

ZONING MAP



VICINITY MAP



SLO RANCH FARMS AND MARKETPLACE

PROJECT DESCRIPTION

AGRICULTURAL HERITAGE AND LEARNING CENTER AS ENVISIONED IN THE SAN LUIS SPECIFIC PLAN. PER THE SPECIFIC PLAN, THE PROJECT CONSISTS OF A FARM MARKET, RESTAURANT, GENERAL RETAIL, AND AG PROCESSING BUILDINGS. PER SPECIFIC PLAN CULTURAL RESOURCE MITIGATION MEASURE, CR-1 (A), AND (C) THE PROJECT ALSO INCORPORATED REHABILITATION OF TWO RELOCATED HISTORIC BUILDINGS, THE WOOD HOUSE AND THE WOOD BARN. THE PROJECT STABILIZES AND MAINTAINS FOR VIEWING, THE REMAINS OF THE HISTORIC GRANDSTAND VIEWING BARN. AS A WHOLE, THESE THREE COMPONENTS REPRESENT THE CULTURAL LEARNING CENTER PORTION OF THE PROJECT. THE BALANCE OF THE AG ZONED AREA WILL BE MAINTAINED AS A WORKING FARM WITH ASSOCIATED AG SUPPORT STRUCTURES AND FARM ROADS. THE FARM PLAN WILL BE A SEPARATE DOCUMENT SUBMITTED PRIOR TO OCCUPANCY.

NO VARIANCES OR EXCEPTIONS ARE REQUESTED.

ALL HISTORIC REHABILITATION TO BE IN COMPLIANCE WITH THE SECRETARY OF INTERIORS GUIDELINES FOR TREATMENT OF HISTORIC STRUCTURES. A FINAL REHABILITATION PLAN WILL BE DEVELOPED WITH PAULA CARR / SINCA IN COMPLIANCE WITH CULTURAL RESOURCE MITIGATION MEASURES CR-1 (A), AND (C). REFER TO THE ATTACHED SWCA SOIS CONFORMITY MEMORANDUM DATED JUNE 2, 2021 FOR ADDITIONAL PROPOSED REHABILITATION INFORMATION. THE ATTACHED SWCA POST FIRE APPROACH MEMORANDUM DATED MARCH 11, 2021 ADDRESSES THE REVISED MITIGATION MEASURES TO ADDRESS COMPLIANCE WITH THE PROJECT EIR.

THE CENTER MEETS ALL PARKING REQUIREMENTS AND IS ACCESSED FROM FROM RANCH ROAD INCLUDING A CONNECTION TO THE CLASS-1 BIKE PATH

PROJECT DIRECTORY

OWNER:	COASTAL COMMUNITY BUILDERS, INC. 330 JAMES WAY, SUITE 270 PISMO BEACH, CA 93448 CONTACT: JACOB GROSSMAN EMAIL: JACOB@CCB1.NET PHONE: (805)556-3060 x 109
ARCHITECT:	RRM DESIGN GROUP 3765 S. HICUERA STREET, SUITE 102 SAN LUIS OBISPO, CA 93401 CONTACT: RANDY RUSSOM PHONE: (805)543-1794 EMAIL: RWRUSSOM@RRMDISIGN.COM
PROJECT ADDRESS:	FROOM RANCH ROAD
APN:	053-153-010

FIRE DEPARTMENT

1. EXTERIOR CONSTRUCTION MATERIALS SHALL COMPLY WITH CBC CHAPTER 7A FOR EXPOSURE TO WILDLIFE "IGNITION RESISTANT". ANY REUSE OF WOOD MATERIALS FOR EXTERIOR APPLICATION SHALL HAVE "1-HOUR FIRE RATED" UNDERLAYMENT.
2. PROVIDE FIRE SPRINKLERS FOR ALL STRUCTURES INCLUDING EXISTING WOOD BARN THAT IS ATTACHED TO THE NEW STRUCTURE.
3. PROVIDE FIRE HYDRANTS WITHIN 300 FEET OF ALL EXTERIOR WALLS OF STRUCTURES.

PROJECT STATISTICS

ZONING	AG PER SPECIFIC PLAN TABLE 3-9
PARCEL SIZE:	52.53 ACRES
BUILDING GROSS AREA	31,236 SF
MARKET BUILDING	4,529 SF TOTAL
PRODUCE MARKET	2,591 SF
RETAIL/HARD PRODUCE	1,938 SF
RESTAURANT BUILDING	4,695 SF
CONDITIONED SPACE	3,317 SF
COVERED OUTDOOR	1,378 SF
AG PROCESSING BUILDING	9,841 SF
RETAIL/HISTORIC BARN	9,469 SF TOTAL
NEW RETAIL BUILDING	6,531 SF
GLASS ATRIUM	600 SF
REHABILITATED HISTORIC BARN	2,338 SF
HISTORIC WOOD HOUSE	2,608 SF
FIRST FLOOR	1,898 SF
SECOND FLOOR	710 SF
PLAZA AREA	38,987 SF
PERMEABLE	10,777 SF
IMPERMEABLE	28,210 SF
LANDSCAPE AREA	38,089 SF
IMPERVIOUS SURFACE:	74,484 SF
MAX. ALLOWED HEIGHT:	35 FT.
MAX. PROPOSED HEIGHT:	35 FT.
YARD SETBACKS	REQUIRED
FRONT	20'
SIDE	10'
REAR	20'
CONSTRUCTION TYPE:	VB

LEARNING CENTER:	ALLOWED	PROPOSED
WOOD HOUSE	3,000 SF	1,898 SF
ATRIUM		600 SF
TOTAL PROPOSED:		2,498 SF
MARKET FARM STAND:	3,000 SF	2,591 SF
MARKET BUILDING:	5,000 SF	4,695 SF
FOOD SERVICES		9,841 SF
RESTAURANT BUILDING:	10,000 SF	10,000 SF
AG PROCESSING CENTER:	10,000 SF	10,000 SF
AG PROCESSING BUILDING:	10,000 SF	10,000 SF
AG ACCESSORY BUILDINGS:	15,000 SF	
GENERAL RETAIL:		1,938 SF
MARKET BUILDING:		1,344 SF
WOOD BARN		7,113 SF
RETAIL BUILDING		10,395 SF
TOTAL PROPOSED:		

PARKING

AUTO PARKING	CALCULATION	SPACE COUNT
PARKING REQUIRED	1/500SF PER SPECIFIC PLAN	61
PARKING PROVIDED		78
EV REQUIRED	# OF TOTAL SPACES (76-100)	5
EV PROVIDED	PER CALGREEN 5.106.5.3.3	5
MOTORCYCLE PARKING	CALCULATION	SPACE COUNT
PARKING REQUIRED:	PER MUNICIPAL CODE:	
PARKING PROVIDED:	1/20 AUTO PARKING REQUIRED	4
BICYCLE PARKING		
PARKING REQUIRED:	PER MUNICIPAL CODE: 17.72.070 B TABLE 3.6	20
SHOPPING CENTER USE 20% OF REQUIRED VEHICLE PARKING		12
61 SPACES x 20% =		12
SHORT TERM PROVIDED:	75% PER MUNICIPAL CODE:	3
LONG TERM PROVIDED:	25% PER MUNICIPAL CODE:	15
TOTAL PROVIDED:		

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SLO RANCH FARMS AND MARKETPLACE  
TITLE SHEET

1046-18-RS20  
10 JUNE 2021

USE	PERMIT REQUIREMENTS	USE REGULATIONS
Agricultural Events	A	Included
Agricultural heritage & learning center	A	Included
Agricultural retail sales	A	Included
Animal keeping	A	Included
Beer/wine/spirits production facility	A	Included
Caretaker quarters	A	Considered (possible)
Catering service	A	Included
Commercial recreation facility - outdoor	A	Included
Community garden	A	Included
Crop production and processing	A	Included
General retail - 15,000 sf or less	A	Included
Grazing	A	Considered (possible)
Greenhouse/plant nursery, commercial	A	Considered (possible)
Library, museums (Heritage Learning Center)	A	Included
Liquor stores/alcohol sales	A	Included
Outdoor/BBO/grill, accessory to restaurant	A	Included
Outdoor/temporary/seasonal sales	A	Included
Parking facility - temporary	A	Considered (possible)
Produce stand	A	Included
Public assembly facility	A	Considered (possible)
Farm to table restaurant	A	Included
Special event	A	Considered (possible)
Wine/local beer tasting room	A	Included

NOTE: SUPPLEMENTAL CONDITIONS MATRIX PROVIDED

USE	AG	
Zone	AG	All buildings and proposed uses (tenants) conform with allowable uses in Table 3-9
Allowable Uses	See Table 3-9	All buildings and proposed uses (tenants) conform with allowable uses in Table 3-9
<b>DEVELOPMENT POTENTIAL</b>		
Learning Center	3,000 sf maximum	Proposed building square footages are at or below allowed maximum.
Market/Farm Stand	3,000 sf maximum	Proposed building square footages are at or below allowed maximum.
Ag Processing Center	10,000 sf maximum	Proposed building square footages are at or below allowed maximum.
Food Services	5,000 sf maximum	Proposed building square footages are at or below allowed maximum.
Ag Accessory Structures	10,000 sf maximum with no structure greater than 1,500 sf	Proposed building square footages are at or below allowed maximum.
General Retail	15,000 sf maximum	Proposed building square footages are at or below allowed maximum.
<b>BUILDING HEIGHT</b>		
Building Height	35' maximum: Historical structures may exceed height limit up to 45' max.	Max proposed building height is 35'
<b>SETBACKS</b>		
Street Front	20' minimum	Buildings conform to SP setbacks
Side	10' minimum	Buildings conform to SP setbacks
Rear	20' minimum	Buildings conform to SP setbacks
<b>OTHER</b>		
Automobile Parking	1 space per 500 sf	Min.
Bicycle Parking	See SLOMC Section 17.16.060	Included
Landscaping	See Table 3-12	Included
	All lighting shall be downward focused except for ambient string-style patio lights	Included
Lighting	See Table 3-11	Included
Signs	See SLOMC Section 17.16.050	Considered (possible)
Fences/Walls/Hedges	Shall conform with design guidelines in Section 3.73 herein	Included
Architecture		Included

SITE PLANNING AND DESIGN	
Site design should consider the highly visible character of this site and place loading/delivery/back of house uses in various inconspicuous locations.	Achieved, deliveries are in non-visible parking lot areas & behind restaurant. Particular attention paid to view from freeway.
Buildings should be aesthetically pleasing from all angles, especially for buildings that have high visibility from Highway 101.	Achieved, Four-sided architecture incorporated
Site design should incorporate pedestrian walkways, outdoor seating, and landscape areas.	Achieved, Site plan is based on indoor-outdoor design with permanent outdoor seating and fire pits.
Outdoor spaces should reflect careful planning and provide plaza spaces with defined edges, benches, and lighting that establish a sense of place.	Achieved, plaza designed for distinct sense of place
Building forms, materials, and finishes should reflect the agrarian heritage of the site.	Achieved
Murals, trellises, or vines should be placed on large expanses of walls at the rear or sides of buildings to soften the appearance and create visual interest.	Achieved, see rear of Market and Retail building
A series of pedestrian promenades and plazas should link the various structures placed on-site for the Agricultural Heritage Facilities and Learning Center.	Achieved, Agricultural Heritage Facilities and Learning Center is forefront, prominent and connected.
A variety of outdoor seating areas should be incorporated to encourage formal and informal on-site dining.	Achieved, permanent benches, tables, picnic area, fire pits and shade structures are proposed.
Site amenities, including benches, drinking fountains, provisions for bicyclists, water features, and public art, should be utilized and should complement the project's architectural character.	Achieved, provisions for bicyclists and public art are proposed.
Flexible spacing for use by food trucks, formal and informal events, live music, and other agricultural related activities should be incorporated adjacent to the planned Agricultural Heritage Facilities and Learning Center.	Achieved, central plaza stage located in front of Agricultural Heritage Center
Lighting should be designed to provide ambience, safety, and security without unnecessary spillover or glare onto adjacent properties.	Achieved, lighting is focused downward
Building light fixtures, such as barn style or gooseneck, should be designed or selected to be architecturally compatible with the main structures, which should complement the agrarian theme of the site.	Achieved, barn lighting and gooseneck lighting proposed on buildings
Signs should be in scale with and in proportion to the primary building facade so that the signs do not dominate the appearance.	Achieved, signs are in scale and in style per specific plan
Building materials should consist of authentic materials commonly associated with the architectural style of the building. Highly reflective or tinted glass, imitation stone or brick, corrugated fiberglass, plastic roof tiles, and undecorated concrete block should be avoided.	Achieved, building material is consistent with farm and agrarian style
Exterior colors should be consistent with the architectural style of the building. Color schemes that involve a minimum of three (3) colors should be utilized.	Achieved, color schemes are consistent with farm and agrarian style
Different colors accentuating different aspects and details of the building architecture should be utilized. Except for accentuating different aspects and details of a building, bright colors should be avoided.	Achieved, different colors utilized
Landscaping will be comprised of the plants listed in Table 3-12.	Achieved, plant palette conforms to table 3-12
Fencing should reflect an agrarian theme with wood and metal materials. Wood fences with metal mesh (hog wire) and split rail fences are encouraged. Barbed wire fencing should not be used.	Achieved, wood, hog wire, and split rail fencing used. No barbed wire fencing proposed.
Trees and shrubs should be located and spaced to allow for mature and long-term growth.	Achieved, noted on landscape plans
Trees should be selected based on performance basis with the objective of producing fruit, minimizing water use, providing shade, minimizing hazardous litter.	Achieved, drought tolerant trees, fruiting trees, shade trees used. Focused on color and contrast and minimizing litter.
Vines and potted plants should be incorporated to provide wall, column, and post texture and color as well as for accentuating entryways, courtyards, and sidewalks.	Achieved, vines on buildings and fencing included. Planting used to accentuate pathways and entryways
Plantings should be used to screen or separate less desirable areas from public view, such as trash enclosures, parking areas, storage areas, loading areas, and public utilities.	Achieved, less desirable areas are tucked away from public view and screened with planting





REFER TO ON-SITE AND OFF-SITE AG  
CONSERVATION EASEMENT, ON AGRICULTURE  
CONSERVATION SHEET 27

EXISTING AG ROAD EASEMENT, FINAL  
FARM PLAN WITH CITY FARM TO BE  
SUBMITTED PRIOR TO OCCUPANCY

AG ACCESSORY BUILDINGS  
REFERENCE SHEET 28

PROJECT SITE  
SEE AG HERITAGE SITE PLAN  
SHEET 9

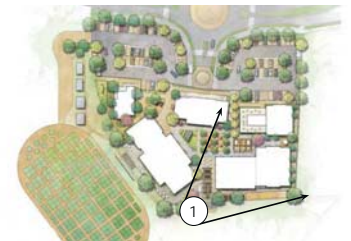












SITE PLAN  
NTS





SITE PLAN  
NTS





SITE PLAN  
NTS





**LEGEND:**

- EV CAPABLE PARKING
- EV READY PARKING
- ACCESSIBLE PARKING









FRONT/ NORTH ELEVATION



SIDE/ WEST ELEVATION



BACK/SOUTH ELEVATION

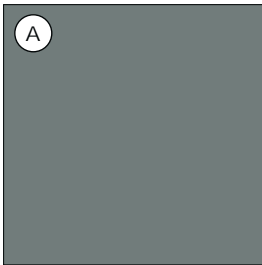


SIDE/EAST ELEVATION

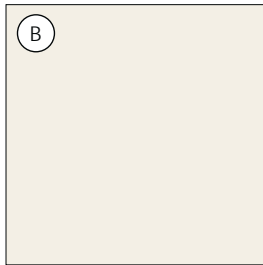




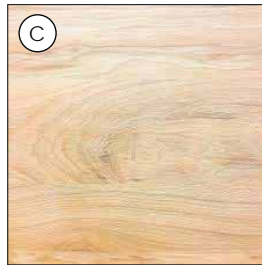
**NOTE:**  
EXTERIOR CONSTRUCTION MATERIALS SHALL COMPLY WITH CBC CHAPTER 7A.



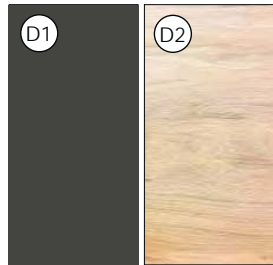
**ROOF**  
OLD TOWN GRAY  
AEP STANDING SEAM



**FIBER CEMENT SIDING**  
SHERWIN WILLIAMS  
SW 7102 WHITE FLOUR



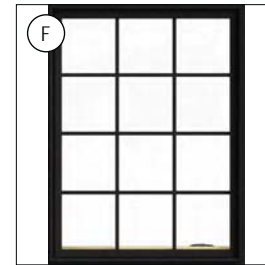
**TRIM**  
CLEAR COAT WOOD-LOOK



**SIGNAGE**  
SW 7069 IRON ORE    **SIGNAGE**  
SW 3503 WHITE BIRCH



**LIGHTING**  
BLACK GOOSENECK  
BARNLIGHT ELECTRIC  
DARK SKY COMPLIANT

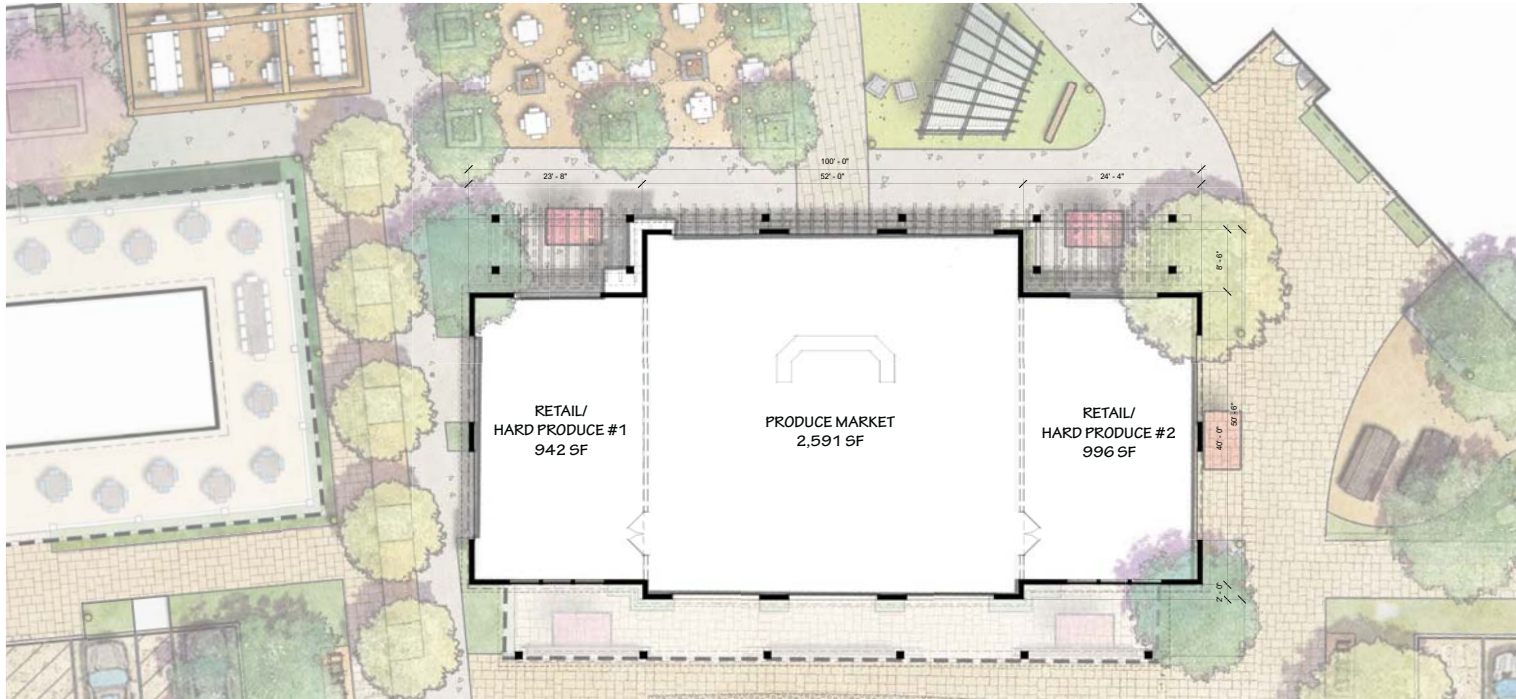


**WINDOW**  
BLACK STEEL-LOOK



**DOORS**  
BLACK OVERHEAD DOORS





PRODUCE MARKET: 2,591SF  
 RETAIL /HARD PRODUCE: 1,938  
 TOTAL GROSS SQUARE FEET: 4,529 SF





FRONT/ NORTH ELEVATION



SIDE/ WEST ELEVATION



BACK/ SOUTH ELEVATION

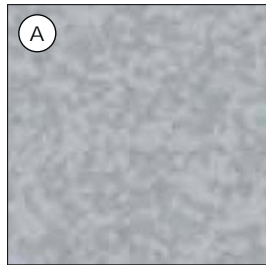


SIDE/ EAST ELEVATION

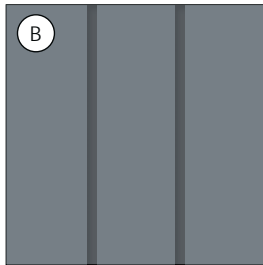




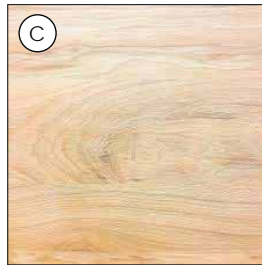
**NOTE:**  
EXTERIOR CONSTRUCTION MATERIALS SHALL COMPLY WITH CBC CHAPTER 7A.



**ROOF**  
ZINCALUME  
AEP STANDING SEAM



**VERTICAL FIBER CEMENT SIDING**  
SHERWIN WILLIAMS  
SW 2819 DOWNING SLATE



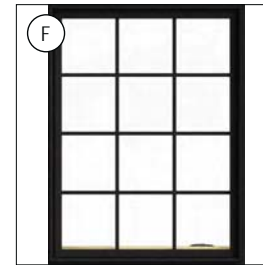
**TRIM**  
CLEAR COAT WOOD-LOOK



**SIGNAGE**  
SW 7069 IRON ORE



**LIGHTING**  
BLACK GOOSENECK  
BARNLIGHT ELECTRIC  
DARK SKY COMPLIANT



**WINDOW**  
BLACK STEEL-LOOK



**DOORS**  
BLACK OVERHEAD DOORS







FRONT/ NORTH ELEVATION



SIDE/ WEST ELEVATION



BACK/SOUTH ELEVATION

POTENTIAL FOR BACK ROLL-UP DOORS TO  
BECOME WINDOWS

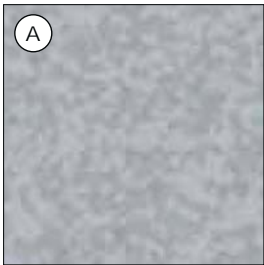
SIGN TO BE DETERMINED AND SUBMITTED  
FOR REVIEW AT A LATER DATE



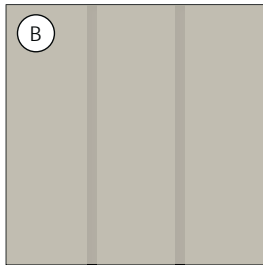
SIDE/EAST ELEVATION



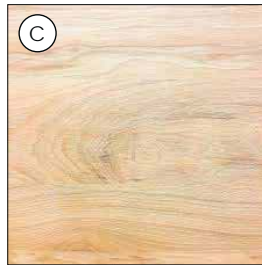
**NOTE:**  
EXTERIOR CONSTRUCTION MATERIALS SHALL COMPLY WITH CBC CHAPTER 7A.



**ROOF**  
ZINCALUME  
AEP STANDING SEAM



**VERTICAL FIBER CEMENT SIDING**  
SHERWIN WILLIAMS  
SW 2844 ROYCROFT MIST GRAY



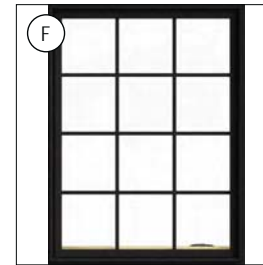
**TRIM**  
CLEAR COAT WOOD-LOOK



**SIDING**  
RECLAIMED WOOD-LOOK



**LIGHTING**  
BLACK GOOSENECK  
BARNLIGHT ELECTRIC  
DARK SKY COMPLIANT

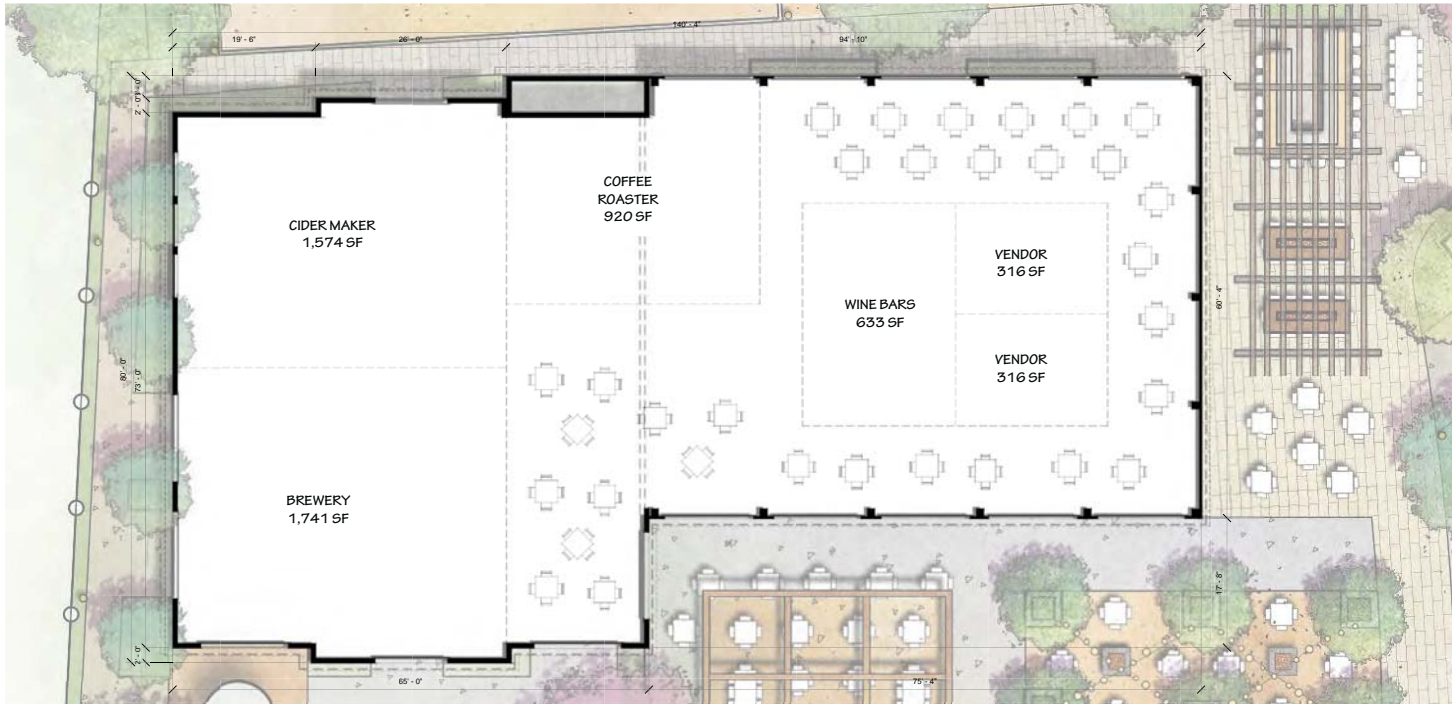


**WINDOW**  
BLACK STEEL-LOOK



**DOORS**  
BLACK OVERHEAD DOORS





GROSS SQUARE FEET: 9,481 SF  
 NOTE: USES ARE CONCEPTUAL PER ALLOWED USES DEFINED IN SPECIFIC PLAN, REFER TO SHEET 2



FRONT/ NORTH ELEVATION



SIDE/ WEST ELEVATION



BACK/ SOUTH ELEVATION

HISTORIC VIEWING BARN WALL



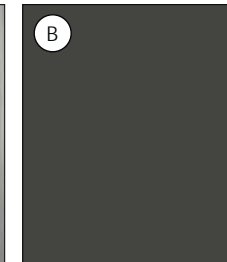
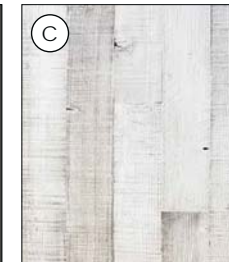
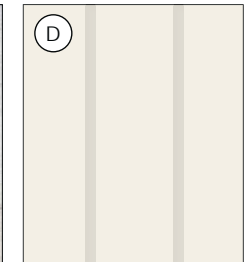

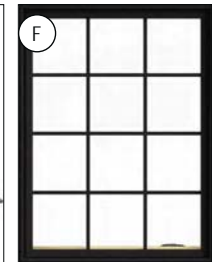





SIDE/ EAST ELEVATION





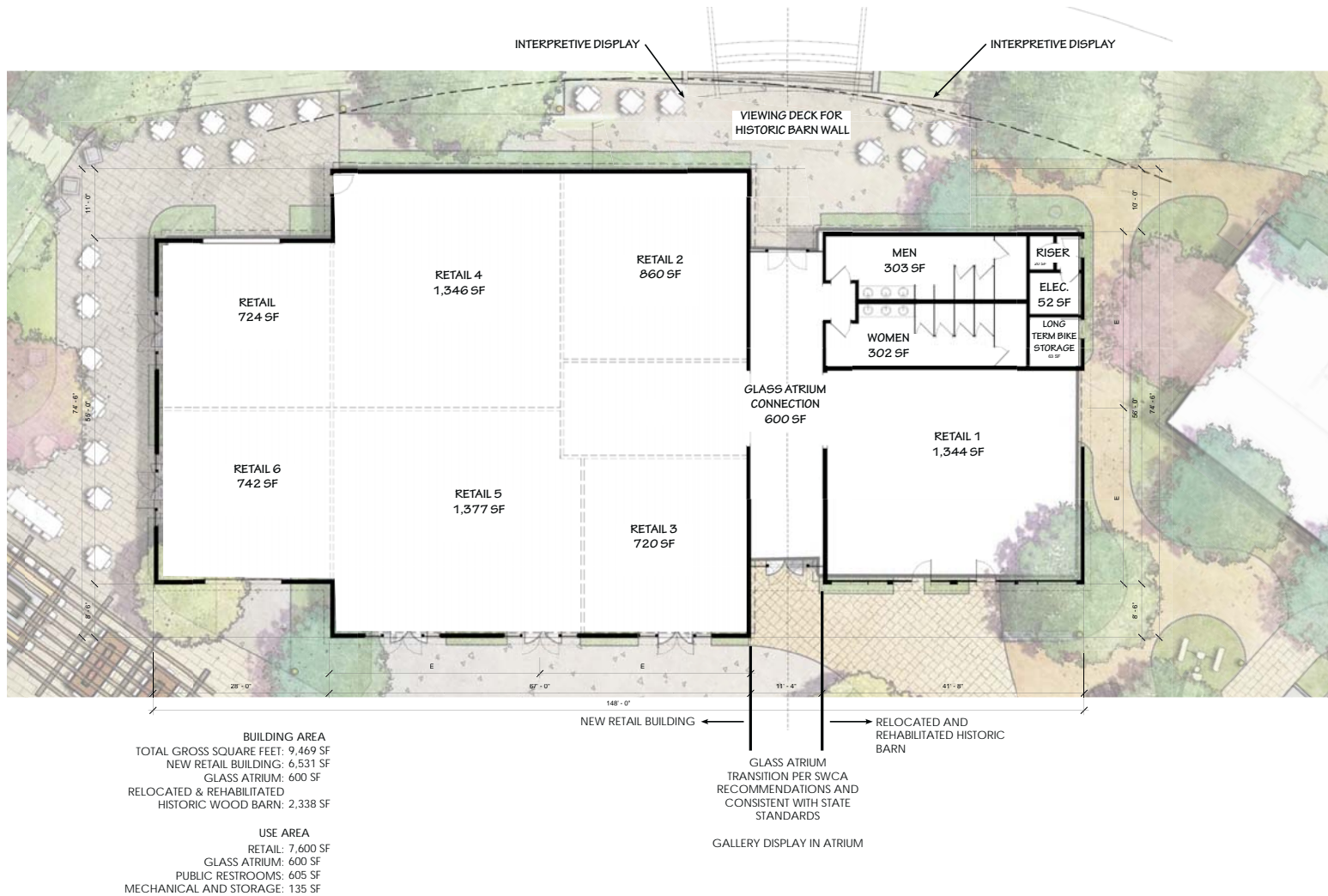
**NOTE:**  
 EXTERIOR CONSTRUCTION MATERIALS SHALL COMPLY WITH CBC  
 CHAPTER 7A. REUSE OF WOOD MATERIALS FOR EXTERIOR APPLICATION  
 SHALL HAVE 1-HOUR FIRE RATED UNDERLAYMENT.

									
<b>ROOF</b> ZINCALUME AEP STANDING SEAM	<b>ROOF</b> CORRUGATED METAL	<b>ACCENT METAL</b> SHERWIN WILLIAMS SW 7069 IRON ORE	<b>BARN WOOD SIDING</b> RECLAIMED HAY BARN MATERIAL	<b>VERTICAL FIBER CEMENT SIDING</b> SHERWIN WILLIAMS SW 7102 WHITE FLOUR	<b>LIGHTING</b> BLACK GOOSENECK BARNLIGHT ELECTRIC DARK SKY COMPLIANT	<b>WINDOW</b> BLACK STEEL-LOOK NO GRIDS ON BACK WINDOWS	<b>DOORS</b> BLACK OVERHEAD DOORS	<b>DOORS</b> BYPASS GLASS DOORS	<b>CONCRETE BASE</b> BOARD FORM CONCRETE



# SLO RANCH FARMS AND MARKETPLACE RETAIL AND HISTORIC BARN- COLOR AND MATERIALS

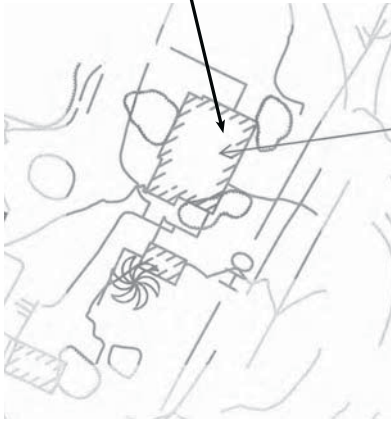
1046-18-RS20  
 10 JUNE 2021





# CULTURAL HERITAGE LEARNING CENTER

MAINTAIN HISTORIC  
HOUSE ORIENTATION



HISTORIC PLAN  
SCALE: NTS



NOTE:  
ORIGINAL HISTORIC BUILDING ORIENTATION PER SAN LUIS  
RANCH MAP SURVEY

- RELOCATED AND REHABILITATED  
HISTORICAL WOOD HOUSE TO SERVE  
AS LEANING AND INTERPRETIVE  
CENTER PER MITIGATION MEASURE  
SWCA CR-1 (A).
- NATURALIZED LANDSCAPE SURROUNDING  
HISTORIC STRUCTURES PER SWCA  
RECOMMENDATIONS PER MITIGATION  
MEASURE CR-1
- RELOCATED AND REHABILITATED RELOCATED  
HISTORIC WOOD BARN PER MITIGATION  
MEASURE SWCA CR-1 (A).
- REMAINING FIRE DAMAGED WALL OF  
HISTORIC VIEWING BARN
- WALL VIEWING TERRACE WITH  
INTERPRETIVE DISPLAYS
- CONNECTING GLASS ATRIUM; DISPLAY  
GALLERY PER MITIGATION MEASURE  
SWCA CR-1 (C).

NOTE:  
BUILDING DOCUMENTATION, RELOCATION, AND  
REHABILITATION TO BE CONDUCTED IN COMPLIANCE WITH  
CULTURAL RESOURCE MITIGATION MEASURE CR-1 (A), CR-  
(B), AND CR-1 (C) AS MODIFIED THROUGH SWCA POST FIRE  
MITIGATION APPROACH MEMORANDUM DATED MARCH  
11, 2021. REFER TO THE ATTACHED SWCA SOIS CONFORMITY  
MEMORANDUM DATED JUNE 2, 2021 FOR ADDITIONAL  
PROPOSED REHABILITATION INFORMATION.



PROPOSED PLAN  
SCALE: NTS







LOUNGE

RECEPTION/ OFFICE



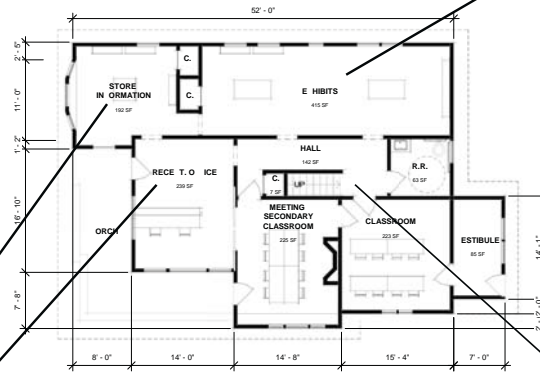
EXHIBITS

**NOTE:**  
FINAL INTERPRETIVE DISPLAY DETAILING THE HISTORY OF SAN LUIS RANCH COMPLEX TO BE DEVELOPED. DISPLAY TO INCLUDE IMAGES AND DETAILS FROM THE HABS DOCUMENTATION AND ANY COLLECTED RESEARCH PERTAINING TO THE HISTORY OF THE PROPERTY. THE CONTENT SHALL BE PREPARED BY A QUALIFIED ARCHITECTURAL HISTORIAN OR HISTORIAN WHO MEETS THE SECRETARY OF THE INTERIOR'S PROFESSIONAL QUALIFICATION STANDARDS FOR HISTORY.

INTERIOR TO BE REHABILITATED PER SCWA CR-1 (A).  
INFORMATIONAL DISPLAYS TO BE INCORPORATED PER CULTURAL RESOURCE MITIGATION MEASURE CR-1(C) AS MODIFIED PER SWCA POST FIRE MITIGATION APPROACH MEMORANDUM DATED MARCH 11, 2021. ADDITIONAL REHABILITATION INFORMATION FOUND IN THE ATTACHED SWCA SOIS CONFORMITY MEMORANDUM DATED JUNE 2, 2021.

**BUILDING AREA**

PORCH:	134 SF
RECEPTION/OFFICE:	239 SF
STORE/INFORMATION:	192 SF
EXHIBITS:	415 SF
CLASSROOM:	223 SF
MEETING/SECONDARY:	225 SF
RESTROOM:	63 SF
VESTIBULE:	85 SF



FLOOR PLAN  
SCALE: 1/8" = 1'-0"



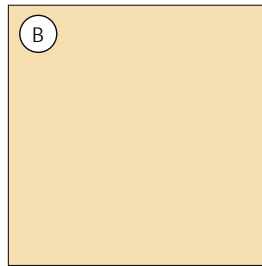
CLASSROOM



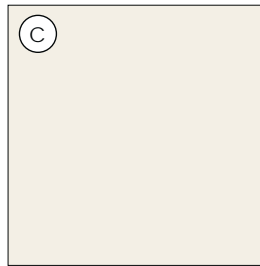




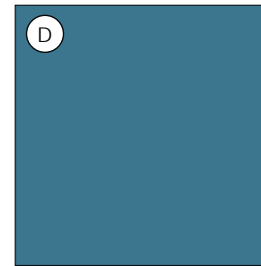
**ROOF**  
TIMBERLINE WEATHERED WOOD  
GAF ASPHALT SHINGLES



**SIDING**  
SHERWIN WILLIAMS  
SW 6673 BANANA CREAM  
COLOR TO BE DETERMINED AT TIME OF  
EXPLORATORY SANDING AND FURTHER  
RESEARCH



**TRIM**  
SHERWIN WILLIAMS  
SW 7102 WHITE FLOUR

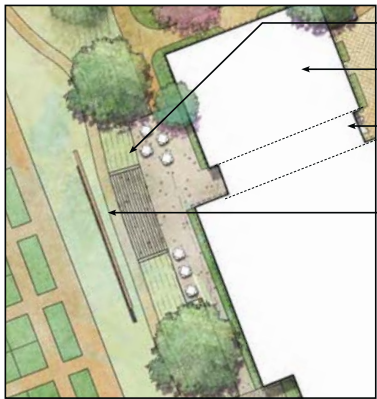


**ACCENT**  
SHERWIN WILLIAMS  
SW 6502 LOCH BLUE

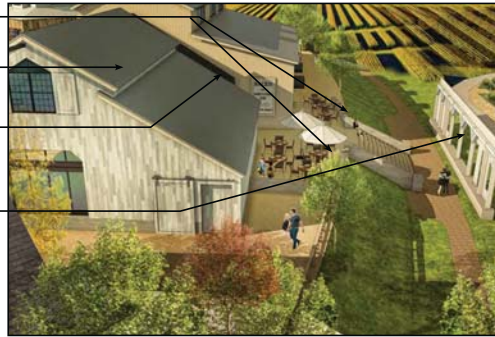


**WALL LIGHT**  
URBAN AMBIANCE  
UHP1153





INTERPRETIVE DISPLAYS  
RELOCATED AND  
REHABILITATED  
WHITE BARN  
ATRIUM GALLERY  
REUSED EXISTING  
"BURNT WALL"



ATRIUM GALLERY ENTRANCE



EXAMPLES OF INTERPRETIVE DISPLAY IMAGERY



REUSE OF EXISTING "BURNT WALL"  
FACADE OF VIEWING BARN FOR  
INTERPRETIVE DISPLAY.





**San Luis Ranch Offsite  
Agricultural Conservation Easement**  
Map Center: 120.74642°W 35.28693°N  
San Luis Obispo, California  
Biological Survey Date: 10/09/2018

## OFF-SITE AGRICULTURAL CONSERVATION

NOT TO SCALE

**NOTE:**  
REFERENCED FROM BASE LINE DOCUMENTATION REPORT FOR SAN LUIS RANCH OFFSITE AGRICULTURAL EASEMENT BY ALTHOUSE AND MEADE, INC DATED OCT 2018 FOR SAN LUIS RANCH OFFSITE PARCEL APN 067-181-101

## ADDITIONAL OPEN SPACE

ADDITIONAL 30 ACRES OF PRESERVED AGRICULTURAL OPEN SPACE HAS PREVIOUSLY BEEN PROVIDED THROUGH AN OPEN-SPACE EASEMENT IN FAVOR OF THE CITY OF SAN LUIS OBISPO RECORDED ON 11-29-2018, DOCUMENT 2018049254 AND DESCRIBED AS EXHIBIT "B-1"

**LEGAL DESCRIPTION**  
AGRICULTURE AND CONSERVATION EASEMENT AREA  
THAT REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA BEING THE NORTHEASTERLY 30.00 ACRES OF THE PROPERTY DESCRIBED IN THE DEED TO GARY ESAJIAN RECORDED JANUARY 18, 2006, AS DOCUMENT NUMBER 2006-003672 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, THE NORTHEASTERLY LINE OF SAID 30.00 ACRES TO BE THE SOUTHWESTERLY LINE OF THE PROPERTY DESCRIBED IN THE DEED TO THE COUNTY OF SAN LUIS OBISPO RECORDED APRIL 19, 1979, IN VOLUME 2147, AT PAGE 788, OF OFFICIAL RECORDS OF SAN LUIS OBISPO COUNTY, CALIFORNIA AND THE SOUTHWESTERLY LINE OF SAID 30.00 ACRES TO BE PARALLEL WITH SAID NORTHEASTERLY LINE.



## ON-SITE AGRICULTURAL CONSERVATION

NOT TO SCALE

**NOTE:**  
REFERENCED FROM BASE LINE DOCUMENTATION REPORT FOR SAN LUIS RANCH ONSITE AGRICULTURAL EASEMENT BY ALTHOUSE AND MEADE, INC DATED NOV 2019 FOR SAN LUIS RANCH OFFSITE PARCEL APN 067-121-022

## LEGEND:

••••• AGRICULTURE CONSERVATION EASEMENT  
- - - - - FARMLAND

**AG CONSERVATION AREA,  
DEDICATED PRIME FARMLAND**  
REQUIRED MITIGATION MEASURE  
AG-1: 59.356 ACRES

PROVIDED	
ON-SITE	42.06 ACRES
OFF-SITE	24.50 ACRES
<b>TOTAL PRIME FARMLAND PROVIDED</b>	<b>66.56 ACRES</b>

**ON-SITE AGRICULTURAL CONSERVATION AREA:**  
48.85 ACRES

TOTAL ON-SITE CONSERVATION AREA		48.85 ACRES
CAL TRAN DEDICATIONS		
	#1	4.91 ACRES
	#2	1.08 ACRES
	#3	.30 ACRES
LOT 10 (42.56 ACRES)		
	AG. ACCESSORY BUILDING AREA	0.5 ACRES
	PRIME FARMLAND	42.06 ACRES

**NOTE:** NO MORE THAN SIX ACRES TO BE USED FOR COMMUNITY GARDEN PLOTS, INTERACTIVE SEASON FARMING, TENANT FARM TO TABLE, ANIMAL PENS, AND EDUCATIONAL CROPS.

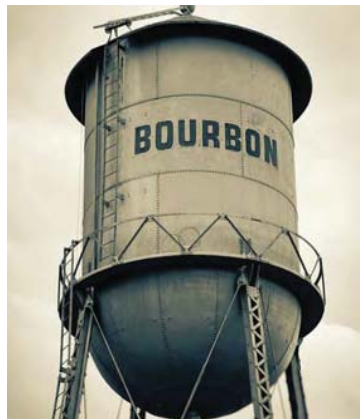




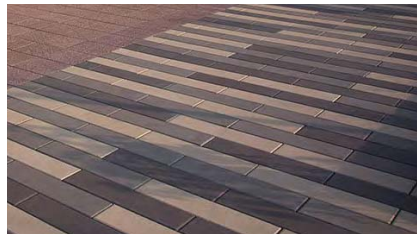
NOTE: IMAGES REPRESENT EXAMPLES, FINAL DESIGNS TO BE SUBMITTED















## DESIGN KEY

### HARDSCAPE

- ① E E E E EST E S
- ② E E E EH E S
- ③ S H T
- ④ E ETE
- ⑤ S THET T
- ⑥ E TH

### SITE INFRASTRUCTURE

- ① T S H E S E
- ② E E SS ES E 6- E S

- E EST STE HT

### SITE AMENITIES

- ① SE TE
- ② E TS E
- ③ E EST E T T H TE
- ④ ETE SE T
- ⑤ 13' X 6' E T TH STE SHE
- ⑥ STE E H
- ⑦ S E T T TH E SE TE
- ⑧ ST HT SE TE S E TE
- ⑨ 8' X 8' S T T
- ⑩ ST S ESS E ESS T
- ⑪ T E S TH THE
- ⑫ E S E T ST ESST T
- ⑬ H ET H E E TS
- ⑭ EST T -T E E TS
- ⑮ E
- ⑯ E T 4
- ⑰ E E S THET T E TH
- ⑱ T E ET ES

### SITE STRUCTURES

- ① E E TE E ST E TH E HE
- ② E ST T E E TE E TSS
- ③ H E E E TH ES
- ④ TE STEE E HE ST T E TH
- ⑤ E S ST HT
- ⑥ TE STEE E - EE H SEST T E
- ⑦ TH SE T ST HT
- ⑧ E E T E ETE T
- ⑨ E STEE TE T E
- ⑩ T

### PUBLIC ART OPPORTUNITIES

- ① 3' T
- ② T ET T THE E S T E
- ③ SS E T T E T E

0 10 20 40  
1" = 20'-0" 24X36 SHEET

1046-18-RS20  
10 JUNE 2021









PEDESTRIAN PARKING LOT LIGHTS



SIGN LIGHTS

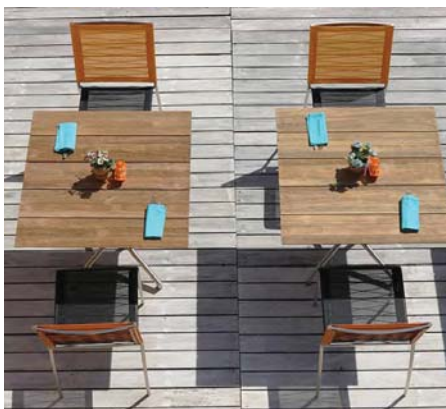


BOLLARD LIGHTS

EXTERIOR LIGHTING:  
Outdoor lighting systems shall be designed and installed to comply with CalGreen section 5.106.8. Refer to Landscape Site Plan (Sheet 31) for locations.



PEAK BIKE RACKS CAMPUS RACK



PLANTING DESIGN CRITERIA  
 THE T ETTE E S SE E TE E T TE T TH E THE  
 THE T S E E S 2 T ESS THE T TE E E T TE THE  
 THE E T S STE E EET EX EE THE ST TE E EST ST TH S T ETTE E TH  
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 E T TES ES EE E TH E E T  
 IRRIGATION AND PLANTING DESIGN CRITERIA  
 E THE SE S T T E E SE T T THE T TE E  
 TE S S T T THE E E E T S E HH E TE E  
 T EES SH S T TH T E E S E TE SE TE H ES TH E  
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 T SE E E TE E E

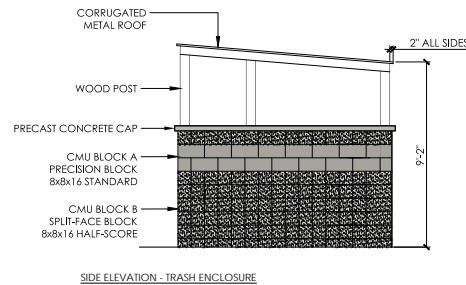
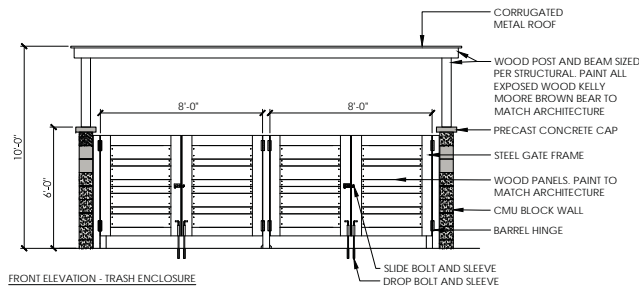
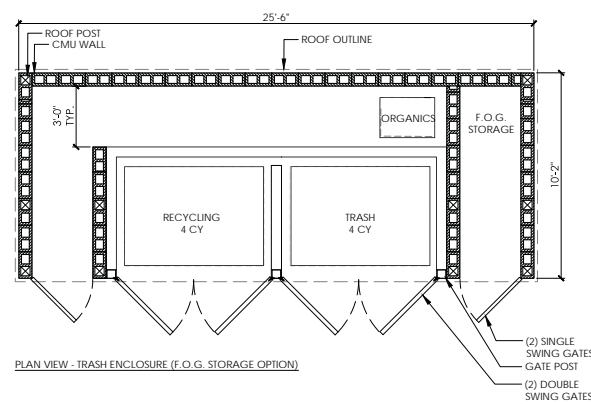
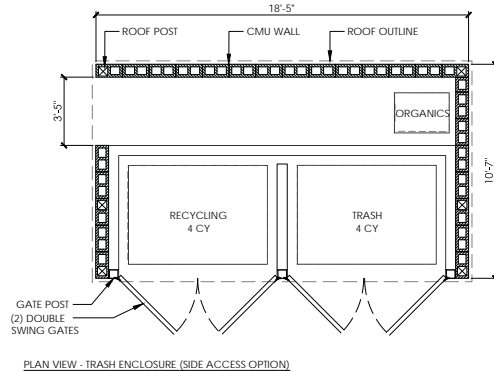
## PLANTING IRRIGATION DESIGN STATEMENT

### NOTES:

1. FINISHES OF WOOD, ROOF, AND HARDWARE TO MATCH CORRESPONDING ARCHITECTURAL FINISHES.
2. ENTRANCE TO SIDE ACCESS ENCLOSURE WILL OCCUR ON EITHER SIDE DEPENDING ON SITE LOCATION.
3. SEE STRUCTURAL DRAWINGS FOR BEAM SIZING, FOOTING DESIGN, AND REINFORCEMENT MEASURES.



60 620 ( ) 20-101 ( )



## TRASH ENCLOSURE



San Luis Obispo
Maximum Applied Water Allowance / Estimated Total Water Use

Non-Residential/Recycled Water
43.80 ET <sub>a</sub> (inches/year)
Overhead Landscape Area (ft <sup>2</sup> )
Drip Landscape Area (ft <sup>2</sup> )
38089 SLA (ft <sup>2</sup> )
38,089 ft <sup>2</sup>

Hydrozone	Plant Water Use Type (low, moderate, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft <sup>2</sup> )	Enter Irrigation Type	(PF x HA (ft <sup>2</sup> )) / IE
Zone 1	Low	0.3	31765	SLA	
Zone 2	Moderate	0.5	6323	SLA	
Zone 3					
Zone 4					
Zone 5					
Zone 6					
Zone 7					
Zone 8					
Zone 9					
Zone 10					
Zone 11					
Zone 12					
Zone 13					
Zone 14					
Zone 15					
Zone 16					
Zone 17					
Zone 18					
Zone 19					
Zone 20					
HA			38,089		
Total LA			38,089		

MAWA=	1,034,344.9	Recycled Water Project Allowed Full MAWA
ETWU=	1,034,344.9	Gallons
	1,382.7	HCF (Hundred Cubic Feet) per year
	3.174	Acre-feet per year

## WATER CALCULATIONS

www.PeakRacks.com

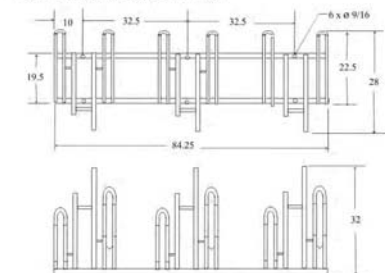


Phone 805-235-8812



### Specifications

**6-bike Capacity:** Minimum Footprint with Bikes Inserted: 109" x 72"  
 Campus Standard 102 Lbs  
 Rack with Plaque 120 Lbs  
 Rack with Plaque Heavy Duty Base 128 Lbs

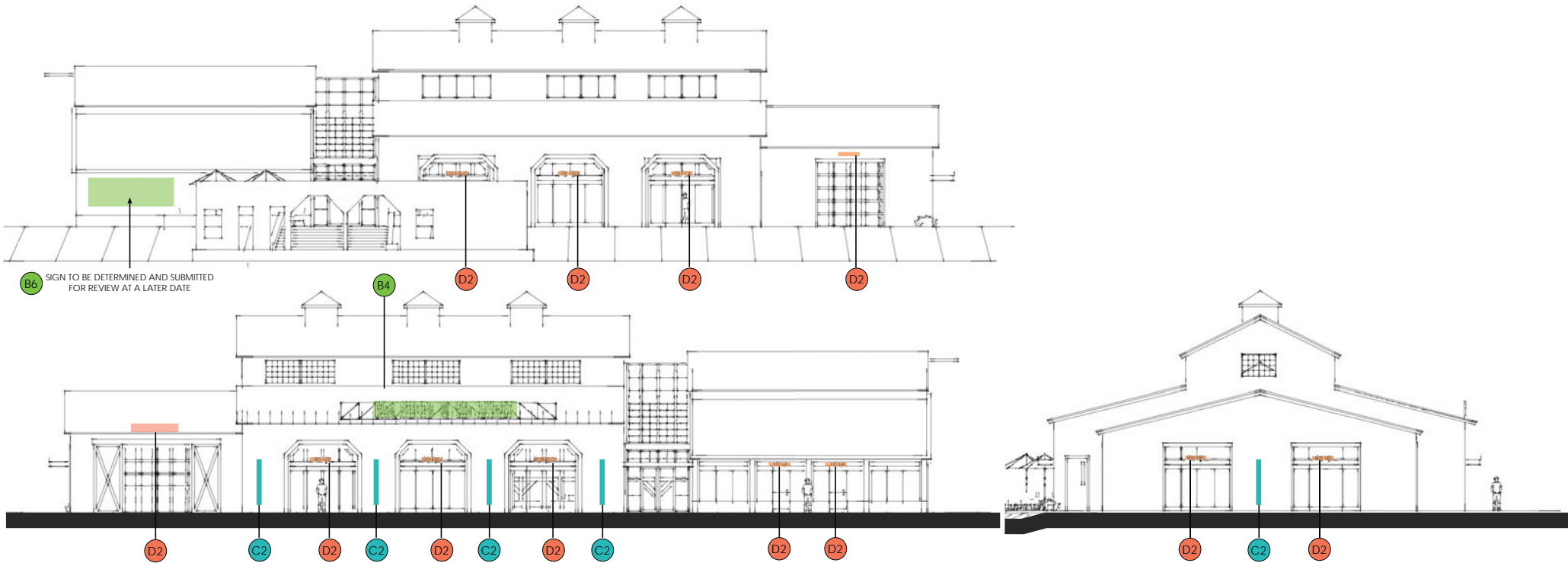


Materials	Finish	Installation
Hot rolled ASTM A36 solid steel bars welded with GMAW (MIG).	Standard finish is Hot Dipped Galvanized for superior durability. Optional powder coat is available with sand blasting, primer, color and clear coat (for additional cost).	This rack is free standing and can function without mounting, however, it is recommended that it be secured on concrete with six tamper-resistant stainless steel anchors. (available from Peak Racks)
Standard Base: 1/8" angle Heavy Base: 3/16" angle Wheel Holders: 1/2" diameter Wheel Troughs: 1/8" angle Locking Bars: 5/8" diameter		

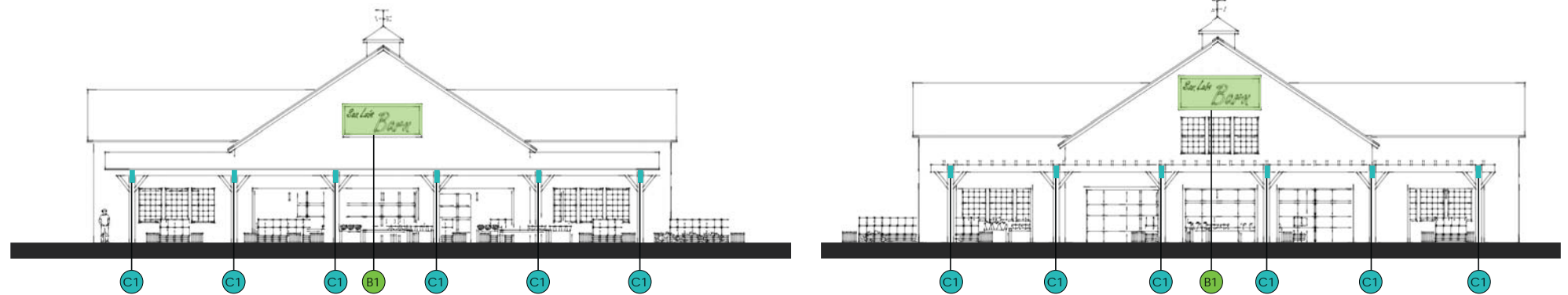
## BIKE RACK SPECIFICATIONS







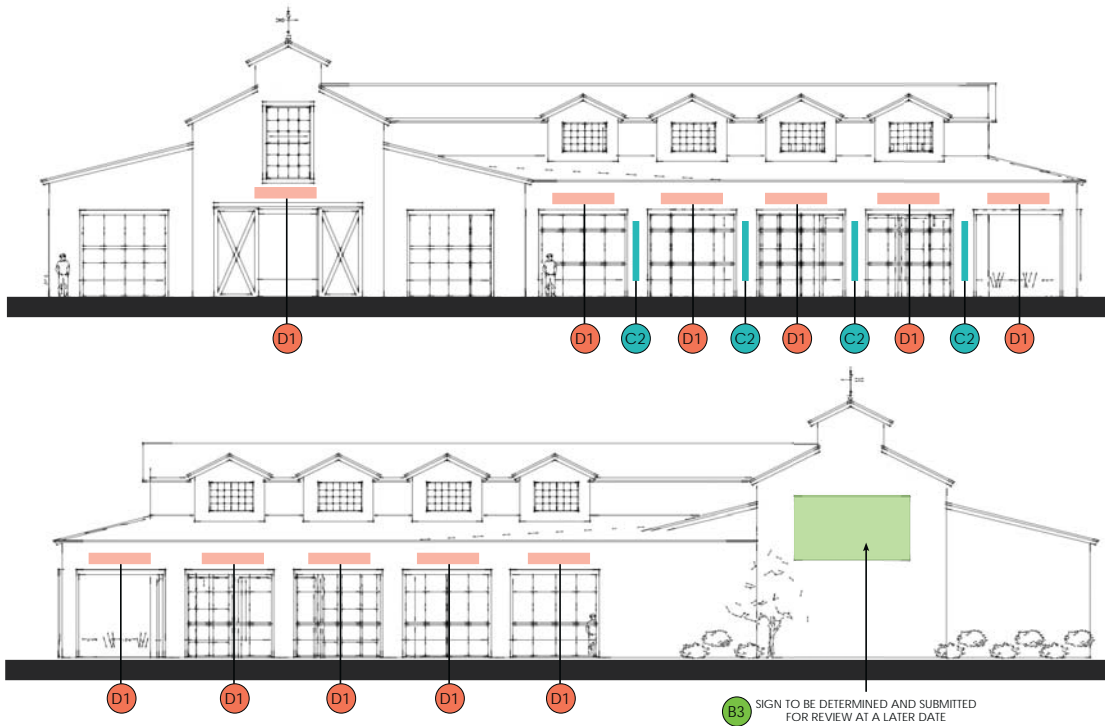
RETAIL AND HISTORIC BARN - BUILDING ELEVATIONS



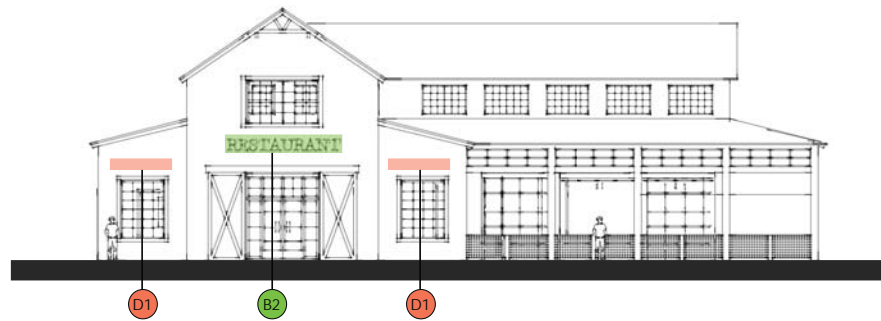
MARKET - BUILDING ELEVATIONS

NOTE:  
POTENTIAL SIGNAGE PLACEMENT SUGGESTIONS SHOWN, NOT ALL LOCATIONS ARE ANTICIPATED TO BE USED. ACTUAL LOCATIONS TO BE DETERMINED BASED ON TENANT MIX.





AG PROCESSING BUILDING



RESTAURANT- BUILDING ELEVATIONS



NOTE:  
POTENTIAL SIGNAGE PLACEMENT SUGGESTIONS SHOWN. NOT ALL  
LOCATIONS ARE ANTICIPATED TO BE USED. ACTUAL LOCATIONS TO BE  
DETERMINED BASED ON TENANT MIX.



MAIN CULTURAL HERITAGE  
LEARNING CENTER SIGNAGE

BLADE  
SIGNAGE



## SIGNAGE LEGEND

- A1 ENTRY MONUMENT
- A2 DIRECTIONAL SIGNAGE
- A3 NEIGHBORHOOD SIGNAGE

### NOTES:

1. ALL SIGNAGE IS LOCATED OUTSIDE OF VEHICULAR SITE LINES
2. SIGNS ARE CONSISTENT WITH SAN LUIS RANCH MASTER DEVELOPER PLANS



SIGNAGE KEY MAP

## ENTRY MONUMENT SIGNAGE

NOT TO SCALE



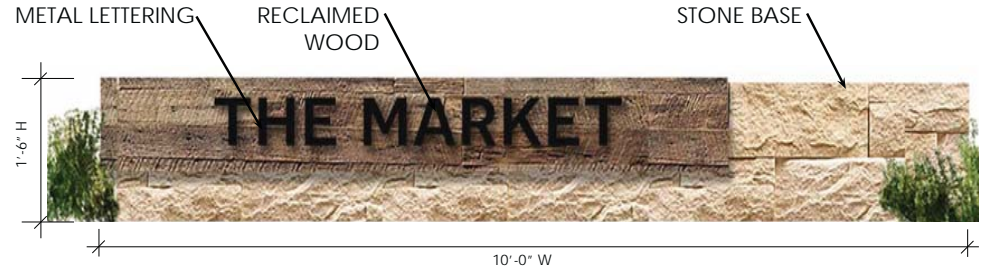
## SIGN AND MONUMENT DEVELOPMENT STANDARDS

*RESIDENTIAL (NG-10, NG-23, NG-30)*

**SUBDIVISION ENTRY MONUMENT:** 1 per street frontage, 20SF, max height as approved by ARC. Shall be located in a landscaped planter typically at neighborhood entrance. *Monument sign illumination shall be in compliance with City of San Luis Obispo Municipal Code Sections 15.40.430 and 15.40.470.*

## NEIGHBORHOOD SIGNAGE

NOT TO SCALE



## DIRECTIONAL SIGNAGE

NOT TO SCALE



**DIRECTORY SIGN:** 1 each per street frontage, 20SF, no applicable maximum height. Wall signs shall be located over building entrances. *Directory sign illumination shall be in compliance with City of San Luis Obispo Municipal Code Sections 15.40.430 and 15.40.470.*

# BUILDING SIGNAGE

REFER TO BUILDING COLOR MATERIALS FOR PROPOSED FINISHES

MARKET BUILDING: TOTAL SF  
RESTAURANT BUILDING: TOTAL SF  
RETAIL & HISTORIC BARN BUILDING: TOTAL SF

TYPE	BUILDING	SQUARE FEET
B1	MARKET BUILDING	154 SF
B2	RESTAURANT BUILDING	15 SF
B3	AG PROCESSING BUILDING	96 SF
B4	RETAIL & HISTORIC BARN BUILDING	63 SF
B5	HISTORIC HOUSE	9 SF
	TOTAL SF	337 SF



**B1 MARKET BUILDING SIGNAGE**  
WOOD AND STEEL  
DIMENSIONS: 5'-6"H x 14'W  
77 SF (QTY 2)  
COLOR: BLACK OR WHITE



**B2 RESTAURANT BUILDING SIGNAGE**  
TEXT SIZE: 12" H  
DIMENSIONS: 1'H x 15'L  
15 SF  
COLOR: BLACK OR WHITE



**B3 AG PROCESSING BUILDING SIGNAGE**  
DIMENSIONS: 6'H x 16'L  
96 SF  
SIGN TO BE DETERMINED AND SUBMITTED FOR REVIEW AT A LATER DATE



**B4 RETAIL & HISTORIC BARN BUILDING SIGNAGE**  
TEXT SIZE: 2'-6"  
DIMENSIONS: 2'-6"H x 25'L  
63 SF  
COLOR: BLACK OR WHITE



**B5 RETAIL & HISTORIC BARN BUILDING SIGNAGE**  
TEXT SIZE: 8"  
DIMENSIONS: 8" x 12'-6"  
9 SF  
COLOR: BLACK OR WHITE



**B6 RETAIL & HISTORIC BARN BUILDING SIGNAGE**  
DIMENSIONS: XX' H x XX' L  
XX SF  
SIGN TO BE DETERMINED AND SUBMITTED FOR REVIEW AT A LATER DATE



# TENANT BLADE SIGNAGE

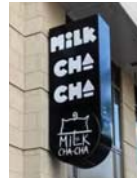
SIGNS SHALL BE LOCATED OVER OR ADJACENT TO BUILDING ENTRANCES.

LED LIGHTING MAY BE INCORPORATED INTO SIGNS. SIGNS MAY NOT EXCEED 9" D

TYPE	QTY	SQUARE FEET
C1	13	104 MAX SF
C2	10	50 SF
	TOTAL SF	154 MAX SF



**C1 ROUND OR RECTANGULAR BLADE SIGNAGE**  
RECTANGLE DIMENSIONS: 28"H x 46"L, 8 SF  
ROUND DIMENSIONS: 24" DIA., 4 SF



**C2 VERTICAL BLADE SIGNAGE**  
DIMENSIONS: 1' W x 5' H, 5 SF  
IF USED, MUST MEET ACCESSIBLE REQUIREMENTS

# TENANT SIGNAGE

SIGNS SHALL BE LOCATED OVER BUILDING ENTRANCES.

DARK SKY COMPLIANT LED SIGNAGE LIGHTING

TYPE	QTY	SQUARE FEET
D1	10	150 SF
D2	7	52.5 SF
	TOTAL SF	152.5 SF



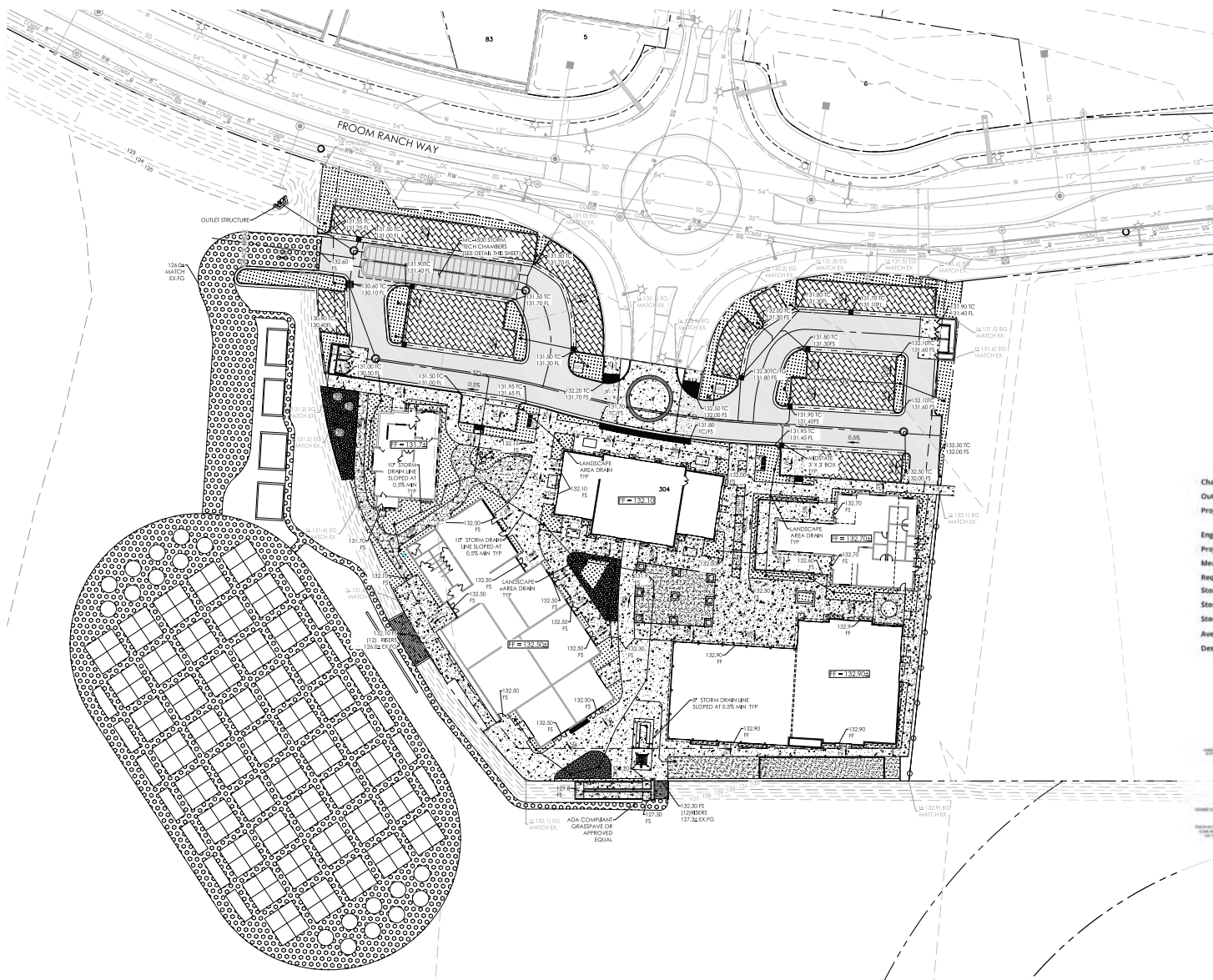
**D1 STOREFRONT SIGNAGE**  
TEXT SIZE: 12" MAX.  
DIMENSIONS: 1'-6"H x 10'L, 15 SF



**D2 AWNING SIGNAGE**  
8" TEXT SIZE  
DIMENSIONS: 8'H x 10'L, 7.5 SF  
COLOR: BLACK OR WHITE







#### LEGEND

- PROPOSED AC PAVEMENT
- PROPOSED HARDSCAPE/CONCRETE
- PROPOSED PERVIOUS PAVER AREA (SEE LANDSCAPE PLANS)
- PROPOSED LANDSCAPE/PERVIOUS SURFACE (SEE LANDSCAPE PLANS)
- PROPOSED GRAVEL PAVE 2 (SEE LANDSCAPE PLANS)

#### NOTES:

1. SEE SHEET C-2 FOR PRELIMINARY SITE UTILITIES AND FEATURES.



#### User Inputs

**Chamber Model:** MC-4500  
**Outlet Control Structure:** Yes  
**Project Name:** San Luis Obispo Her-itage  
**Engineer:** N/A  
**Project Location:** California  
**Measurement Type:** Imperial  
**Required Storage Volume:** 8450 cubic ft.  
**Stone Porosity:** 40%  
**Stone Foundation Depth:** 12 in.  
**Stone Above Chambers:** 12 in.  
**Average Cover Over Chambers:** 24 in.  
**Design Constraint Dimensions:** (25 ft. x 120 ft.)

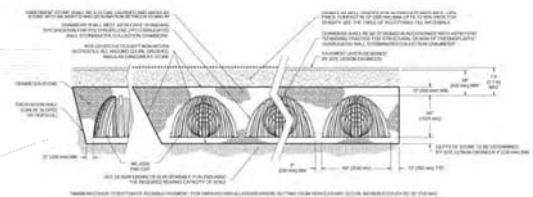
#### Results

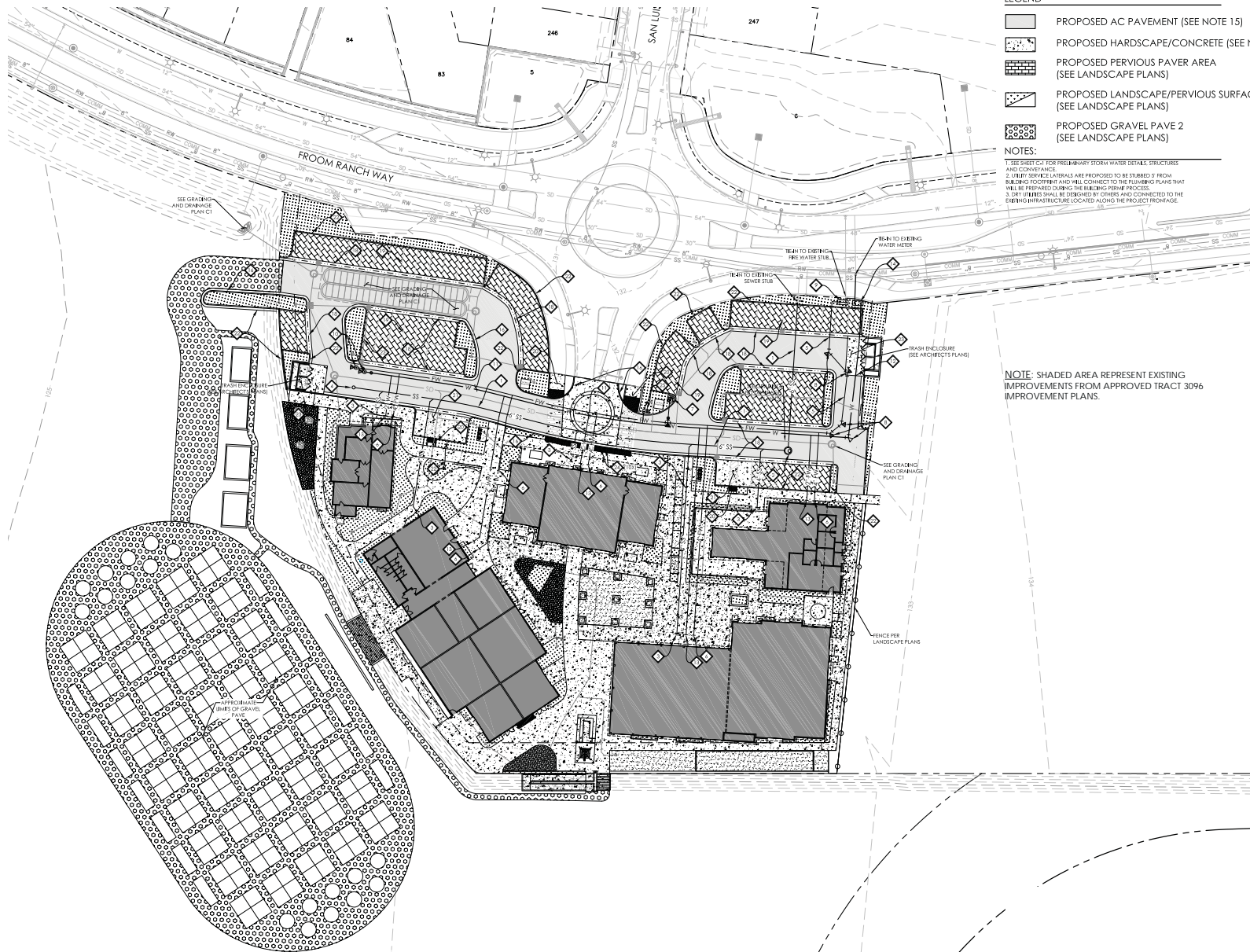
##### System Volume and Bed Size

**Installed Storage Volume:** 8751.04 cubic ft.  
**Storage Volume Per Chamber:** 106.50 cubic ft.  
**Number Of Chambers Required:** 44  
**Number Of End Caps Required:** 4  
**Chamber Rows:** 2  
**Maximum Length:** 104.20 ft.  
**Maximum Width:** 20.02 ft.  
**Approx. Bed Size Required:** 2087.37 square ft.

##### System Components

**Amount Of Stone Required:** 361.76 cubic yards  
**Volume Of Excavation (Not Including 541.7 cubic yards Fill):**





#### LEGEND

- PROPOSED AC PAVEMENT (SEE NOTE 15)
- PROPOSED HARDSCAPE/CONCRETE (SEE NOTE 17)
- PROPOSED PERVIOUS PAVER AREA (SEE LANDSCAPE PLANS)
- PROPOSED LANDSCAPE/PERVIOUS SURFACE (SEE LANDSCAPE PLANS)
- PROPOSED GRAVEL PAVE 2 (SEE LANDSCAPE PLANS)

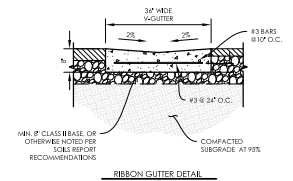
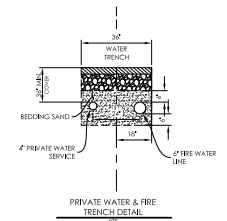
#### NOTES:

1. SEE SHEET C-1 FOR PRELIMINARY STORM WATER DETAILS, STRUCTURES AND CONVEYANCE.
2. TRUMP SERVICE LATERALS ARE PROPOSED TO BE STUBBED 5' FROM BUILDING FOOTPRINT AND WILL CONNECT TO THE PLUMBING PLANS THAT WILL BE PREPARED DURING THE BUILDING PERMIT PROCESS.
3. DRY UTILITY SHALL BE DESIGNED BY OTHERS AND CONNECTED TO THE EXISTING INFRASTRUCTURE LOCATED ALONG THE PROJECT FRONTAGE.

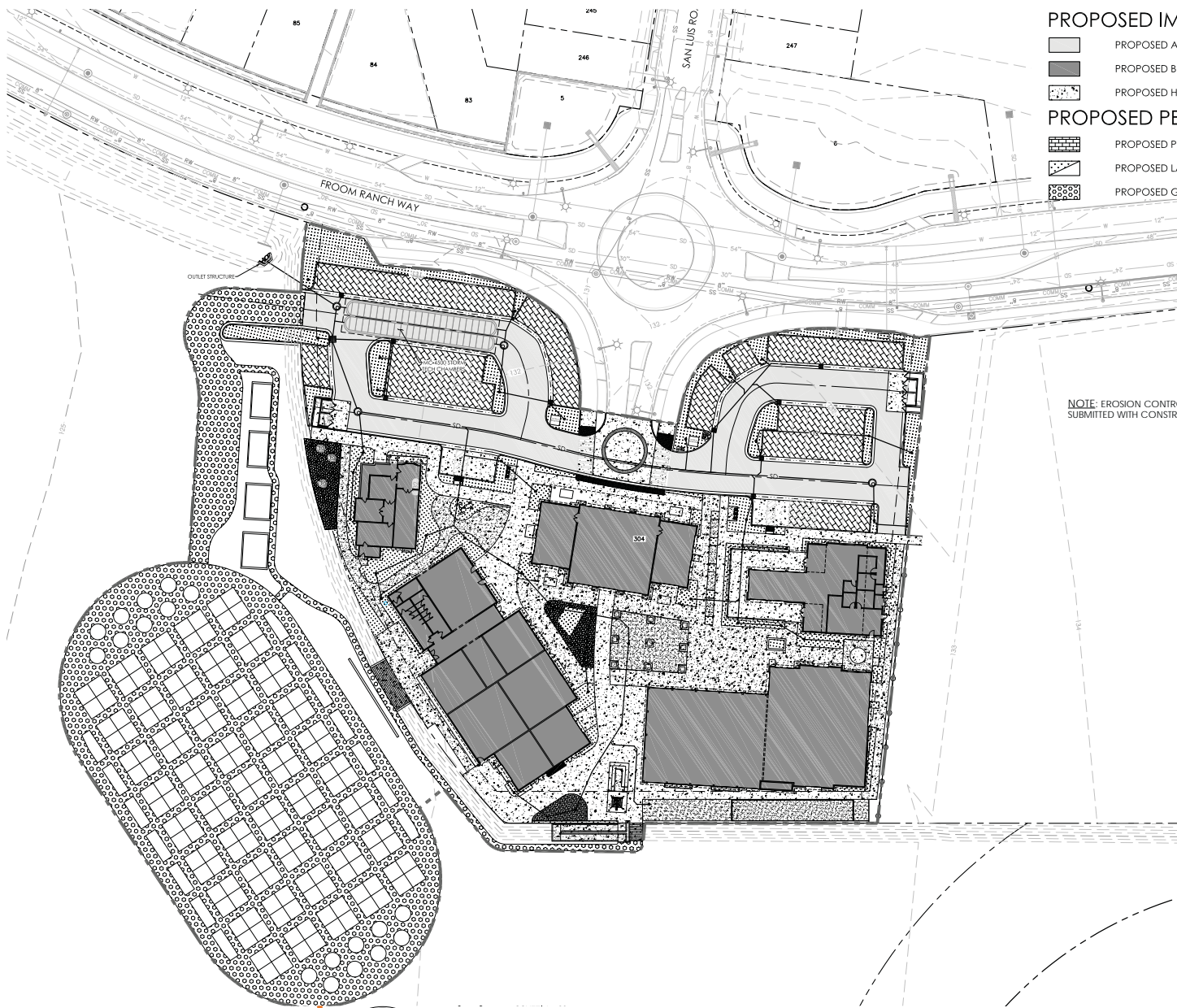
NOTE: SHADED AREA REPRESENT EXISTING IMPROVEMENTS FROM APPROVED TRACT 3096 IMPROVEMENT PLANS.

#### IMPROVEMENT NOTES

- ◆ INSTALL 18" HOPE SEWER. SEE PLAN FOR SIZE.
- ◆ INSTALL 48" SEWER MANHOLE.
- ◆ INSTALL 18" 35 PVC SEWER SERVICE LATERAL. SEE PLAN FOR SIZE. STUB 5' FROM BUILDING. SEE PLUMBING PLANS FOR EXACT P.O.C.
- ◆ INSTALL SEWER CLEANOUT.
- ◆ INSTALL 4" FIRE WATER.
- ◆ INSTALL FIRE WATER SPRINKLER LATERAL. SEE PLAN FOR SIZE. STUB 5' FROM BUILDING. SEE PLUMBING PLANS FOR EXACT P.O.C.
- ◆ INSTALL FIRE HYDRANT ASSEMBLY WITH CONCRETE PAD.
- ◆ INSTALL ANGLED FITTING WITH THRUST BLOCK.
- ◆ INSTALL A 4" FIRE DOUBLE CHECK BACKFLOW PREVENTER WITH DETECTOR ASSEMBLY.
- ◆ INSTALL TERMINAL BLOWOFF WITH THRUST BLOCK.
- ◆ INSTALL FIRE AND DOMESTIC WATER BY JOINT TRENCH. SEE DETAIL THIS SHEET.
- ◆ INSTALL 4" PVC PRIVATE WATER.
- ◆ INSTALL WATER SERVICE LATERAL, STUB 5' FROM BUILDING. SEE PLUMBING PLANS FOR EXACT P.O.C.
- ◆ INSTALL A 4" REDUCED PRESSURE BACKFLOW PREVENTER.
- ◆ CONSTRUCT MIN. 4" OF AC OVER 1/2" OF COMPACTED 69% OR BETTER CLASS II AGGREGATE BASE PAVING/SECTION 8 BASED ON A TRAFFIC INDEX OF 4.5 AND A PRELIMINARY RAVALE OF LESS THAN 5.
- ◆ CONSTRUCT 4" CONCRETE CURB AND 18" GUTTER.
- ◆ CONSTRUCT 4" C.C. REINFORCED CONCRETE PAVEMENT PER SOIL ENGINEERS RECOMMENDATIONS.
- ◆ CONSTRUCT 36" RIBBON GUTTER PER DETAIL ON THIS SHEET.
- ◆ INSTALL 4" WIDE, WHITE TRAFFIC PAINT STRIPING.
- ◆ CONSTRUCT CURB RAMP WITH TRUNCATED CONES PER CALTRANS STANDARD PLAN RSP 488A.
- ◆ INSTALL ADA STRIPING, WARNINGS AND WHEEL STOPS PER CALTRANS STANDARD PLAN 488A. ALSO, SEE ARCHITECT'S PLANS.
- ◆ CONSTRUCT 4" CONCRETE CURB ONLY.
- ◆ CONSTRUCT 4" OVER 1/2" REINFORCED CONCRETE LOADING PAD. USE #3 BARS @ 18" ON CENTER.
- ◆ CONSTRUCT 4" DIAMETER REMOVABLE BOLLARDS.
- ◆ IRRIGATION METER, PEDESTAL AND POINT OF CONNECTION.







## PROPOSED IMPERVIOUS

- PROPOSED AC
- PROPOSED BUILDING
- PROPOSED HARDSCAPE/CONCRETE

## PROPOSED PERVIOUS

- PROPOSED PERVIOUS PAVER AREA
- PROPOSED LANDSCAPE/PERVIOUS SURFACE
- PROPOSED GRAVEL PAVE 2

NOTE: EROSION CONTROL PLAN TO BE SUBMITTED WITH CONSTRUCTION DOCUMENTS

## EXISTING STATISTICS

-NOTE SITE HAS BEEN ROUGH GRADED ALREADY WITH THE DEVELOPMENT OF SAN LUIS RANCH TRACT IMPROVEMENTS.

EXISTING IMPERVIOUS AREA  
SITE AREA: 0 SF  
(EXISTING BUILDINGS, EXISTING PAVEMENT)

EXISTING PERVIOUS AREA  
SITE AREA: 172,048 SF

## PROPOSED STATISTICS

--- LIMITS OF DISTURBANCE: 172,048 SF

(A) PROPOSED IMPERVIOUS AREA

CONCRETE: 33,443 SF

AC PAVING AREA: 16,479 SF

BUILDING AREA: 28,917 SF

TOTAL IMPERVIOUS AREA: 78,839 SF

(B) PROPOSED PERVIOUS AREA

PERVIOUS PAVER AREA: 10,958 SF

LANDSCAPE AREA: 45,538 SF

GRAVEL PAVE 2: 36,713 SF

TOTAL PERVIOUS AREA: 93,209 SF

## PRELIMINARY HYDROLOGY

STORM WATER CONTROL  
TOTAL ONSITE REQUIRED  
CAPTURED AREA : 172,048 SF  
95TH PERCENTILE DEPTH: 1.95"

$$V = C \cdot A \cdot I / 12$$

$$C = 0.8585P^3 - 0.78P^2 + 0.774I + 0.04 = 0.31$$

$$I = \text{IMPERVIOUS AREA} / \text{TOTAL AREA} = 78,839 \text{ SF} / 172,048 \text{ SF}$$

$$A = 172,048 \text{ SF}$$

$$I = 1.95"$$

$$V = 0.31 \cdot (1.95 / 12) \cdot 172,048 \text{ SF} = 8,667 \text{ CF}$$

TOTAL CHAMBER VOLUME PROVIDED = 8,750 +/- CF = C

## REQUIRED STORMWATER CONTROL MEASURES

### TIER 1 - RUNOFF REDUCTION

- MINIMIZE IMPERVIOUS AREAS - PARKING STALLS CONSTRUCTED WITH PERMEABLE PAVERS

### TIER 2 - WATER QUALITY (85th PERCENTILE = 1.2")

- ON-SITE RETENTION-BASED INFILTRATION

### TIER 3 - RETAIN 95TH PERCENTILE STORM EVENT (1.95")

- UNDERGROUND STORAGE CHAMBERS WILL RETAIN AND INFILTRATE APPROXIMATE VOLUME 8,750 CF

### TIER 4 - PEAK MANAGEMENT

- AS PART OF THE OVERALL TACT 3096 PROJECT, THE APPROACH TO PEAK FLOW MANAGEMENT INVOLVES COLLECTING A PORTION OF THE RUNOFF FROM THE PROPOSED DEVELOPMENT AND DIVERTING FLOW OUT OF THE UPSTREAM END OF CERRO SAN LUIS CHANNEL, DETAINING THAT COMBINED FLOW IN AN UNDERGROUND DETENTION FACILITY, AND THEN REINTRODUCING IT INTO PREFUMO CREEK DOWNSTREAM OF THE PROPOSED FROOM RANCH WAY BRIDGE AT A LOWER FLOW, RESULTING IN AN OVERALL REDUCTION IN PEAK FLOW FOR THE SYSTEM. THE PROPOSED FACILITY WAS DESIGNED TO ACCOUNT FOR THE INCREASE IN PEAK FLOW ASSOCIATED WITH THE PROPOSED AGRICULTURAL HERITAGE CENTER THAT IS THIS PROJECT.