach of contract and shall be subject to legal action.

Written dimensions on these drawings shall have precedence over verbal dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect shall be notified of any variations from the dimensions and conditions shown by these drawings. Shop details shall be submitted to the Architect for approval before execution. Samples shall be submitted to the Architect for approval before execution.

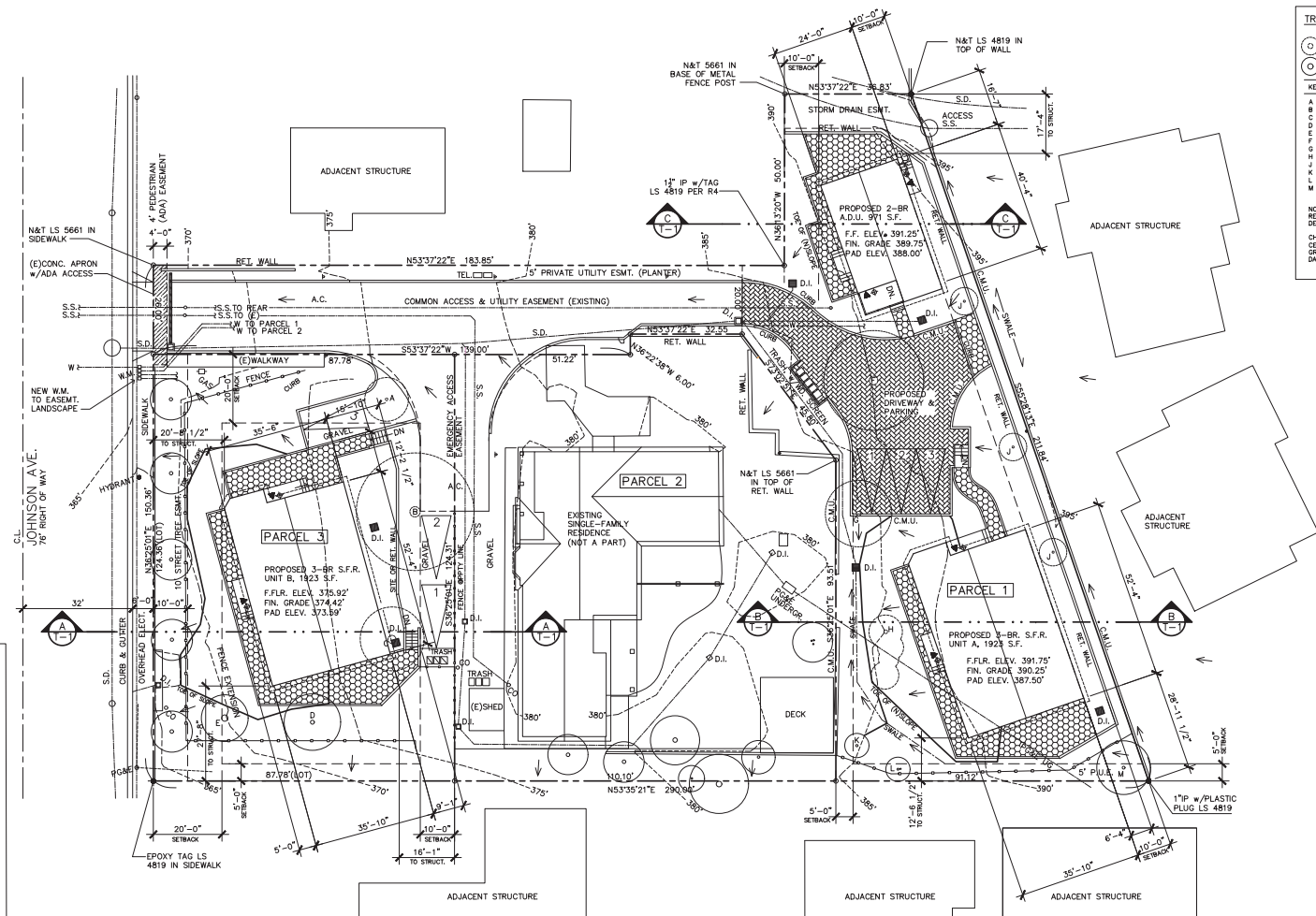
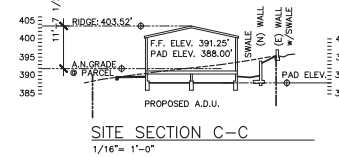
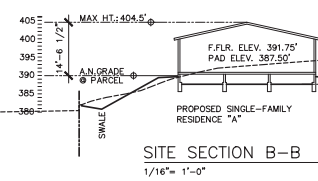
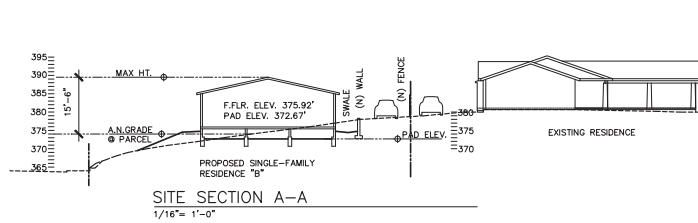
CONTENTS
PROJECT DATA & AREAS
PROJECT DESCRIPTION
PROJECT CONDITIONS

NEW S. F. RESIDENCES
SPEVACK & COLLIER
2410 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401

DRAWN
RWB
CHECKED
TBB
DATE
MAY 25, 2021
REVISIONS BY
SEPT. 1, 2021

SHEET
OF
T-1
SHEETS

SYMBOL LEGEND, SECTION	
	EXISTING GRADE
	PROPOSED FIN. GRADE PROFILE
	NEW STRUCTURE
	PPTY. LINE



SYMBOL LEGEND, PLAN	
	ROOF LINE
	WALL LINE
	SITE OR RET. WALL
	UTILITIES
	PPTY. LINE
	SETBACK OR EASEMENT LINE
	SITE SECTION
	5' CONTOUR
	5' CONTOUR (PROPOSED)
	SURFACE DRAINAGE (1% MIN.)
	DRAIN (S.D.) OR SEWER (S.S.)
	EASEMENT STORAGE
	EXTERIOR LIGHTING
	EXTERIOR DOOR
	ADA ACCESS
	EASEMENT
	ADA ACCESS
	EASEMENT
	ADJ. DRIVEWAY PAVING
	PROPOSED PAVT & WALK PAVING
	PARKING SPACE (8.5' x 18.3')
	PARCEL CORNER
	1/4\"/>

TREE LEGEND		
	○	TREE TO BE REMOVED
	●	TREE TO REMAIN
KEY TAG	NO.	DESCRIPTION
A	864 34"	HOLLYWOOD JUMPER
B	864 38"	PICUS SP.
C	135 25"	HOLLYWOOD JUMPER
D	136 17"	PERUVIAN PEPPER
E	137 10"	GUAYANA PALM
F	868 35"	BLUE GUM
G	138 17"	ALPINE PINE
H	139 12"	MELALEUCA
J	(NO TAG)	<17\"/>
K	140 11"	CASUARINA
L	141 12"	COAST LINE OAK
M	(NO TAG)	<17\"/>

NOTE: REFER TO PROJECT TREE REPORT FOR DETAILED TREE DESCRIPTIONS AND CONDITIONS.

CHRIS STER
CERTIFIED ARBORIST #W2822-A
GREENWAVE TREE COMPANY
DATED AUGUST 11, 2021

TIMOTHY BERNER
BECHER
AIA
ARCHITECT

P.O. BOX 96
SAN LUIS OBISPO,
CALIFORNIA 93406
805 549 0218
FAX 805 549 0154
tmspace@tba.net

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CONTENTS
PRELIMINARY SITE PLAN
PRELIMINARY SITE SECTIONS
TREE LEGEND

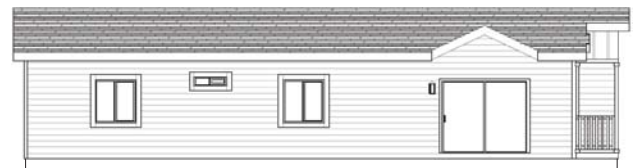
NEW S. F. RESIDENCES
SPEWACK & COLLIER
2410 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401

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DATE
MAY 25, 2021
REVISIONS BY
SEPT. 1, 2021

T-2
SHEETS



NORTHWEST, ENTRY



NORTHEAST



SOUTHEAST



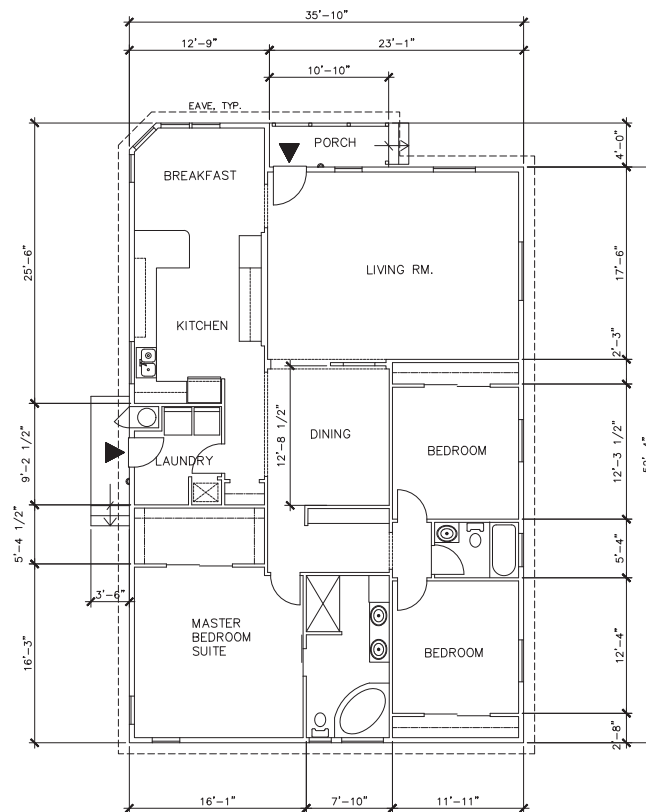
SOUTHWEST

EXTERIOR ELEVATIONS

3/16" = 1'-0"

NOTE:
REFER TO COLORBOARDS FOR MATERIALS
AND COLOR CALLOUTS

SYMBOL LEGEND
—— WALL
- - - - EAVE, ARV.
◻ SHIELDED
EXTERIOR
LIGHTING



UNITS A & B FLOOR PLAN #3845CTB/56-5236 1937 S.F.
3/16" = 1'-0"

TIMOTHY BERNER
BECHER
AIA
ARCHITECT

P.O. BOX 96
SAN LUIS OBISPO,
CALIFORNIA 93406
805 549 0218
FAX 805 549 0154
timspace@tix.net

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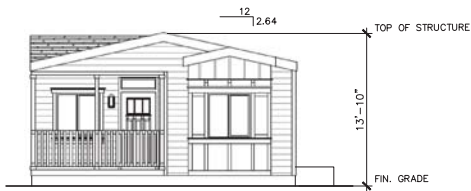
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EXTERIOR ELEVATIONS

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SAN LUIS OBISPO, CA 93401

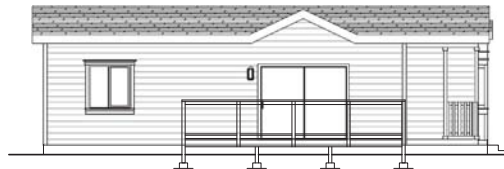
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SOUTHEAST, ENTRY



SOUTHWEST



NORTHWEST



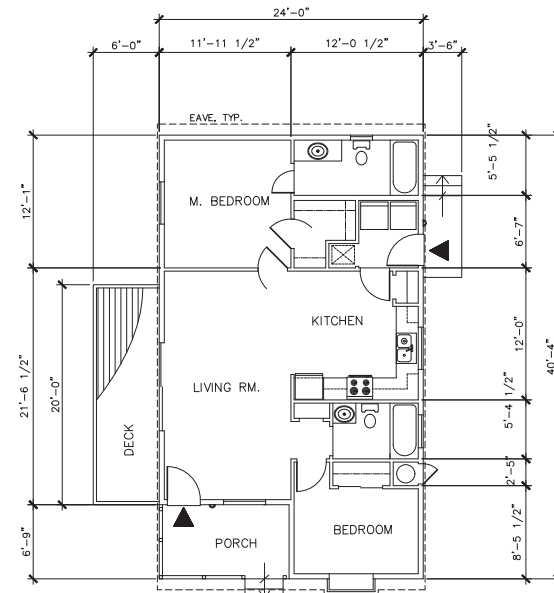
NORTHEAST

EXTERIOR ELEVATIONS

3/16" = 1'-0"

NOTE:
REFER TO COLORBOARDS FOR MATERIALS
AND COLOR CALLOUTS

SYMBOL LEGEND
—— WALL
- - - - EAVE, ARV.
◻ SHIELDED
EXTERIOR
LIGHTING



PROPOSED A.D.U. PLAN
3/16" = 1'-0"

#K610CTB 867 S.F.



TIMOTHY BERNER
BECHER
AIA
ARCHITECT

P.O. BOX 96
SAN LUIS OBISPO,
CALIFORNIA 93406
805 549 0218
FAX 805 549 0154
timspace@tix.net

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FLOOR PLAN
EXTERIOR ELEVATIONS

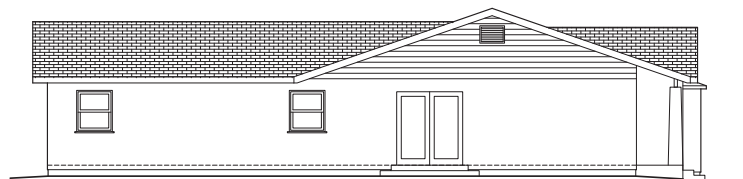
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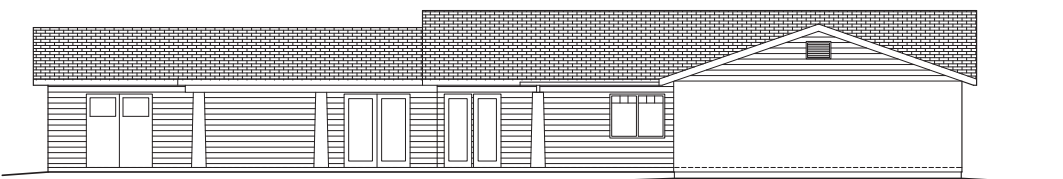
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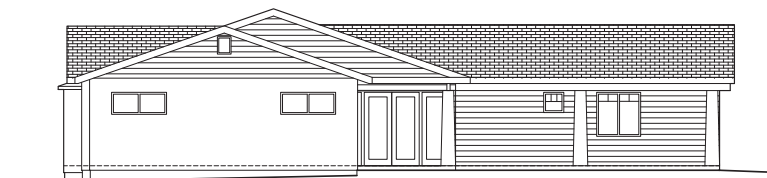
NORTHWEST, ENTRY



NORTHEAST



SOUTHEAST



SOUTHWEST

EXTERIOR ELEVATIONS, EXISTING RESIDENCE, LOT 2

3/16" = 1'-0"

TIMOTHY BERNER
BECHER
AIA
ARCHITECT

P.O. BOX 96
SAN LUIS OBISPO,
CALIFORNIA 93406
805 549 0218
FAX 805 549 0154
timspace@tix.net

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CONTENTS

EXISTING RESIDENCE, LOT 2
EXTERIOR ELEVATIONS

NEW S. F. RESIDENCES

SPEVACK & COLLIER
2410 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401

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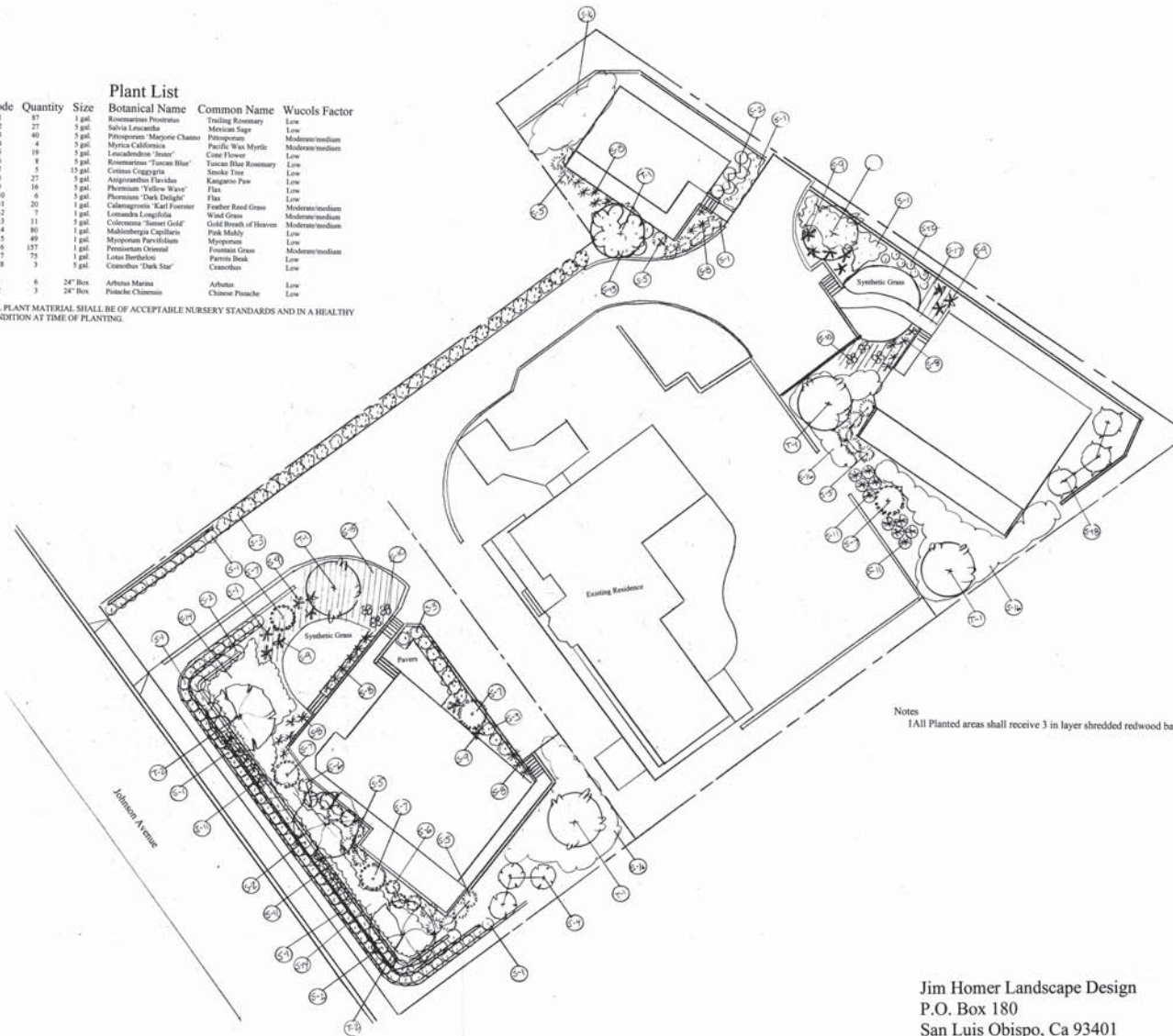


Scale 1 in. = 16 ft. 5/18/21

Revised 9/17/21

Code	Quantity	Size	Botanical Name	Common Name	Wucols Factor
S-1	15	1 gal.	Leucanthes Pinnatifida	Trailing Rosemary	Low
S-2	27	5 gal.	Salvia Leucantha	Mexican Sage	Low
S-3	40	5 gal.	Pittosporum 'Margate Chant'	Pittosporum	Moderate/medium
S-4	4	5 gal.	Moraea Californica	Pacific Wax Myrtle	Moderate/medium
S-5	18	5 gal.	Leucadendron 'Isis'	Cone Flower	Low
S-6	8	5 gal.	Romneya 'Tropic Blue'	Tropic Blue Rosemary	Low
S-7	15	5 gal.	Cotinus Coccinea	Smoky Tree	Low
S-8	27	5 gal.	Argemone Flaccida	Kangaroo Paw	Low
S-9	16	5 gal.	Phoradendron 'Yellow Wave'	Flax	Low
S-10	6	5 gal.	Phoradendron 'Dark Delight'	Flax	Low
S-11	20	1 gal.	Coleragrostis 'Karl Foerster'	Feather Reed Grass	Moderate/medium
S-12	7	1 gal.	Comandra Longifolia	Wind Grass	Moderate/medium
S-13	11	1 gal.	Comandra 'Sunset Gold'	Gold Branch of Heaven	Moderate/medium
S-14	80	1 gal.	Muhlenbergia Capillaris	Pink Muhly	Low
S-15	49	1 gal.	Myoporum Parvifolium	Myoporum	Low
S-16	137	1 gal.	Penstemon Oriental	Penstemon	Moderate/medium
S-17	75	1 gal.	Lotus Bertholoti	Purita Beak	Low
S-18	3	5 gal.	Ceanothus 'Dark Star'	Ceanothus	Low
T-1	6	24" Box	Arbutus Marina	Arbutus	Low
T-2	3	24" Box	Pinus Chamae	Chinese Pines	Low

ALL PLANT MATERIAL SHALL BE OF ACCEPTABLE NURSERY STANDARDS AND IN A HEALTHY CONDITION AT TIME OF PLANTING.



Notes
1. All Planted areas shall receive 3 in layer shredded redwood bark

Jim Homer Landscape Design
P.O. Box 180
San Luis Obispo, Ca 93401
C-27 389708
(805) 431-9403

Spevack and Collier
2410 Johnson Avenue
San Luis Obispo, Ca 93401

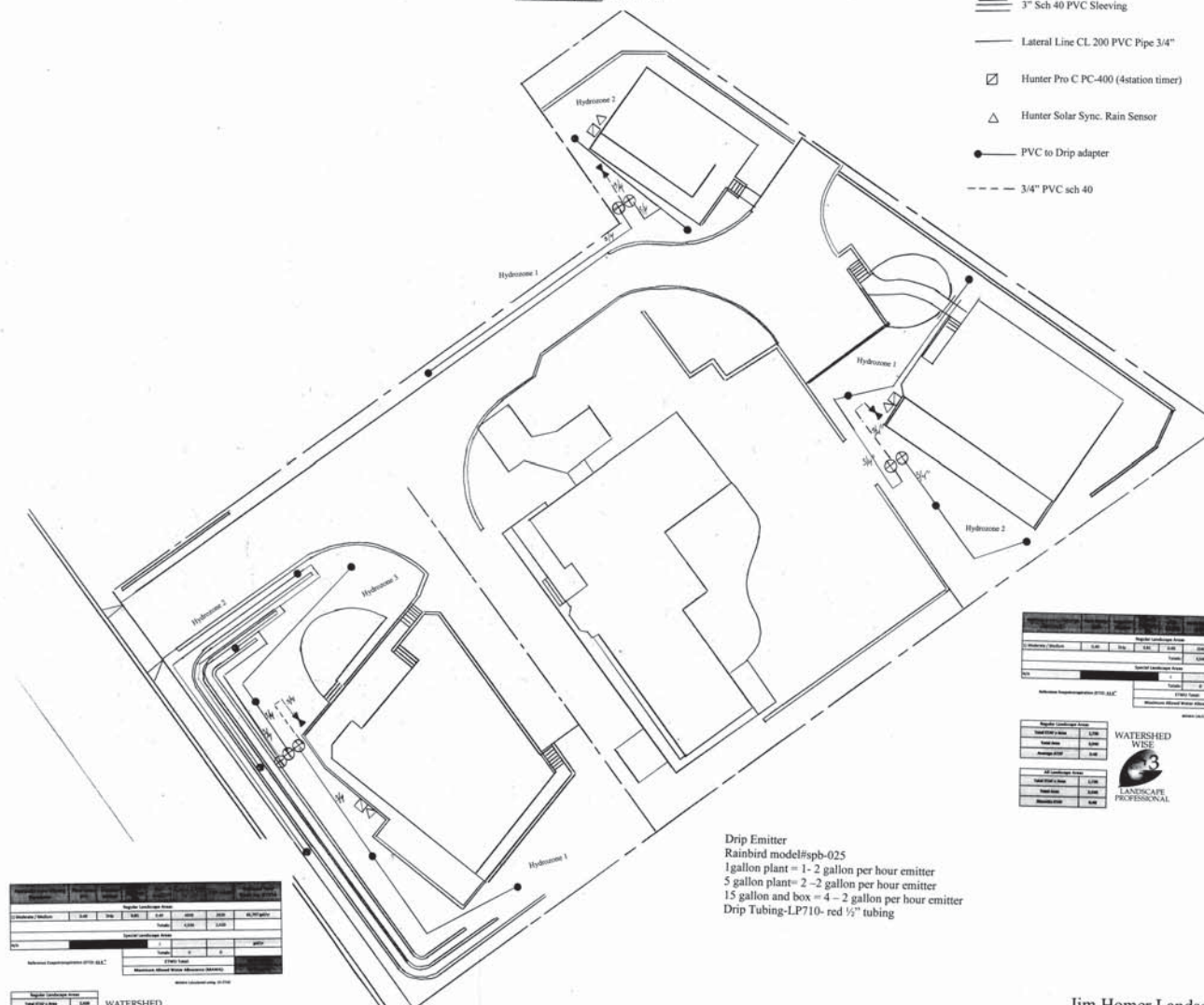
Landscape Plan



Scale 1 in. = 16 ft. 5/18/21

Main Irrigation System Summary									
Component / Material	Size	Qty	Unit	Feet	Cost	Notes	As-Built	As-Built	As-Built
Backflow Preventer	1/2"	1	Each						
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Backflow Preventer	1/2"	1	Each						

- 3/4" Febco 825YA RP Backflow Preventer
- Rainbird Xcz- Prf Drip Control Zone 1"
- 3" Sch 40 PVC Sleeving
- Lateral Line CL 200 PVC Pipe 3/4"
- Hunter Pro C PC-400 (4station timer)
- Hunter Solar Sync. Rain Sensor
- PVC to Drip adapter
- 3/4" PVC sch 40

Drip Emitter
 Rainbird model#sp-025
 1 gallon plant = 1-2 gallon per hour emitter
 5 gallon plant = 2-2 gallon per hour emitter
 15 gallon and box = 4-2 gallon per hour emitter
 Drip Tubing-LP710- red 1/2" tubing

Notes
 1 All Planted areas shall receive 3 in layer shredded redwood bark

Main Irrigation System Summary									
Component / Material	Size	Qty	Unit	Feet	Cost	Notes	As-Built	As-Built	As-Built
Backflow Preventer	1/2"	1	Each						
Backflow Preventer	1/2"	1	Each						
Backflow Preventer	1/2"	1	Each						
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Backflow Preventer	1/2"	1	Each						
Backflow Preventer	1/2"	1	Each						
Backflow Preventer	1/2"	1	Each						

Jim Homer Landscape Design
 P.O. Box 180
 San Luis Obispo, Ca 93406
 C-27 389708

Spevack and Collier
 2410 Johnson Ave
 San Luis Obispo, Ca 93401

Irrigation Plan

Revised 9/17/21

PROPOSED LEGEND

	PROPERTY BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	SWALE
	FENCE
	WALL
	SANITARY SEWER
	STORM DRAIN
	WATER MAIN
	FIRE WATER MAIN
	PROPOSED CONCRETE
	AC PAVEMENT
	PROPOSED LANDSCAPE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	WATER VALVE
	PIV
	CATCH BASIN
	YARD DRAIN
	SANITARY SEWER MANHOLE
	SEWER CLEAOUT
	BOLLARD
	AREA LIGHT
	EV CHARGING STATION
	SIGN POST

EXISTING LEGEND

	PROPERTY BOUNDARY LINE
	OVERHEAD ELECTRIC LINE
	OVERHEAD TELEPHONE LINE
	OVERHEAD UTILITY LINES (MULTIPLE)
	OVERHEAD ELECTRIC HIGH VOLTAGE
	OVERHEAD UTILITY LINES (HIGH VOLTAGE)
	GAS LINE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	UNDERGROUND TRAFFIC SIGNAL WIRE
	CHAINLINK FENCE
	WOOD FENCE
	WIRE FENCE
	CONCRETE
	PERIMETER OF BUILDING
	SPOT ELEVATION
	SANITARY SEWER CLEAOUT
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN
	DRAINAGE INLET
	DRAINAGE INLET
	DRAINAGE DOWNSPOUT
	IRRIGATION CONTROL VALVE
	MONITORING WELL
	WELL
	FIRE HYDRANT
	WATER VALVE

EARTHWORK QUANTITIES

FILL:	CY
CUT:	CY
NET:	(CUT)

NOTE: EARTHWORK QUANTITIES ARE RAW ESTIMATES ONLY. THEY DO NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS. THE QUANTITIES SHOWN ABOVE ARE INTENDED FOR USE IN ESTABLISHING GOVERNING AGENCY FEES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES FOR BID PURPOSES. ANY EXPORT OR IMPORT REQUIRED TO BALANCE THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FOOT
AC	ASPHALT CONCRETE	LP	LOW POINT
APN	ASSESSOR PARCEL NUMBER	LS	LUMP SUM
BB	ELEVATION AT BOTTOM OF BASIN	MH	MANHOLE
BC	BACK OF CURB	MOC	MIDDLE OF CURVE
BOR	BEGINNING OF CURB RETURN	N	NORTHERLY
BOP	BOTTOM OF PIPE	N	NORTH
BU	ELEVATION AT BOTTOM OF UNIT	NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CURVE / ON CENTER
CF	CURB FACE	OP	OPENING
CL	CENTERLINE	PCC	PORTLAND CEMENT CONCRETE
CONC	CONCRETE	PV	POST INDICATOR VALVE
CONST	CONSTRUCT, CONSTRUCTION	PL	PROPERTY LINE
CT	CUBIC YARD	PL	PUBLIC UTILITY EASEMENT
DI	DRAIN INLET	PVC	POLYVINYL CHLORIDE
DWG	DRAWING	R	RADIUS
EC	END OF CURVE	RW	RIGHT-OF-WAY
EG	EXISTING GROUND	RW	RECLAIMED WATER
EA	EACH	SE	SEWER OR SOUTH
END	END OF CURB RETURN	SO	SEWER DRAIN
EOR	EASER	ST	SQUARE FOOT
ELY	EASTERLY	ST	SOUTHERLY
EP	EDGE OF PAVEMENT	STD	STANDARD
ESMT	EASEMENT	TAN	TANGENT
FDC	FIRE DEPARTMENT CONNECTION	TB	ELEVATION AT TOP OF BASIN
FD	FINISHED FLOOR	TC	TOP OF CURB
FG	FINISHED GRADE	TP	TOP OF PIPE
FL	FLOW LINE	TS	TOP OF SLOPE
FR	FIBER ROLL	TU	ELEVATION AT TOP OF UNIT
FS	FINISHED SURFACE	TYP	TYPICAL
GB	GRADE BREAK	W	WATER OR WEST
HDR	HEADER	WLY	WESTERLY
HP	HIGH POINT		
INV	INVERT		
JS	JUNCTION STRUCTURE		

FLOOD DESIGNATION

PER FLOOD INSURANCE RATE MAP NO. 06079C1069G PROJECT SITE LIES IN FLOOD ZONE X.

ZONE X DESIGNATION IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." PER THE FEMA WEB SITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV.

NOTE TO CONTRACTOR

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD ATLAS CIVIL DESIGN, INC. HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ATLAS CIVIL DESIGN, INC. PERSONNEL.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL TENANTS ARE PROVIDED A SAFE PLACE TO LIVE AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE US DEPARTMENT OF LABOR, AND WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS, "CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S AND SUBCONTRACTOR'S COMPLIANCE WITH THE FEDERAL AND STATE REGULATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REPORT DISCREPANCIES IN PLANS AND/OR FIELD CONDITIONS IMMEDIATELY TO THE CIVIL ENGINEER FOR RESOLUTION PRIOR TO CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR DISCREPANCIES NOT SO REPORTED AND RESOLVED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CALIFORNIA CODE REGULATIONS. ALL CONSTRUCTION SHALL MEET OR EXCEED THE CURRENT CALIFORNIA BUILDING CODES AT THE TIME OF CONSTRUCTION.

UNDERGROUND UTILITIES NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL DISCREPANCIES IN PLANS AND/OR FIELD CONDITIONS IMMEDIATELY TO THE CIVIL ENGINEER FOR RESOLUTION PRIOR TO CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR DISCREPANCIES NOT SO REPORTED AND RESOLVED.

CALL UNDERGROUND SERVICE ALERT (USA) 1-800-422-4133 AT LEAST 2 WORKING DAYS PRIOR TO EXCAVATION.

ENGINEER OF RECORD NOTE

ATLAS CIVIL DESIGN WAS RETAINED AS THE ENGINEER OF RECORD FOR THE DEVELOPMENT AND PROCESSING OF THESE PLANS FOR CONSTRUCTION PURPOSES. SAID PLANS HAVE BEEN REVIEWED AND APPROVED BY THE LOCAL GOVERNING AGENCY TO BE CONSTRUCTIBLE BASED ON LOCAL INDUSTRY STANDARDS. THIS DOES NOT MEAN, HOWEVER, THAT EVERY HORIZONTAL DIMENSION OR VERTICAL ELEVATION NECESSARY FOR CONSTRUCTION IS DELINEATED ON SAID DRAWINGS. ANY PART OF THESE DRAWINGS THAT IS TO BE USED IN STAKING OF THE PROJECT AND HAS BEEN PREPARED BY ATLAS WITH THE EXCEPTION AND ASSUMPTION THAT, WHETHER BY ATLAS, OWNER OR A THIRD PARTY, STAKING WILL BE PERFORMED UNDER THE SUPERVISION AND CONTROL OF A LICENSED LAND SURVEYOR AND WILL INCLUDE ON-SITE INTERPRETATION, VERIFICATION, CROSS CHECKING AND FIELD CORRECTIONS OF PLANS, DRAWINGS, SURVEY INFORMATION AND ELECTRONIC DATA AT THE TIME OF ACTUAL STAKING OF THE PROPERTY PRIOR TO CONSTRUCTION.

PROJECT CONSULTANTS

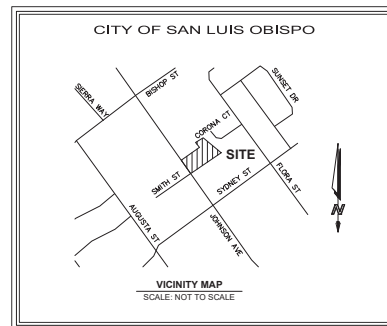
OWNER
JEFF SPEVACK
2410 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401
CONTACT: ARNOLD J. WHITAKER
(805) 541-1464

ARCHITECT
BECHER ARCHITECTURE
PO BOX 96
SAN LUIS OBISPO, CA 93401
CONTACT: TIM BECHER

CIVIL ENGINEER
ATLAS CIVIL DESIGN, INC.
872 HIGUERA STREET
SAN LUIS OBISPO, CA 93401
CONTACT: ARNOLD J. WHITAKER
(760) 718-8010

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SHEET 3	PARCEL 1 - PRECISE GRADING PLAN - A.D.U.
SHEET 4	PARCEL 1 - PRECISE GRADING PLAN - S.F.R
SHEET 5	PARCEL 3 - STORM DRAIN & CROSS SECTIONS
SHEET 6	PARCEL 3 - PRECISE GRADING PLAN - S.F.R
SHEET 7	RETAINING WALL PROFILE
SHEET 8	DETAILS
SHEET 9	COMPOSITE UTILITY PLAN
SHEET 10	EROSION CONTROL PLAN



general notes

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR PERMITTEE TO CONTACT "UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA" BY PHONE AT 8-1 FORTY-FOUR (48) HOURS PRIOR TO START OF CONSTRUCTION FOR LOCATION OF POWER, TELEPHONE, OIL AND NATURAL GAS UNDERGROUND FACILITIES. CONTRACTOR OR PERMITTEE SHALL ALSO CONTACT THE APPROPRIATE AGENCY FOR THE LOCATION OF CABLE TV, WATER, SEWER, DRAINAGE OR UNDERGROUND FACILITIES.

Reference Documents:
City Standard Specifications: August 2020 Edition
City Engineering Standards: August 2020 Edition

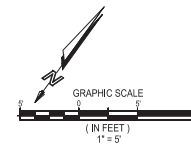
datum

HORIZONTAL CONTROL FOR POINTS 8060 & 8059 AS PUBLISHED IN THE CITY OF SAN LUIS OBISPO 2007 HORIZONTAL CONTROL NETWORK. CITY NETWORK IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83) EPOCH DATE 1991.35, ZONE 5 CALIFORNIA.

VERTICAL CONTROL BENCHMARK NO. 108 WITH AN ELEVATION OF 311.94 AS PUBLISHED IN THE CITY OF SAN LUIS OBISPO 2020 BENCHMARK SYSTEM. CITY'S BENCHMARK SYSTEM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

		NOTICE APPROVAL BY THE CITY DOES NOT GUARANTEE ACCURACY NOR COMPLETENESS OF THESE PLANS. IT DOES AUTHORIZE THE OWNER TO BUILD THE PROJECT HEREON. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND ENGINEER OF RECORD TO CORRECT ANY DEFICIENCIES THAT APPEAR DURING OR AFTER CONSTRUCTION. CITY SPECIFICATIONS AND ENGINEERING STANDARDS SHALL BE FOLLOWED UNLESS THEY ARE SPECIFICALLY WAIVED OR MODIFIED BY NOTES ON THESE PLANS. THE ENGINEER OF RECORD SHALL PROVIDE SUBMITTALS AS REQUIRED IN THE ENGINEERING STANDARDS.		SAN LUIS OBISPO PUBLIC WORKS BY:		Civil Engineering • Site Optimization www.AtlasCivilDesign.com Tel: 1-760-718-8010		ENGINEER OF RECORD 	
DATE		DATE		DATE		DATE		DATE	
ELECTRIC CO.		DATE		COMMUNITY DEVELOPMENT DIRECTOR		DATE		DATE	
GAS CO.		DATE		CITY UTILITIES ENGINEER		DATE		DATE	
TELEPHONE CO.		DATE		RECOMMENDED FOR APPROVAL BY		DATE		DATE	
TELEVISION CO.		DATE		OTHER		DATE		DATE	
OTHER UTILITY		DATE		OTHER		DATE		DATE	
PUBLIC IMPROVEMENT PLANS FOR:									
<div style="text-align: center;"> GRADING & IMPROVEMENT PLAN SPEVACK RESIDENCES 2406, 2410 & 2414 JOHNSON AVENUE TITLE SHEET </div>									
DRAWN BY:		CHECKED BY:		JOB NO.		CITY FILE NO.		SHEET	
				21-088				C1 OF 10	



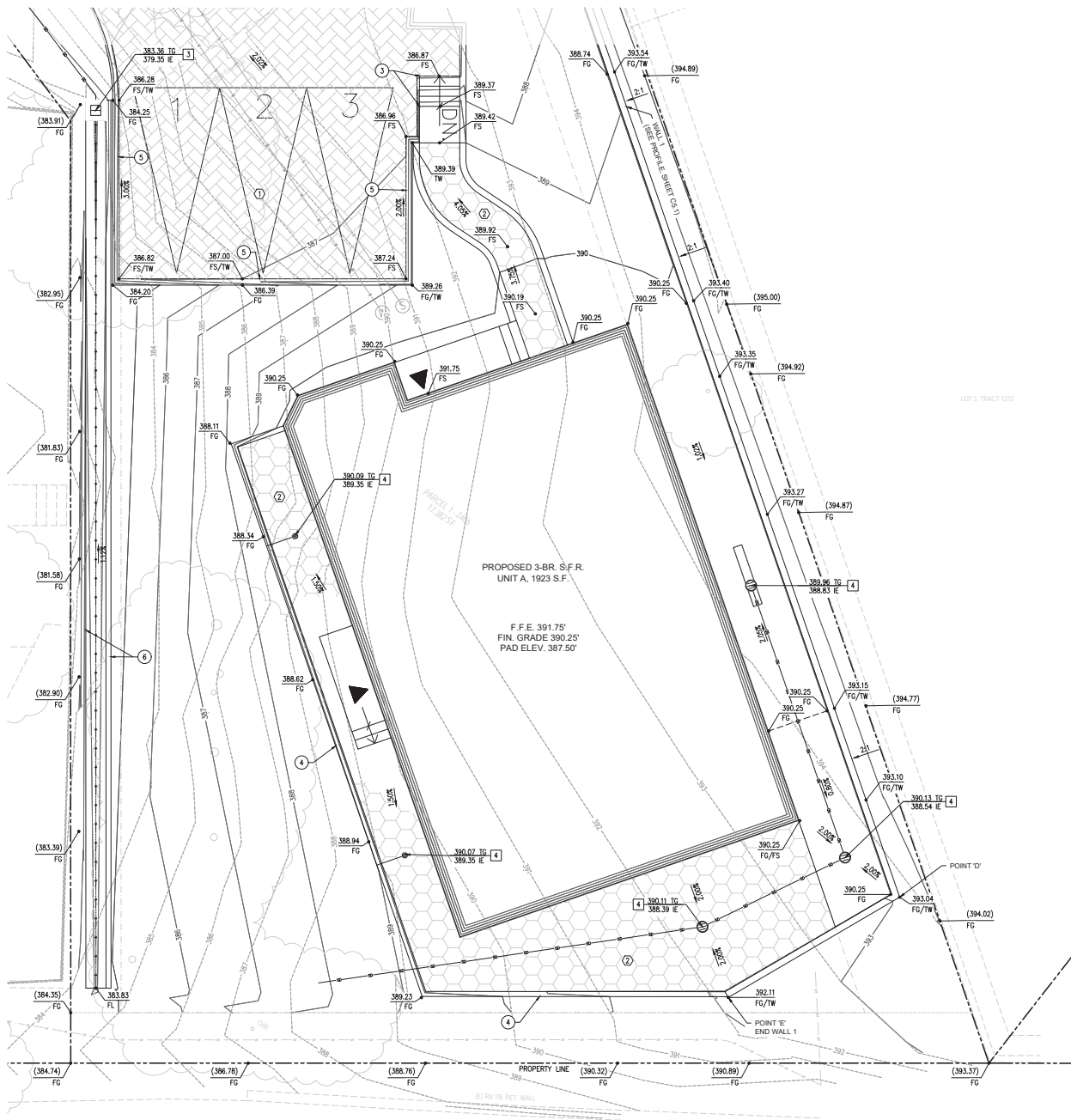


- ① CONSTRUCT TRAFFIC RATED PAVERS PER DETAIL 3, SHEET C6.1.
- ② CONSTRUCT DECORATIVE PAVERS PER ARCHITECTURAL PLANS.
- ③ CONSTRUCT 6" CLASS II AGG. BASE, COMPACTED TO 90% REL. COMPACTION.

IMPROVEMENT PLANS FOR P.M. SLO 09-0074
2406, 2410 & 2414 JOHNSON AVENUE
CITY OF SAN LUIS OBISPO

PARCEL 1 - PRECISE GRADING PLAN - A.D.U.

C3 SHEET OF 10



CONSTRUCTION NOTES

- ① CONSTRUCT 6" CONCRETE CURB PER DETAIL 2, SHEET C6.1.
- ② CONSTRUCT TRASH ENCLOSURE WITH WOOD FENCE PER ARCHITECTURAL PLAN.
- ③ CONSTRUCT CONCRETE STAIRS PER ARCHITECTURAL PLAN.
- ④ CONSTRUCT STANDARD SHORT RETAINING WALL PER STD. PLAN 5030 (SEE SHEET C6.1).
- ⑤ CONSTRUCT TYPE "J" PER DETAIL 6, SHEET C5.1.
- ⑥ CONSTRUCT CONCRETE BROW DITCH PER DETAIL 5, SHEET C6.1.

DRAINAGE CONSTRUCTION NOTES

- ① CONNECT TO EXISTING STORM DRAIN CATCH BASIN.
- ② INSTALL OUTFALL PIPE PER DETAIL 3, SHEET C6.1.
- ③ INSTALL 12" SO. JENSEN PRECAST STORM DRAIN CATCH BASIN.
- ④ INSTALL 6" PVC AREA DRAIN PER DETAIL 1, SHEET C6.1.

HORIZONTAL CONTROL & PAVING NOTES

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NOT FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER
No. 10000
State of California

BY: _____

REVISIONS: _____

DATE: _____

IMPROVEMENT PLANS FOR P.M. SLO 09-0074
2406, 2410 & 2414 JOHNSON AVENUE
CITY OF SAN LUIS OBISPO

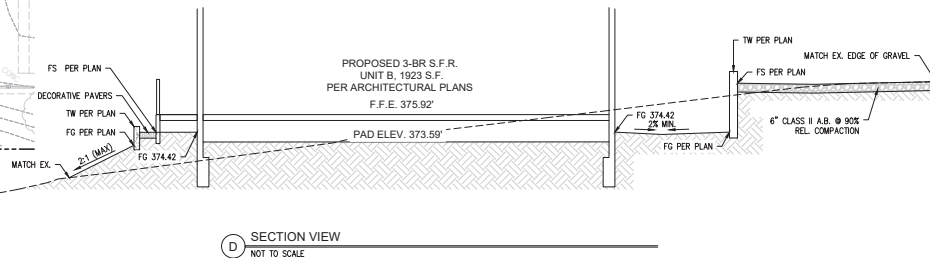
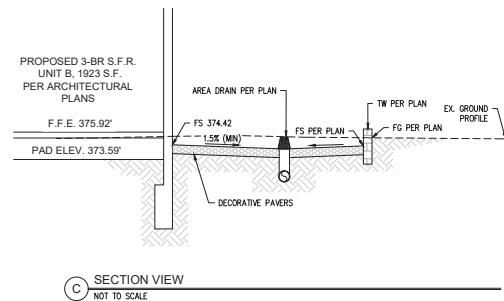
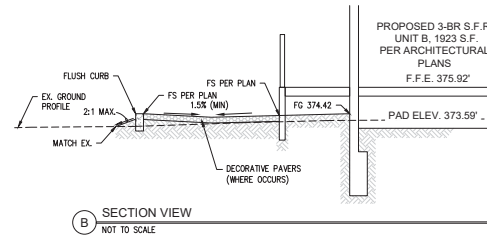
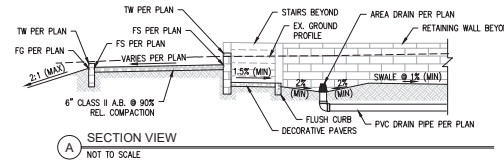
PARCEL 1 - PRECISE GRADING PLAN - S.F.R.

PROJECT NUMBER: 21-088
PREPARED ON: 09.03.2021
REVISED ON: _____
PREPARED BY: C. ROGERS
CHECKED BY: S.D.D.

SHEET
C4 OF **10**

PLOT DATE: 9/14/2021 1:16 PM

C:\LOCAL_CLOUD\SHARED\3070131-088 STORM DRAINAGE\RESIDENTIAL\CON\DWG\ST-088 ST-088 PRELIM GRADE PLAN.DWG



CONSTRUCTION NOTES

1. CONSTRUCT 6" CONCRETE CURB PER DETAIL 2, SHEET 08.1.
2. CONSTRUCT TRASH ENCLOSURE WITH WOOD FENCE PER ARCHITECTURAL PLAN.
3. CONSTRUCT CONCRETE STAIRS PER ARCHITECTURAL PLAN.
4. CONSTRUCT STANDARD SHORT RETAINING WALL PER STD. PLAN 5030 (SEE SHEET 08.1).
5. CONSTRUCT TYPE "A" PER DETAIL 6, SHEET C5.1.
6. CONSTRUCT CONCRETE BROW DITCH PER DETAIL 5, SHEET 08.1.

DRAINAGE CONSTRUCTION NOTES

1. CONNECT TO EXISTING STORM DRAIN CATCH BASIN.
2. INSTALL OUTFALL PIPE PER DETAIL 3, SHEET 08.1.
3. INSTALL 12" SQ. JENSEN PRECAST STORM DRAIN CATCH BASIN.
4. INSTALL 6" PVC AREA DRAIN PER DETAIL 1, SHEET 08.1.

HORIZONTAL CONTROL & PAVING NOTES

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2. CONSTRUCT CONCRETE STAIRS PER ARCHITECTURAL PLANS.
3. CONSTRUCT 6" CLASS II AGG. BASE, COMPACTED TO 90% REL. COMPACTION.

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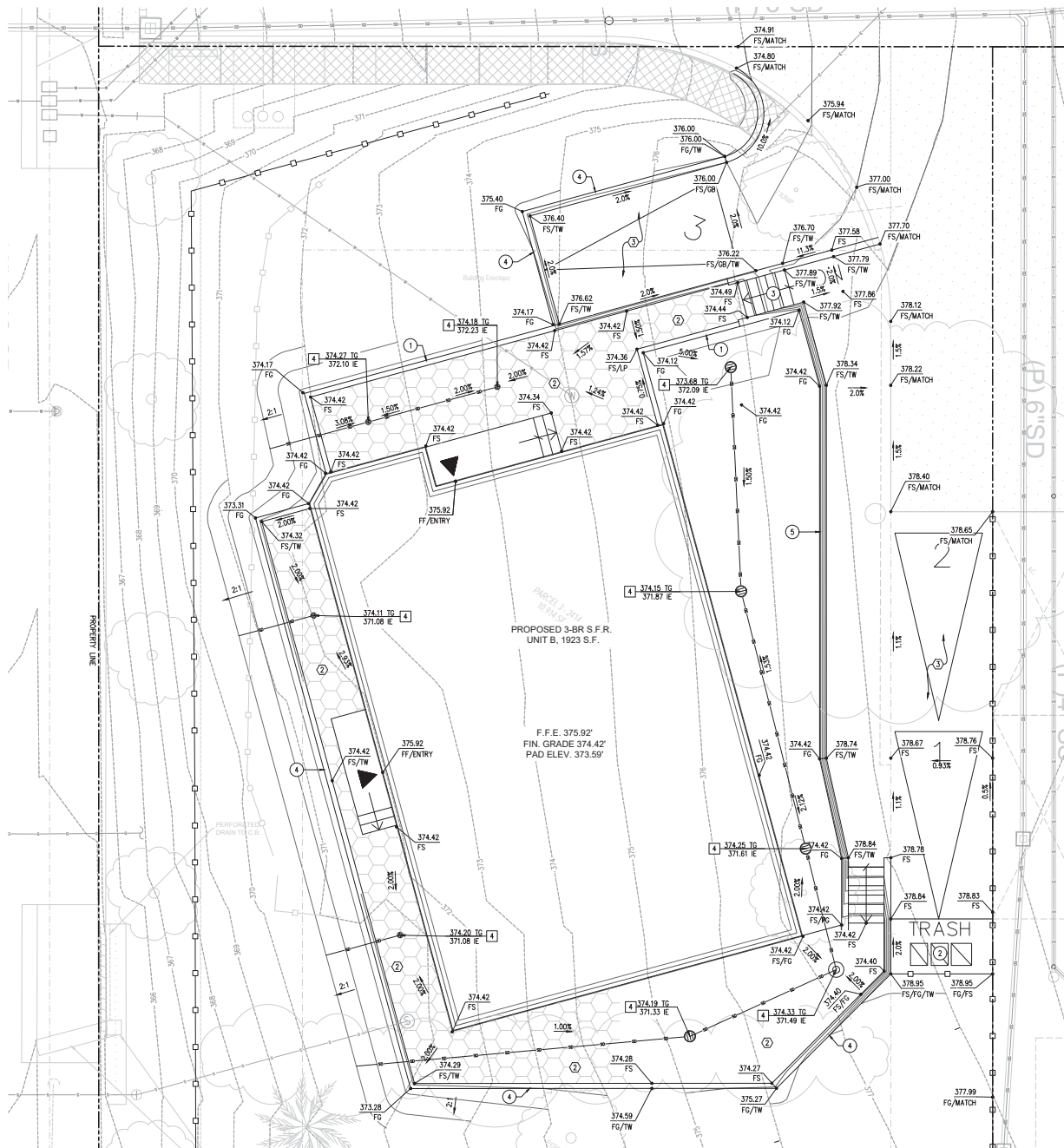


DATE	REVISIONS	BY

IMPROVEMENT PLANS FOR P.M. SLO 09-0074
2406, 2410 & 2414 JOHNSON AVENUE
CITY OF SAN LUIS OBISPO
PARCEL 3 - STORM DRAIN & CROSS SECTIONS

PROJECT NUMBER: 21-088
PREPARED ON: 09.03.2021
REVISED ON:
PREPARED BY: C.ROGERS
CHECKED BY: S.D.D.
SHEET
C5 OF 10

PLOT DATE: 9/14/2021 1:16 PM



CONSTRUCTION NOTES

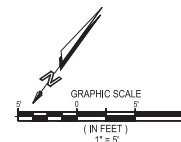
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HORIZONTAL CONTROL & PAVING NOTES

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- ② CONSTRUCT DECORATIVE PAVERS PER ARCHITECTURAL PLANS.
- ③ CONSTRUCT 6" CLASS # AGG. BASE, COMPACTED TO 90% REL. COMPACTION.



PROJECT NUMBER: 21-088
 PREPARED ON: 09.03.2021
 REVISIONS ON:
 PREPARED BY: C. ROGERS
 CHECKED BY: S.D.D.

SHEET
C6 OF **10**

IMPROVEMENT PLANS FOR P.M. SLO 09-0074
 2406, 2410 & 2414 JOHNSON AVENUE
 CITY OF SAN LUIS OBISPO

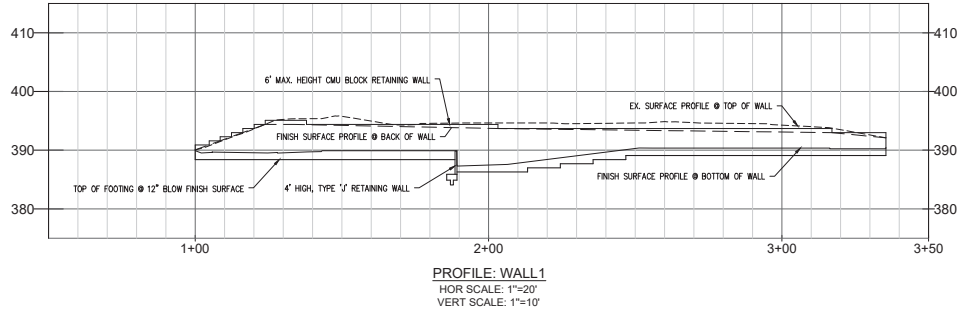
PARCEL 3 - PRECISE GRADING PLAN - S.F.R.

DATE: _____
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THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS CIVIL DESIGN WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS CIVIL DESIGN. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS CIVIL DESIGN IS PROHIBITED.

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IMPROVEMENT PLANS FOR P.M. SLO 09-0074
2406, 2410 & 2414 JOHNSON AVENUE
CITY OF SAN LUIS OBISPO

RETAINING WALL PROFILE

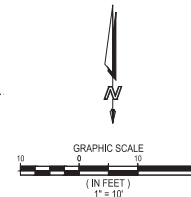
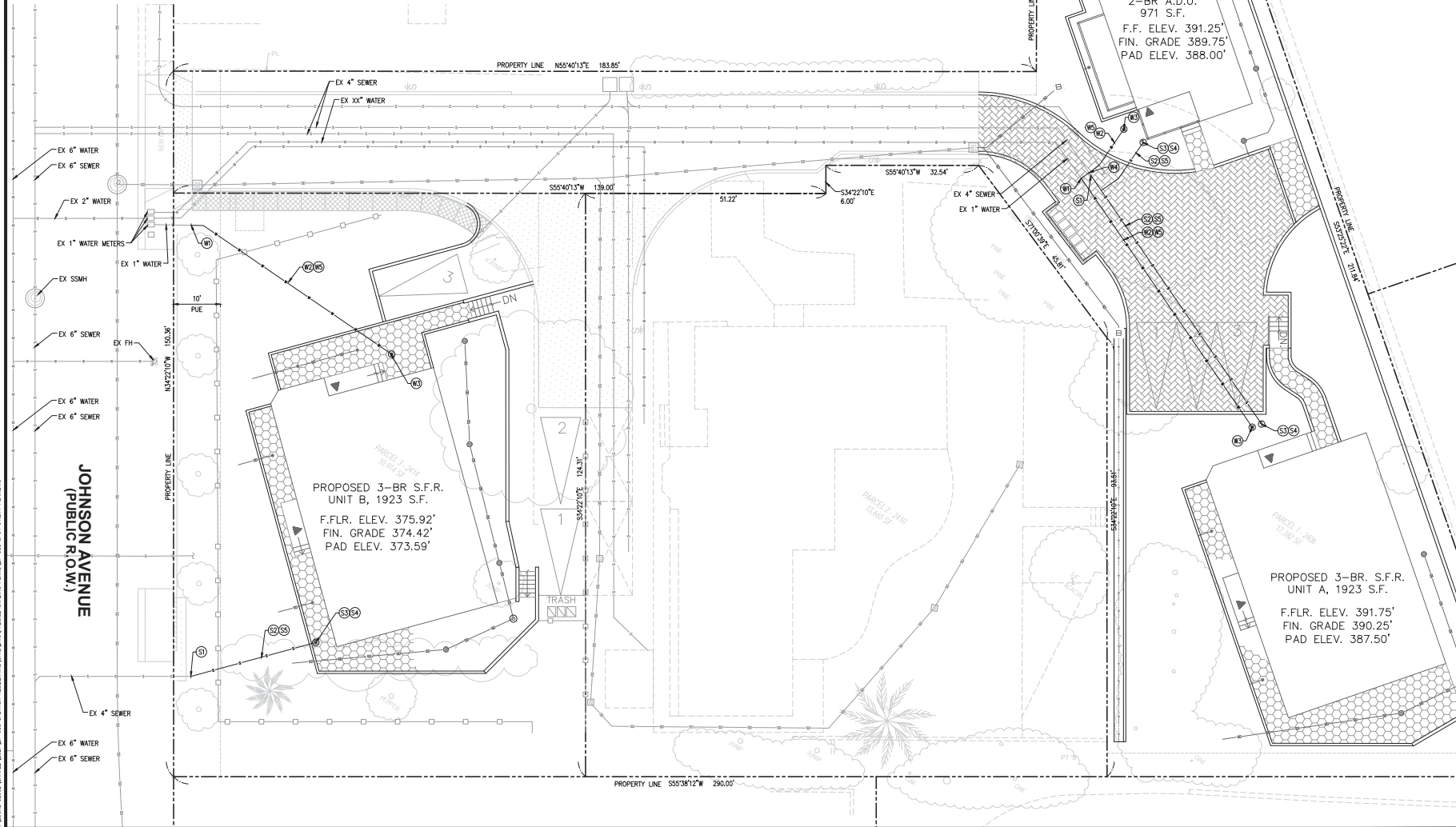
PROJECT NUMBER: 21-088
PREPARED ON: 09.03.2021
REVISED ON:
PREPARED BY: C.ROGERS
CHECKED BY: S.D.D.
SHEET
C7 OF 10

PLOT DATE: 9/14/2021 1:16 PM

- (W1) CONNECT TO EXISTING WATER SERVICE LINE.
- (W2) INSTALL 1" DOMESTIC WATER SERVICE LINE.
- (W3) WATER POINT OF CONNECTION. CONTINUATION PER PLUMBING PLAN.
- (W4) MAINTAIN MINIMUM 12" VERTICAL CLEARANCE BETWEEN WATER AND SEWER WITH WATER ABOVE SEWER.
- (W5) SERVICE TRENCH PER DETAIL 7 ON SHEET C6.1.

- (S1) CONNECT TO EXISTING SEWER.
- (S2) INSTALL 4" SEWER PIPE.
- (S3) SEWER POINT OF CONNECTION. CONTINUATION PER PLUMBING PLAN.
- (S4) INSTALL 4" SEWER CLEANOUT.
- (S5) PIPE TRENCHING PER DETAIL 7 ON SHEET C6.1.

1. THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING DRAWINGS, PROVIDED BUT NOT LIMITED TO THE FOLLOWING: PLANS INCLUDING BUT NOT LIMITED TO UTILITIES, AND MUNICIPAL AGENCIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED ALTHOUGH HE DOES NOT CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



PROPOSED
2-BR A.D.U.
971 S.F.
F.F. ELEV. 391.25'
FIN. GRADE 389.75'
PAD ELEV. 388.00'

PROPOSED 3-BR. S.F.R.
UNIT A, 1923 S.F.

F.FLR. ELEV. 391.75'
FIN. GRADE 390.25'
PAD ELEV. 387.50'

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IMPROVEMENT PLANS FOR P.M. SLO 09-0074
2406, 2410 & 2414 JOHNSON AVENUE
CITY OF SAN LUIS OBISPO

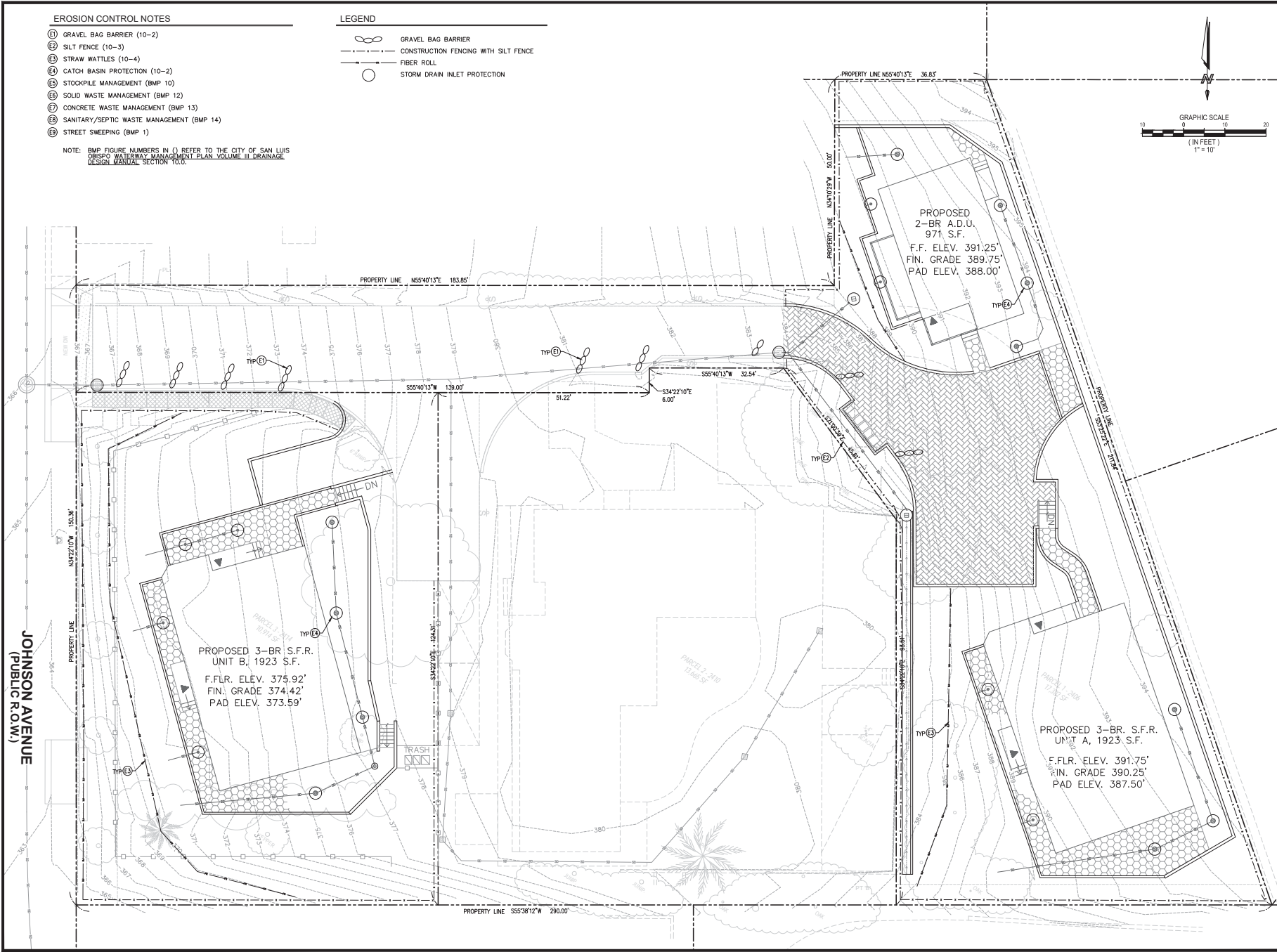
COMPOSITE UTILITY PLAN

PROJECT NUMBER: 21-088
PREPARED ON: 09.03.2021
REVISED ON:
PREPARED BY: C.ROGERS
CHECKED BY: S.D.D.

C9 SHEET OF 10

PLOT DATE: 9/14/2021 1:17 PM

C:\LOCAL_CLOUD\SHARED\2021\11-088-2406-2414 JOHNSON AVENUE IMPROVEMENTS\DWG\EROSION CONTROL PLAN.DWG



EROSION CONTROL NOTES

- (1) GRAVEL BAG BARRIER (10-2)
- (2) SILT FENCE (10-3)
- (3) STRAW WATTLES (10-4)
- (4) CATCH BASIN PROTECTION (10-2)
- (5) STOCKPILE MANAGEMENT (BMP 10)
- (6) SOLID WASTE MANAGEMENT (BMP 12)
- (7) CONCRETE WASTE MANAGEMENT (BMP 13)
- (8) SANITARY/SEPTIC WASTE MANAGEMENT (BMP 14)
- (9) STREET SWEEPING (BMP 1)

NOTE: BMP FIGURE NUMBERS IN () REFER TO THE CITY OF SAN LUIS OBISPO WATERWAY MANAGEMENT PLAN VOLUME III DRAINAGE DESIGN MANUAL SECTION 10.0.

LEGEND

- GRAVEL BAG BARRIER
- CONSTRUCTION FENCING WITH SILT FENCE
- FIBER ROLL
- STORM DRAIN INLET PROTECTION

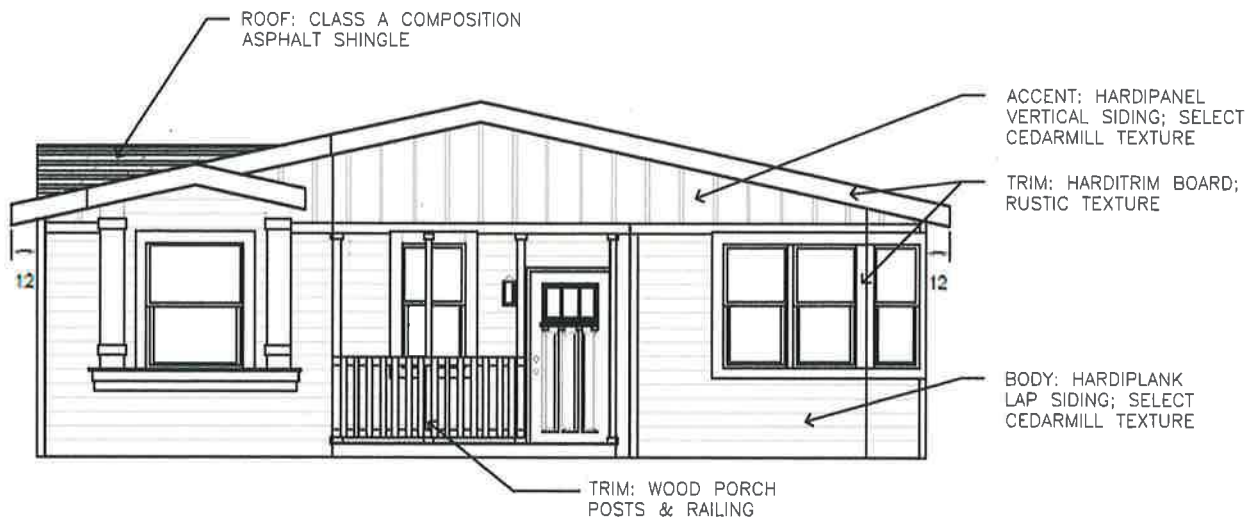
Civil Engineering • Site Optimization
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NOT FOR CONSTRUCTION

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C10 OF **10**

DATE: _____
BY: _____
REVISIONS: _____

IMPROVEMENT PLANS FOR P.M. SLO 09-0074
2406, 2410 & 2414 JOHNSON AVENUE
CITY OF SAN LUIS OBISPO
EROSION CONTROL PLAN



UNIT A ELEVATION

N.T.S.



A.D.U. ELEVATION

N.T.S.

EXTERIOR COLORS



**TIMOTHY BERNER
BECHER
ARCHITECT**

P.O. BOX 88
SAN LUIS OBISPO,
CALIFORNIA 93400
805 549 0210
FAX 805 549 0134
tim@space@tbi.net

■ ARCHITECTURE
■ PLANNING
■ SUSTAINABLE
DESIGN
■ INTERIORS
■ SCULPTURE

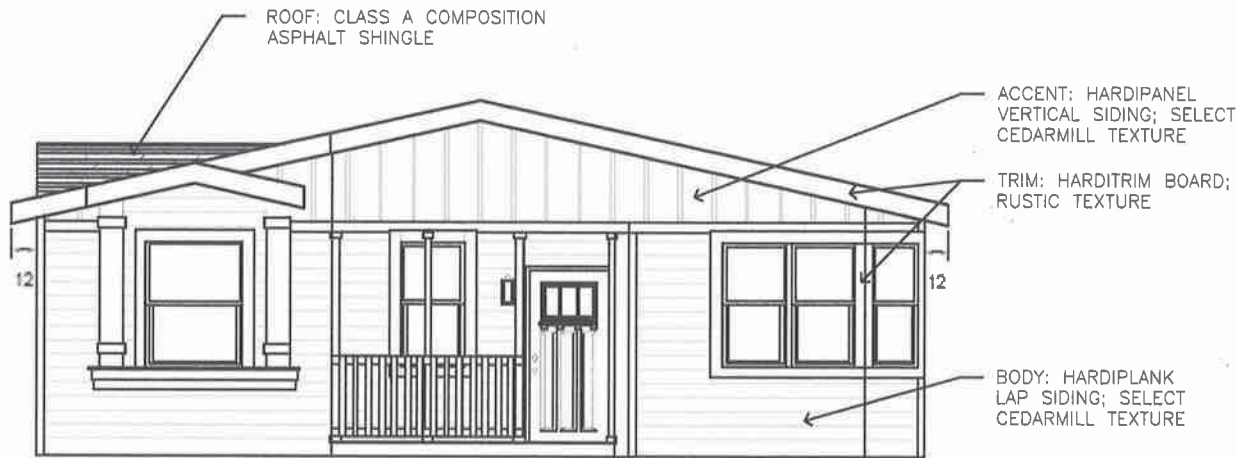
These drawings and specifications and their design and arrangement are prepared by the Architect and are not intended to be a contract. It is the responsibility of the client to obtain all necessary permits and approvals from the appropriate authorities. The Architect shall be held harmless for any damages or losses resulting from the use of these drawings and specifications. The client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Architect shall be held harmless for any damages or losses resulting from the use of these drawings and specifications. The client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

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UNIT A FINISH MATERIALS
AND COLORS
A.D.U. FINISH MATERIALS
AND COLORS

NEW S. F. RESIDENCES
SPEVACK & COLLIER
2410 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401

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DATE
REVISIONS

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SHEETS



EXTERIOR COLORS

	BODY: PPG1023-1 OATMEAL BY GLIDDEN
	TRIM: PPG1010-3 SOLSTICE BY GLIDDEN
	ACCENT: PPG1039-6 IN THE SHADOWS BY GLIDDEN
	ROOF SHINGLE: BLACK WALNUT HERITAGE SERIES BY TAMKO
	COMPOSITE DECKING: PEBBLE GREY BY TREX

TIMOTHY BECHER
AN
ARCHITECT

P.O. BOX 28
SAN LUIS OBISPO,
CALIFORNIA 93406
805.549.0218
FAX 805.549.0154
timbeck@tia.net

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Before construction on these drawings shall have proceeded, the contractor shall verify and be responsible for all dimensions and conditions on the job and for the Architect's and to protect all any variations from the drawings and conditions shown in these drawings. These drawings shall be submitted to the Architect for approval before construction. Changes shall be submitted to the Architect for approval before execution.

COMMENTS

UNIT B FINISH MATERIALS
AND COLORS

NEW S. F. RESIDENCES

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