

SLO CLASSICAL ACADEMY

3450 BROAD STREET CAMPUS



GENERAL NOTES

1. FIRE PROTECTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CFC AND THE CALIFORNIA BUILDING CODE.
2. FIRE MAIN AND ALL ASSOCIATED CONTROL VALVES SHALL BE INSTALLED PER NFPA 24 STANDARDS AND CITY ENGINEERING STANDINGS.
3. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CHAPTER 34 OF THE CFC.
4. ALL EXTERIOR CONSTRUCTION METHODS AND MATERIAL SHALL COMPLY WITH CHAPTER 7A (IGNITION RESISTANT CONSTRUCTION) OF THE BUILDING CODE. EXCEPT FOR WINDOWS, FOR BUILDINGS LOCATED IN WILDFIRE PRONE AREAS.

PARKING SUMMARY

PRIMARY / MIDDLE SCHOOL (SLO CITY ZONING TITLE 17 TABLE 3-4): 2 SPACES / CLASSROOM, PLUS 1 / 300 SF ASSEMBLY / COMMON.

CLASSROOMS:	19 x 2 =	36
DAYCARE (WONDERS):	5,259 / 500 =	10.5
COMMON / ASSEMBLY AREAS:		
LIBRARY (INCL. MEZ.):	2,526	
MEETING ROOM:	361	
BREAK ROOM:	692	
RECEPTION / STORE:	1,023	
	5,422 / 300 =	18.1
GYM: 6,218 / 300 =		20.7
TOTAL PARKING REQUIRED		88.3

PARKING PROVIDED (SOUTH LOT)

88 TOTAL PARKING SPACES	
76 STANDARD (7 TIME-LIMITED FOR DROP-OFF)	
8 COMPACT	
4 ACCESSIBLE	
4 MOTORCYCLE SPACES (1 PER 20 CAR SPACES)	

88 TOTAL > 88.3 REQUIRED

ACCESSIBLE PARKING:	4 PROVIDED
(2022 CBC)	4 REQ'D FOR 76-100 SPACES

MOTORCYCLE PARKING:	4 PROVIDED
(SLO CITY)	1 / 20 = 4 SPACES REQ'D

BICYCLE PARKING:	DET. BY SLO CITY DIRECTOR
	REQ'D PROVIDED

STAFF: (1 STALL PER 20, 50% LONG-TERM)	
70 STAFF (70 / 20 = 3.5)	
LONG-TERM (3.5 / 2)	1.75
STANDARD (3.5 / 2)	1.75

STUDENTS: 1 / 20 ABOVE 2ND GRADE:	
6 GRADES, 2 CLASSES @ 16 STUDENTS EACH	
(6 x 2 x 16) = 192	
192 / 20 =	9.6
TOTAL STANDARD:	11.35
	14

FEES

INCLUSIONARY HOUSING & PUBLIC ART REQUIREMENTS WILL BE MET BY PAYING IN-LIEU FEES. PRELIMINARY CALCULATIONS: (CONSTRUCTION VALUATION \$2,500,000)

PUBLIC ART: (\$2.5 MIL. - \$100,000) x 0.5% = \$12,000*
(*PUBLIC-FACING MURAL ON CLIMBING WALL)
INCLUSIONARY HOUSING: \$2.5 MIL. x 5% = \$125,000

PROJECT SUMMARY

ADDRESS:	3450 BROAD STREET, SAN LUIS OBISPO, CA
A.P.N.:	053-221-036
OCCUPANCY:	E, I-4 (MIXED-USE SEPARATED)
TYPE:	II-B, FULLY-SPRINKLED
SPECIFIC ZONE:	C-6-S-PD
OVERLAY:	AIRPORT LAND USE AREA #6
USE:	EDUCATION
OWNER:	JOHN COAKLEY PO BOX 5150, PASO ROBLES
TENANT:	SLO CLASSICAL ACADEMY
SITE AREA:	3.63± AC
STORIES:	EXISTING 1 NEW: 2
EXISTING BUILDING HEIGHT:	33.75'±
FINISH FLOOR ABOVE A.N.G.:	1.2'
TOTAL:	34.95'
EXISTING BUILDING AREA:	50,802
ADDED AREA AT LOADING DOCK:	696
2ND FLOOR OFFICES:	2,869
LIBRARY MEZZANINE:	696
TOTAL:	55,154

DESCRIPTION OF PROPOSED USE

THE PROJECT CONSISTS OF IMPROVEMENTS AND ADDITIONS TO THE EXISTING 50,802 S.F. OFFICE BUILDING AT 3450 BROAD STREET TO BE USED FOR A PRIVATE, NON-SECTARIAN ELEMENTARY SCHOOL WITH INFANT CHILD CARE THROUGH 8TH GRADE (55,154 S.F. TOTAL).

THE PROJECT WILL CONSOLIDATE CURRENT SLOCA STUDENTS AND STAFF FROM THREE SEPARATE LOCATIONS IN SAN LUIS OBISPO: THE CURRENT K-8TH GRADE SITE AT 165 GRAND AVENUE, A PRESCHOOL AND INFANT CARE SITE AT GRAND AND SLACK, AND STAFF OFFICES AT 1650 SANTA BARBARA AVENUE.

CAMPUS IMPROVEMENTS INCLUDE 7 PRESCHOOL / INFANT ROOMS, 19 CLASSROOM / EDUCATIONAL SPACES, A JUNIOR HIGH SIZED GYMNASIUM WITH ADJACENT KITCHEN, A SCHOOL LIBRARY, AND ADMINISTRATION OFFICES AND MEETING SPACES. SITE IMPROVEMENTS INCLUDE REPLACING THE NORTH PARKING LOT WITH OUTDOOR PLAYGROUND AND ACTIVITY SPACES AND ADDING 7 DROP-OFF / PICK-UP VEHICLE SPACES IN THE SOUTH PARKING LOT. CAMPUS ACCESS AND CIRCULATION IS SUMMARIZED IN THE PROJECT TRANSPORTATION ANALYSIS.

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AREA PLAN

3450 Broad Street, San Luis Obispo

EXISTING PARKING:

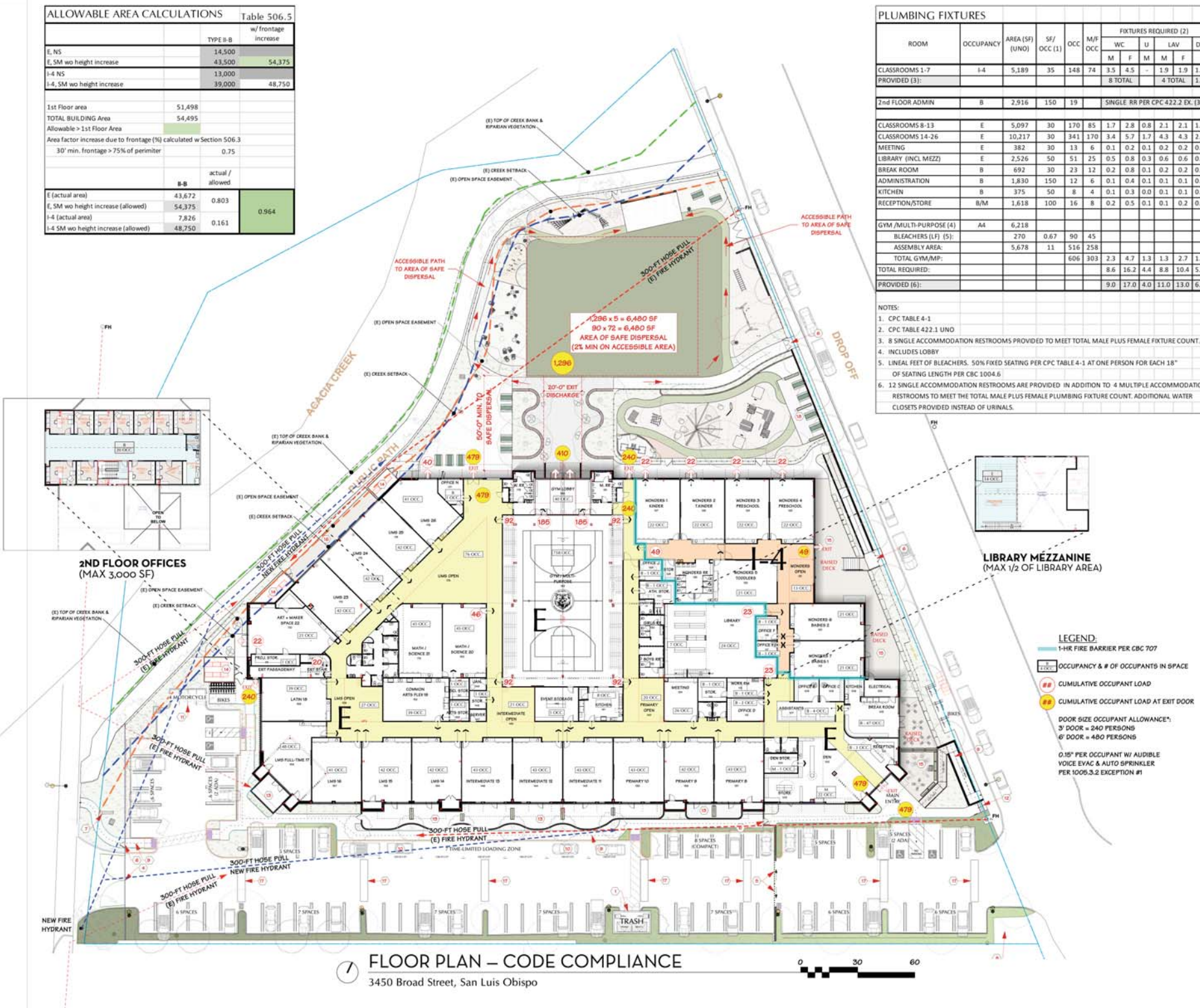
	NORTH	SOUTH	TOTAL
STANDARD	44	94	138
ACCESSIBLE	2	5	7
MOTORCYCLE	3	4	7



EXISTING SITE PLAN
3450 Broad Street, San Luis Obispo



ALLOWABLE AREA CALCULATIONS Table 506.5		
	TYPE B-B	w/ frontage increase
E, NS	14,500	
E, SM w/ height increase	43,500	54,375
I-4, NS	13,000	
I-4, SM w/ height increase	39,000	48,750
1st Floor area	51,498	
TOTAL BUILDING Area	54,495	
Allowable > 1st Floor Area		
Area factor increase due to frontage (%) calculated w/ Section 506.3		
30' min. frontage > 75% of perimeter	0.75	
	B-B	actual / allowed
E (actual area)	43,672	0.803
E, SM w/ height increase (allowed)	54,375	
I-4 (actual area)	7,826	
I-4 SM w/ height increase (allowed)	48,750	0.161
		0.964



LEGEND

	CIRCULATION
	ADMIN
	RESTROOMS
	GYM / MULTI-PURPOSE
	LIBRARY
	TINY WONDERS
	PRIMARY — 1ST & 2ND
	INTERMEDIATE — 3RD & 4TH
	LOWER MIDDLE SCHOOL — 5TH & 6TH
	UPPER MIDDLE SCHOOL — 7TH & 8TH
	MEZZANINE & 2ND FLOOR OFFICE COMMON

REFERENCE NOTES:

- ACCESSIBLE CURB RAMP / PATH.
- SPEED BUMPS TO REMAIN UNLESS INDICATED GATES ARE AN ACCEPTABLE METHOD TO PREVENT CUT-THROUGH TRAFFIC. IF SPEED BUMPS REMAIN, UPGRADE TO CURRENT STANDARDS AS REQUIRED.
- PROPOSED OUTDOOR MECHANICAL EQUIPMENT.
- ADD RIGHT TURN ONLY SIGNAGE @ BROAD STREET.
- EXISTING TRASH ENCLOSURE TO REMAIN.
- ENCLOSED PRIVATE CLASSROOM PATIO.
- SHORT TERM BIKE RACKS
- LONG TERM BIKE PARKING STORAGE
- NEW FIRE HYDRANT
- 1-HR CORRIDOR FOR I-4 EGRESS.

LIBRARY MEZZANINE
(MAX 1/2 OF LIBRARY AREA)

TYP. PARKING DIMENSIONS

ADA:	9' x 18'
LOADING:	22' x 9'
COMPACT:	* 8' x 16'
STANDARD:	* 8.6' x 18.4'
MOTORCYCLE:	8' x 4'

*INCL. 30" OVERHANG

**PROPOSED SITE / FLOOR PLAN**

3450 Broad Street, San Luis Obispo

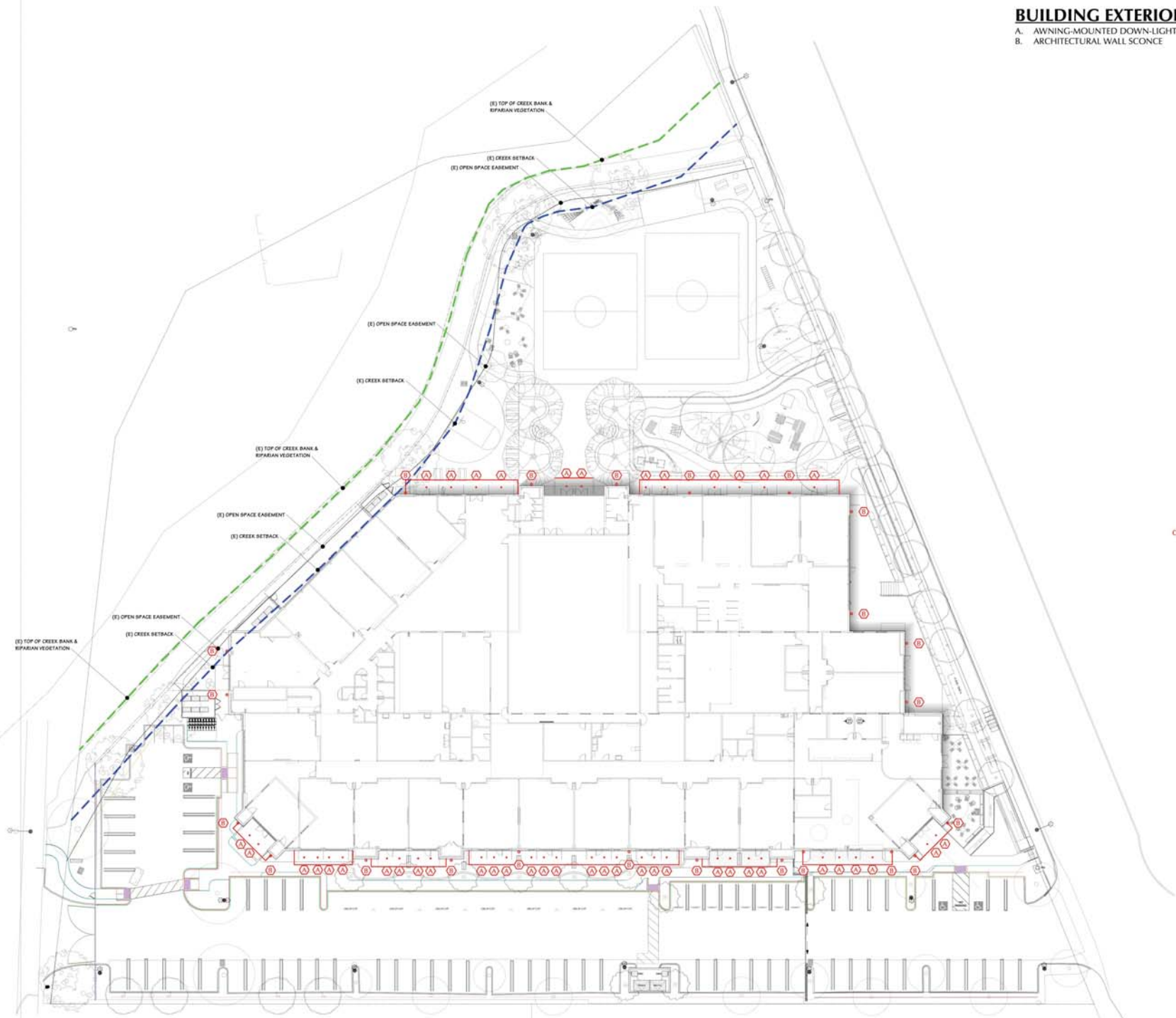


BUILDING EXTERIOR LIGHTING

- A. AWNING-MOUNTED DOWN-LIGHTS
- B. ARCHITECTURAL WALL SCONCE



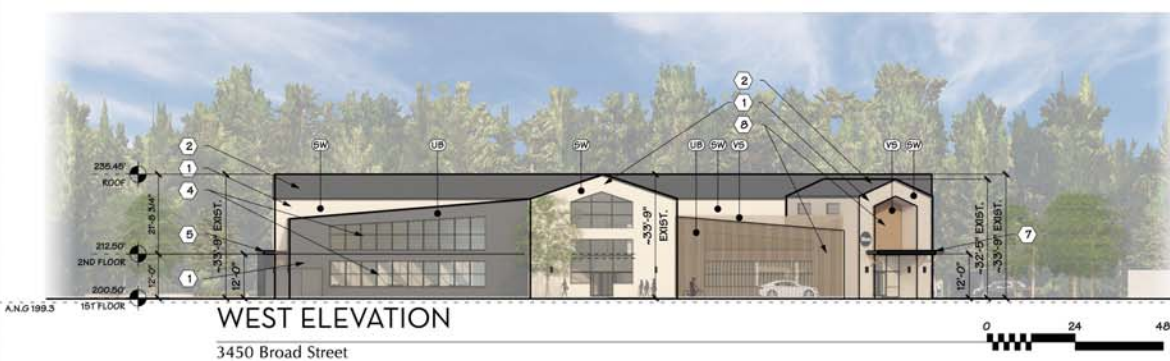
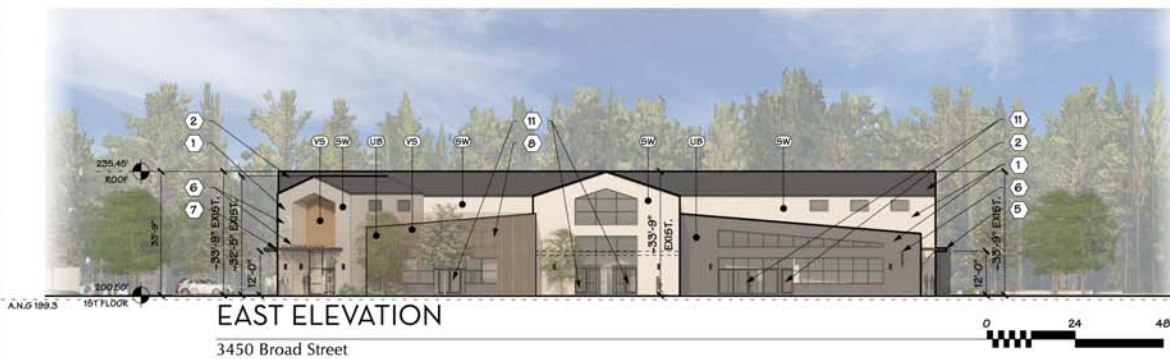
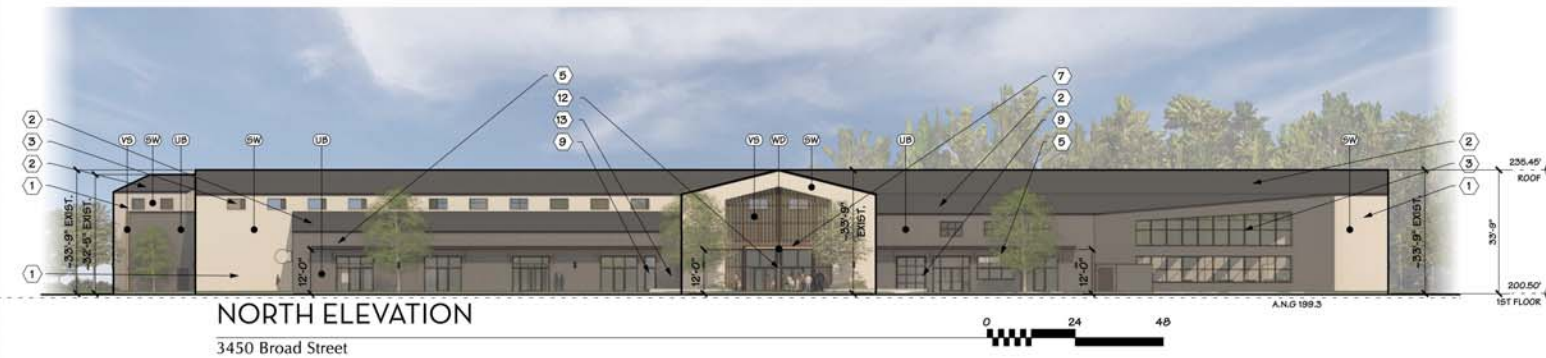
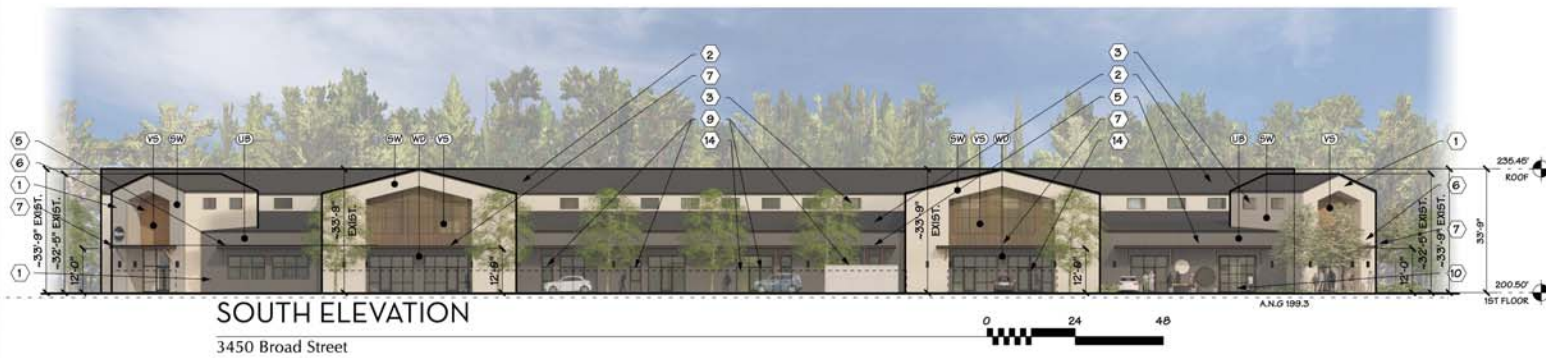
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EXTERIOR LIGHTING PLAN

3450 Broad Street, San Luis Obispo





ELEVATION REFERENCE NOTES

1. EXISTING CORRUGATED METAL SIDING, RE-PAINTED PER COLOR SCHEDULE.
2. EXISTING CORRUGATED METAL ROOFING TO REMAIN.
3. EXISTING ALUMINUM CLERESTORY WINDOWS RE-PAINTED PER COLOR SCHEDULE.
4. EXISTING ALUMINUM STOREFRONT WINDOWS / DOORS, RE-PAINTED PER COLOR SCHEDULE, TYP.
5. NEW METAL AWNING / TRELLIS TO REPLACE EXISTING SLOPED METAL AWNING
6. NEW SIGNAGE.
7. NEW METAL AWNING WITH WOOD SOFFIT (1 OF 5).
8. WOOD-FINISHED ALUMINUM SCREEN WALL SPACED AS INDICATED, 6" / 12" O.C. (2x6 KEBONY ALT)
9. NEW STOREFRONT WINDOWS / DOORS TO MATCH RE-PAINTED EXISTING.
10. NEW, ROLL-UP GLASS DOOR IN EXISTING STOREFRONT OPENING.
11. NEW DOOR IN EXISTING STOREFRONT.
12. INFILL LOADING DOCK W/ NEW STOREFRONT SYSTEM.
13. INFILL (E) UTILITY DOOR, W/ CORRUGATED METAL FINISH.
14. 6' CLASSROOM PATIO FENCE FACING PARKING LOT, STYLE TBD.

COLOR & MATERIALS

SW PAINTED SIDING	UB PAINTED SIDING & STOREFRONT	WD WOOD T&G	VS VERTICAL SCREEN
SHERWIN WILLIAMS SW 7042 SHOJI WHITE	SHERWIN WILLIAMS SW 7048 URBANE BRONZE	1x6 PINE T&G W/ PENETRATING OIL CLEAR SEALER	FORTINA 50 x 150mm "VENT WALNUT" #TA-758 COLOR



PERSPECTIVE A



PERSPECTIVE B

- NEW METAL AWNING / TRELLIS TO REPLACE EXISTING SLOPED METAL AWNING.
- NEW SCHOOL LOGO / SIGNAGE
- EXISTING CORRUGATED METAL SIDING, RE-PAINTED PER COLOR SCHEDULE
- VERTICAL SCREEN, SEE COLOR & MATERIALS ON SHEET A4.
- NEW SCHOOL SIGNAGE
- METAL FASCIA
- METAL SUPPORTS, TYP.
- WOOD SOFFIT, TYP.
- LOCATION OF NEW ROLL-UP GLASS DOOR

- EXISTING CORRUGATED METAL SIDING, RE-PAINTED PER COLOR SCHEDULE
- VERTICAL SCREEN, SEE COLOR & MATERIALS ON SHEET A4.
- NEW SCHOOL LOGO / SIGNAGE
- METAL FASCIA
- NEW METAL AWNING / TRELLIS TO REPLACE EXISTING SLOPED METAL AWNING.
- METAL SUPPORTS, TYP.
- NEW STOREFRONT @ FORMER LOADING DOCK.
- WOOD SOFFIT, TYP.



SLO MUNICIPAL CODE NOTES:

- 15.40.460: ZONE C-S SERVICE COMMERCIAL
MAX. CUMULATIVE AREA: 200 S.F.
- 15.40.430: LIGHTING SHALL BE SHIELDED FROM
VIEW AND NOT CREATE HAZARDOUS
GLARE FOR PEDESTRIANS OR VEHICLES.

PROPOSED AREA CALC

		QTY.
S1	ENTRY AWNING	14.25
S2	ENTRY RAMP	30
S3	BROAD ST. MONUMENT	48
S4	GYM MEDALLION	28.26
S5	SCRIPT MEDALLION	12.5
S6	WONDERS	12.5
S7	THE DEN	25

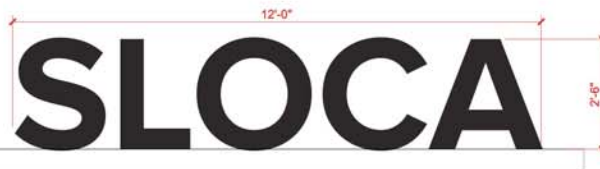
TOTAL: 183 SF



AREA: $17.17' \times 0.83' = 14.25$ SF
MATERIAL: METAL, PAINTED BLACK / DARK BRONZE
S1 ENTRY AWNING SIGNAGE



AREA: $[\pi] \times r^2 = 12.5$ SF
MATERIAL: METAL, PAINTED BLACK / DARK BRONZE
(QTY. 2)
S5 SLOCA SCRIPT MEDALLION



AREA: $12' \times 2.5' = 30$ SF
MATERIAL: METAL, PAINTED BLACK / DARK BRONZE
MOUNTED TO FLATWORK ADJACENT ENTRY RAMP (LIGHTED?)
(SEE LANDSCAPE PLAN)
S2 ENTRY RAMP SIGNAGE



AREA: $[\pi] \times r^2 = 12.5$ SF
MATERIAL: METAL, PAINTED BLACK / DARK BRONZE

S6 WONDERS PROJECTING SIGNAGE



AREA: $[\pi] \times r^2 = 12.5$ SF (2-SIDED) $12.5 + 12.5 = 25$ SF
MATERIAL: METAL, PAINTED BLACK / DARK BRONZE

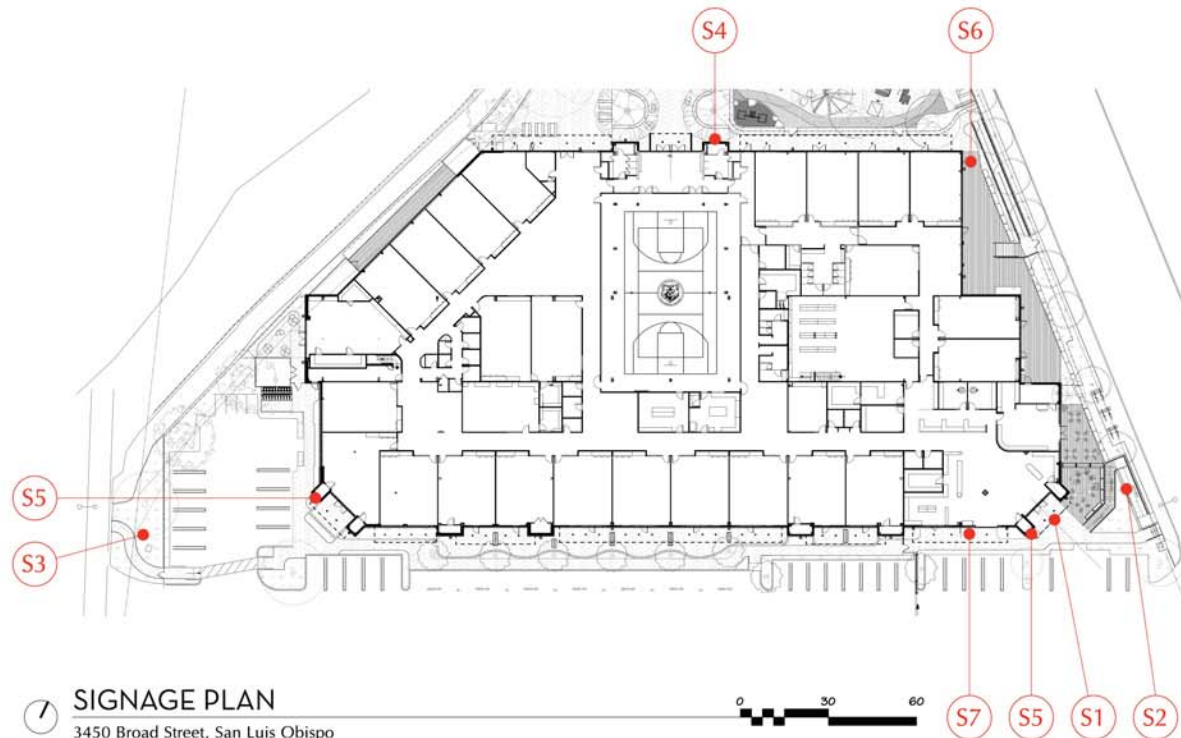
S7 THE DEN PROJECTING SIGNAGE



MONUMENT SIGN
6' X 4' DOUBLE SIDED WITH ADDRESS NUMERALS ON END
AREA: $6' \times 4' = 24$ SF (2-SIDED) $24 + 24 = 48$ SF
MATERIAL: METAL, PAINTED BLACK / DARK BRONZE
S3 BROAD STREET MONUMENT



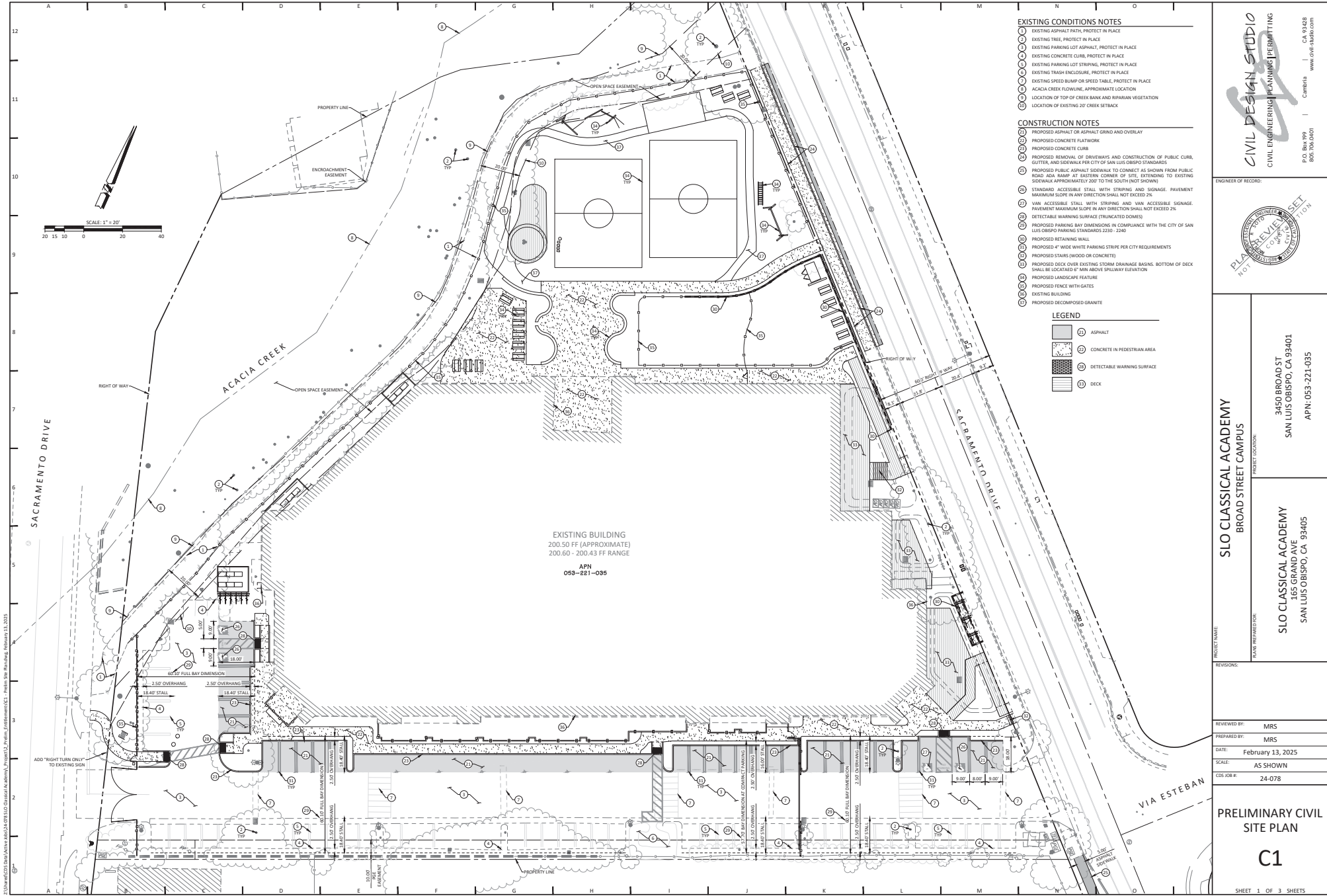
AREA: $[\pi] \times r^2 = 28.26$ SF
MATERIAL: METAL, PAINTED BLACK / DARK BRONZE
S4 GRIZZLIES GYM MEDALLION



SIGNAGE PLAN

3450 Broad Street, San Luis Obispo





- EXISTING CONDITIONS NOTES**
- 1 EXISTING ASPHALT PATH, PROTECT IN PLACE
 - 2 EXISTING TREE, PROTECT IN PLACE
 - 3 EXISTING PARKING LOT ASPHALT, PROTECT IN PLACE
 - 4 EXISTING CONCRETE CURB, PROTECT IN PLACE
 - 5 EXISTING PARKING LOT STRIPING, PROTECT IN PLACE
 - 6 EXISTING TRASH ENCLOSURE, PROTECT IN PLACE
 - 7 EXISTING SPEED BUMP OR SPEED TABLE, PROTECT IN PLACE
 - 8 ACACIA CREEK FLOWLINE, APPROXIMATE LOCATION
 - 9 LOCATION OF TOP OF CREEK BANK AND RIPARIAN VEGETATION
 - 10 LOCATION OF EXISTING 20' CREEK SETBACK

- CONSTRUCTION NOTES**
- 11 PROPOSED ASPHALT OR ASPHALT GRIND AND OVERLAY
 - 12 PROPOSED CONCRETE FLATWORK
 - 13 PROPOSED CONCRETE CURB
 - 14 PROPOSED REMOVAL OF DRIVEWAYS AND CONSTRUCTION OF PUBLIC CURB, GUTTER, AND SIDEWALK PER CITY OF SAN LUIS OBISPO STANDARDS
 - 15 PROPOSED PUBLIC ASPHALT SIDEWALK TO CONNECT AS SHOWN FROM PUBLIC ROAD ADA RAMP AT EASTERN CORNER OF SITE, EXTENDING TO EXISTING SIDEWALK APPROXIMATELY 200' TO THE SOUTH (NOT SHOWN)
 - 16 STANDARD ACCESSIBLE STALL WITH STRIPING AND SIGNAGE. PAVEMENT MAXIMUM SLOPE IN ANY DIRECTION SHALL NOT EXCEED 2%.
 - 17 VAN ACCESSIBLE STALL WITH STRIPING AND VAN ACCESSIBLE SIGNAGE. PAVEMENT MAXIMUM SLOPE IN ANY DIRECTION SHALL NOT EXCEED 2%.
 - 18 DETECTABLE WARNING SURFACE (TRUNCATED CONES)
 - 19 PROPOSED PARKING BAY DIMENSIONS IN COMPLIANCE WITH THE CITY OF SAN LUIS OBISPO STANDARDS 2230 - 2240
 - 20 PROPOSED RETAINING WALLS
 - 21 PROPOSED 4" WIDE WHITE PARKING STRIPE PER CITY REQUIREMENTS
 - 22 PROPOSED STAIRS (WOOD OR CONCRETE)
 - 23 PROPOSED DECK OVER EXISTING STORM DRAINAGE BASINS. BOTTOM OF DECK SHALL BE LOCATED 4" MIN ABOVE EXISTING SPILLWAY ELEVATION
 - 24 PROPOSED LANDSCAPE FEATURE
 - 25 PROPOSED FENCE WITH GATES
 - 26 EXISTING BUILDING
 - 27 PROPOSED DECOMPOSED GRANITE

- LEGEND**
- 11 ASPHALT
 - 12 CONCRETE IN PEDESTRIAN AREA
 - 13 DETECTABLE WARNING SURFACE
 - 14 DECK

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SLO CLASSICAL ACADEMY
BROAD STREET CAMPUS

PROJECT LOCATION:
3450 BROAD ST
SAN LUIS OBISPO, CA 93401
APN: 053-221-035

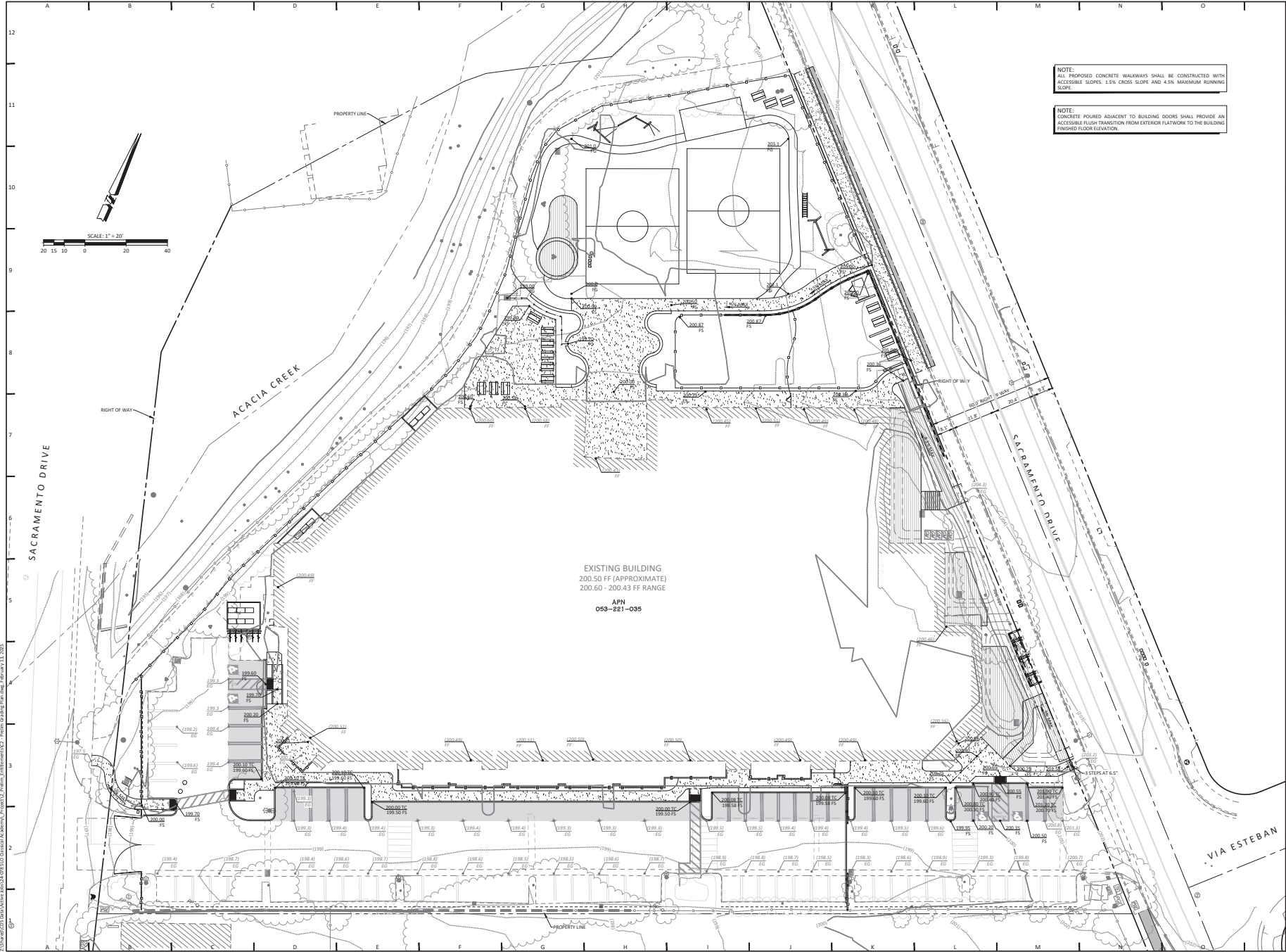
SLO CLASSICAL ACADEMY
165 GRAND AVE
SAN LUIS OBISPO, CA 93405

PROJECT NAME:	SLO CLASSICAL ACADEMY
PLANNING PREPARED FOR:	SLO CLASSICAL ACADEMY
REVISIONS:	
REVIEWED BY:	MRS
PREPARED BY:	MRS
DATE:	February 13, 2025
SCALE:	AS SHOWN
CDS JOB #: 24-078	

PRELIMINARY CIVIL SITE PLAN

C1

SHEET 1 OF 3 SHEETS



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ENGINEER OF RECORD:

PLANNING REVIEW SET
NOT FOR CONSTRUCTION

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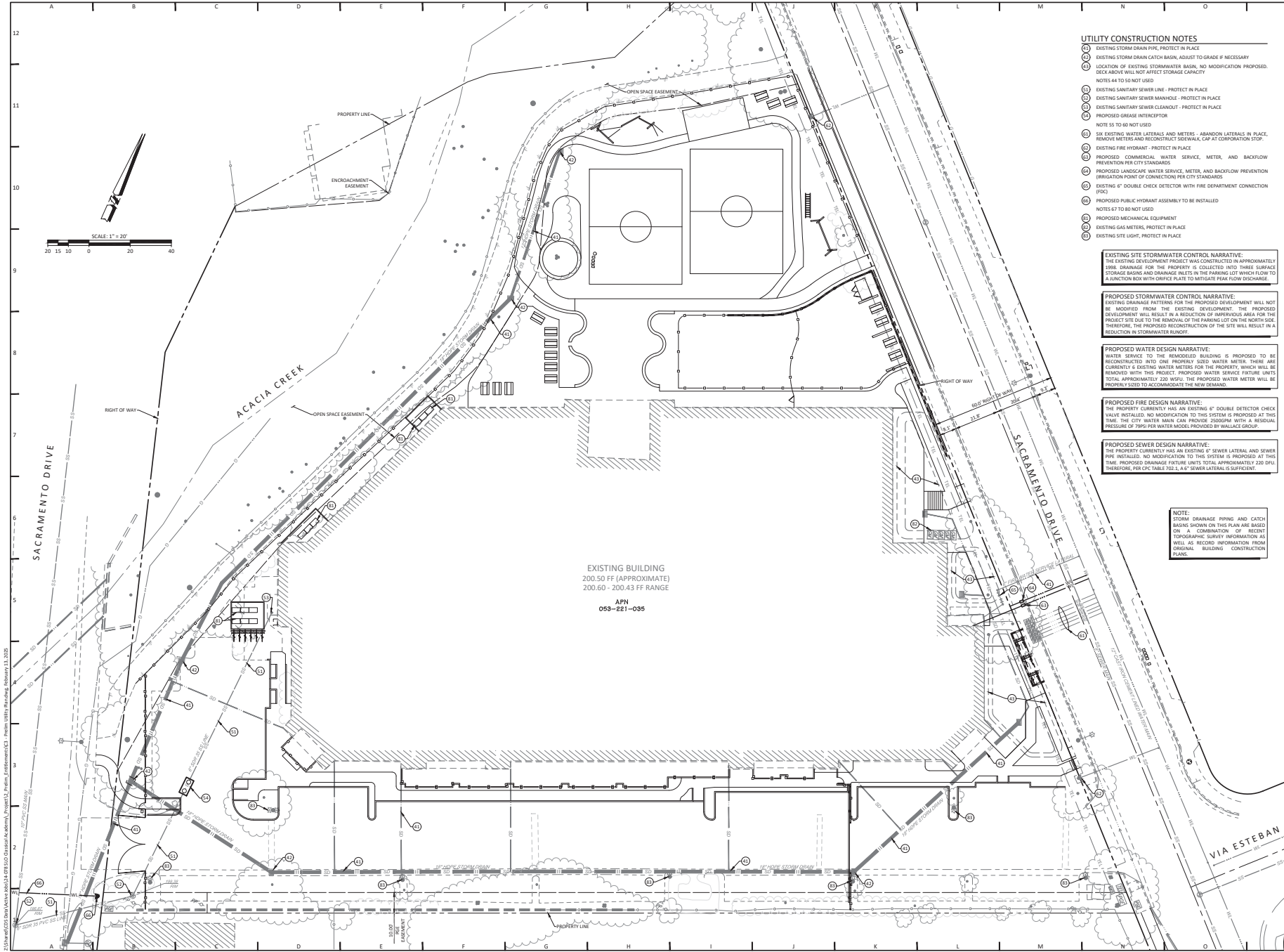
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SAN LUIS OBISPO, CA 93405

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PRELIMINARY GRADING PLAN
C2

SHEET 2 OF 3 SHEETS



- UTILITY CONSTRUCTION NOTES**
- (1) EXISTING STORM DRAIN PIPE, PROTECT IN PLACE
 - (2) EXISTING STORM DRAIN CATCH BASIN, ADJUST TO GRADE IF NECESSARY
 - (3) LOCATION OF EXISTING STORMWATER BASIN, NO MODIFICATION PROPOSED. DECK ABOVE WILL NOT AFFECT STORAGE CAPACITY
 - (4) NOTES 44 TO 55 NOT USED
 - (5) EXISTING SANITARY SEWER LINE - PROTECT IN PLACE
 - (6) EXISTING SANITARY SEWER MANHOLE - PROTECT IN PLACE
 - (7) EXISTING SANITARY SEWER CLEANOUT - PROTECT IN PLACE
 - (8) PROPOSED GRADE INTERCEPTOR
 - (9) NOTE 55 TO 60 NOT USED
 - (10) SIX EXISTING WATER LATERALS AND METERS - ABANDON LATERALS IN PLACE, REMOVE METERS AND RECONSTRUCT SIDEWALKS, CIP AT CORPORATION STOP.
 - (11) EXISTING FIRE HYDRANT - PROTECT IN PLACE
 - (12) PROPOSED COMMERCIAL WATER SERVICE, METER, AND BACKFLOW PREVENTION PER CITY STANDARDS
 - (13) PROPOSED LANDSCAPE WATER SERVICE, METER, AND BACKFLOW PREVENTION (IRRIGATION POINT OF CONNECTION) PER CITY STANDARDS
 - (14) EXISTING 6" DOUBLE CHECK DETECTOR WITH FIRE DEPARTMENT CONNECTION (FDC)
 - (15) PROPOSED PUBLIC HYDRANT ASSEMBLY TO BE INSTALLED
 - (16) NOTES 67 TO 80 NOT USED
 - (17) PROPOSED MECHANICAL EQUIPMENT
 - (18) EXISTING GAS METERS, PROTECT IN PLACE
 - (19) EXISTING SITE LIGHT, PROTECT IN PLACE

EXISTING SITE STORMWATER CONTROL NARRATIVE:
THE EXISTING DEVELOPMENT PROJECT WAS CONSTRUCTED IN APPROXIMATELY 1996. DRAINAGE FOR THE PROPERTY IS COLLECTED INTO THREE SURFACE STORAGE BASINS AND DRAINAGE INLETS IN THE PARKING LOT WHICH FLOW TO A JUNCTION BOX WITH ORIFICE PLATE TO MITIGATE PEAK FLOW DISCHARGE.

PROPOSED STORMWATER CONTROL NARRATIVE:
EXISTING DRAINAGE PATTERNS FOR THE PROPOSED DEVELOPMENT WILL NOT BE MODIFIED FROM THE EXISTING DEVELOPMENT. THE PROPOSED DEVELOPMENT WILL RESULT IN A REDUCTION OF IMPERVIOUS AREA FOR THE PROJECT SITE DUE TO THE REMOVAL OF THE PARKING LOT ON THE NORTH SIDE. THEREFORE, THE PROPOSED RECONSTRUCTION OF THE SITE WILL RESULT IN A REDUCTION IN STORMWATER RUNOFF.

PROPOSED WATER DESIGN NARRATIVE:
WATER SERVICE TO THE REMODELED BUILDING IS PROPOSED TO BE RECONSTRUCTED INTO ONE PROPERLY SIZED WATER METER. THERE ARE CURRENTLY 6 EXISTING WATER METERS FOR THE PROPERTY, WHICH WILL BE REMOVED WITH THIS PROJECT. PROPOSED WATER SERVICE FUTURE UNITS TOTAL APPROXIMATELY 220 WFU. THE PROPOSED WATER METER WILL BE PROPERLY SIZED TO ACCOMMODATE THE NEW DEMAND.

PROPOSED FIRE DESIGN NARRATIVE:
THE PROPERTY CURRENTLY HAS AN EXISTING 6" DOUBLE DETECTOR CHECK VALVE INSTALLED. NO MODIFICATION TO THIS SYSTEM IS PROPOSED AT THIS TIME. THE CITY WATER MAIN CAN PROVIDE 200PSI WITH A RESIDUAL PRESSURE OF 75PSI PER WATER MODEL PROVIDED BY WALLACE GROUP.

PROPOSED SEWER DESIGN NARRATIVE:
THE PROPERTY CURRENTLY HAS AN EXISTING 6" SEWER LATERAL AND SEWER PIPE INSTALLED. NO MODIFICATION TO THIS SYSTEM IS PROPOSED AT THIS TIME. PROPOSED DRAINAGE FUTURE UNITS TOTAL APPROXIMATELY 220 DFU. THEREFORE, PER CPC TABLE 702.3, A 6" SEWER LATERAL IS SUFFICIENT.

NOTE:
STORM DRAINAGE PIPING AND CATCH BASINS SHOWN ON THIS PLAN ARE BASED ON A COMBINATION OF RECENT TOPOGRAPHIC SURVEY INFORMATION AS WELL AS RECORD INFORMATION FROM ORIGINAL BUILDING CONSTRUCTION PLANS.

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ENGINEER OF RECORD:

PLAN REVIEW
NOT FOR CONSTRUCTION

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BROAD STREET CAMPUS

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PLUMB REPAIRED FOR:

SLO CLASSICAL ACADEMY
165 GRAND AVE
SAN LUIS OBISPO, CA 93405

REVISIONS:

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PRELIMINARY
UTILITY PLAN

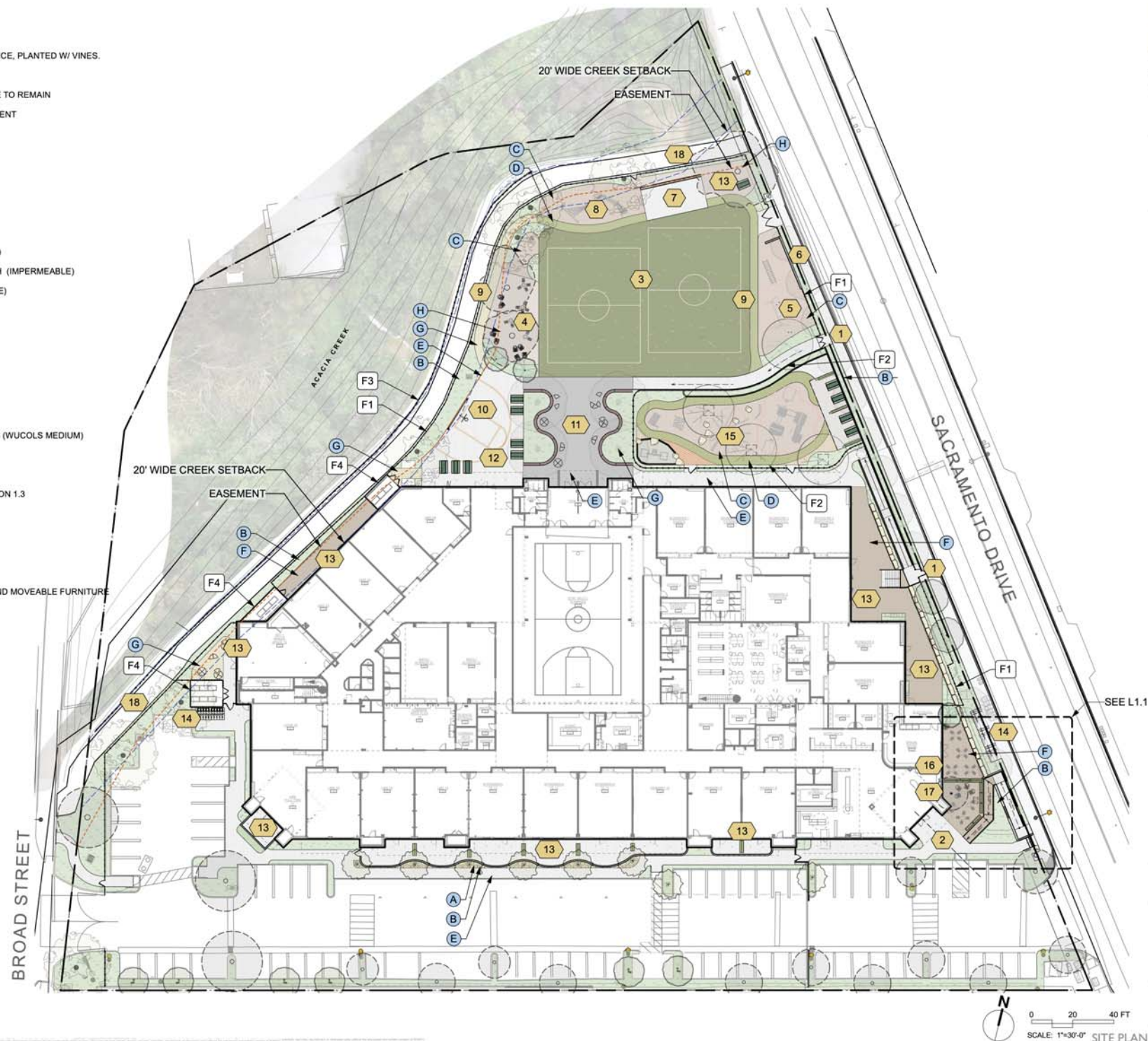
C3

SHEET 3 OF 3 SHEETS

F1	FENCE 1: 6' TALL, BLACK ALUMINUM FENCE, PLANTED W/ VINES.
F2	FENCE 2: 4' TALL, CUSTOM DESIGN.
F3	FENCE 3: 3'-6" TALL 3-RAIL WOOD FENCE TO REMAIN
F4	FENCE 4: SCREENING FENCE @ EQUIPMENT

- (A)** PERMEABLE PEA GRAVEL MULCH
- (B)** PLANTING AREA (WUCOLS LOW)
- (C)** WOOD PLAY MULCH (PERMEABLE)
- (D)** POURED-IN-PLACE RUBBER (PERMEABLE)
- (E)** COLORED CONCRETE W/ TOPCAST FINISH (IMPERMEABLE)
- (F)** COMPOSITE WOOD DECKING (PERMEABLE)
- (G)** DECOMPOSED GRANITE (PERMEABLE)
- (H)** WALK-ON BARK MULCH

- 1 SACRAMENTO NORTH ENTRANCES
- 2 MAIN ENTRANCE
- 3 SOCCER FIELDS - WARM SEASON GRASS (WUCOLS MEDIUM)
- 4 LOUNGE AREA AT EXISTING OAK TREES
- 5 SWINGS
- 6 CLIMBING WALL W/ MURAL. SEE EXHIBIT ON 1.3
- 7 BACKBOARD/BALL WALL
- 8 PARKOUR COURSE
- 9 JOGGING LOOP
- 10 BASKETBALL COURT
- 11 THE QUAD: CURVILINEAR SEAT WALLS AND MOVEABLE FURNITURE
- 12 LUNCH TABLES
- 13 OUTDOOR CLASSROOM
- 14 BIKE PARKING
- 15 WONDERS YARD
 - VARIOUS CLIMBING STRUCTURES
 - SHADE STRUCTURES
 - MUD/AND PLAY AREA
 - BIKE TRIKE PATHWAY
 - PLAY HOUSES
 - MUSIC PLAY
 - CUSTOM PLAY STRUCTURE
 - SPECIMEN SHADE TREES
- 16 STAFF LOUNGE
- 17 PARENT LOUNGE
- 18 (E) BIKE PATH



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PROJECT DATE: 11/15/2020
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PROJECT #: 2020-01
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REVS / SUBS
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4/15/21 PLANNING
5/15/21 PLANNING

SHEET:
11.1

KEY NOTES

- ① COMPOSITE WOOD DECKING SLOPED WALKWAY, 4.9% SLOPE MAX
- ② CONCRETE SLOPED WALKWAY, 4.9% SLOPE MAX
- ③ CONCRETE STEPS
- ④ ENTRY SIGNAGE
- ⑤ BIKE PARKING : 6 BIKES
- ⑥ ENTRY PATH - COLORED CONCRETE W/ TOPCAST FINISH
- ⑦ (E) PEAR TREE TO REMAIN
- ⑧ PLANTING AREA
- ⑨ PARENT GATHERING AREA - COMPOSITE WOOD DECKING
- ⑩ STAFF GATHERING AREA - COMPOSITE WOOD DECKING
- ⑪ TRELLIS W/ VINE PLANTING FOR PRIVACY
- ⑫ MOVEABLE PLANTERS
- ⑬ NEW TREE



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MAIN ENTRY ENLARGEMENT

TREE PROTECTION PLAN PRE-CONSTRUCTION

Fencing and Signage

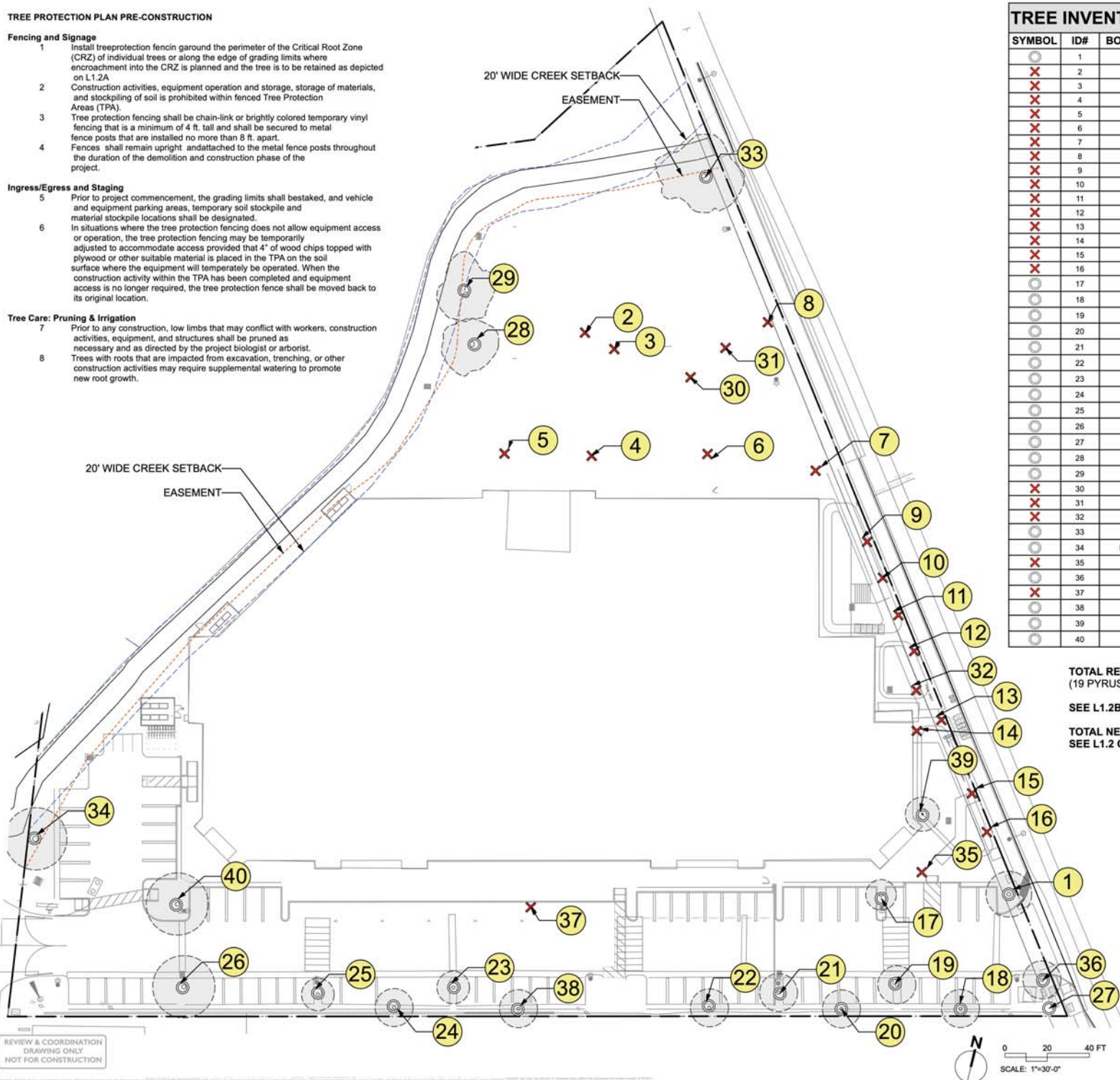
- 1 Install tree protection fencing around the perimeter of the Critical Root Zone (CRZ) of individual trees or along the edge of grading limits where encroachment into the CRZ is planned and the tree is to be retained as depicted on L1.2A
- 2 Construction activities, equipment operation and storage, storage of materials, and stockpiling of soil is prohibited within fenced Tree Protection Areas (TPA).
- 3 Tree protection fencing shall be chain-link or brightly colored temporary vinyl fencing that is a minimum of 4 ft. tall and shall be secured to metal fence posts that are installed no more than 8 ft. apart.
- 4 Fences shall remain upright and attached to the metal fence posts throughout the duration of the demolition and construction phase of the project.

Ingress/Egress and Staging

- 5 Prior to project commencement, the grading limits shall be staked, and vehicle and equipment parking areas, temporary soil stockpile and material stockpile locations shall be designated.
- 6 In situations where the tree protection fencing does not allow equipment access or operation, the tree protection fencing may be temporarily adjusted to accommodate access provided that 4" of wood chips topped with plywood or other suitable material is placed in the TPA on the soil surface where the equipment will temporarily be operated. When the construction activity within the TPA has been completed and equipment access is no longer required, the tree protection fence shall be moved back to its original location.

Tree Care: Pruning & Irrigation

- 7 Prior to any construction, low limbs that may conflict with workers, construction activities, equipment, and structures shall be pruned as necessary and as directed by the project biologist or arborist.
- 8 Trees with roots that are impacted from excavation, trenching, or other construction activities may require supplemental watering to promote new root growth.



TREE INVENTORY

SYMBOL	ID#	BOTANICAL NAME	DBH	IMPACT DESIGNATION
○	1	Pyrus calleryana	6"	PROTECT
✗	2	Pyrus calleryana	3"	TO BE REMOVED
✗	3	Pyrus calleryana	8"	TO BE REMOVED
✗	4	Pyrus calleryana	8"	TO BE REMOVED
✗	5	Pyrus calleryana	8"	TO BE REMOVED
✗	6	Pyrus calleryana	9"	TO BE REMOVED
✗	7	Pyrus calleryana	9"	TO BE REMOVED
✗	8	Plum	6"	TO BE REMOVED
✗	9	Pyrus calleryana	12"	TO BE REMOVED
✗	10	Pyrus calleryana	7"	TO BE REMOVED
✗	11	Pyrus calleryana	11"	TO BE REMOVED
✗	12	Pyrus calleryana	11"	TO BE REMOVED
✗	13	Pyrus calleryana	6"	TO BE REMOVED
✗	14	Pyrus calleryana	9"	TO BE REMOVED
✗	15	Pyrus calleryana	4"	TO BE REMOVED
✗	16	Pyrus calleryana	8"	TO BE REMOVED
○	17	Pyrus calleryana	6"	PROTECT
○	18	Pyrus calleryana	6"	PROTECT
○	19	Pyrus calleryana	7"	PROTECT
○	20	Pyrus calleryana	9"	PROTECT
○	21	Pyrus calleryana	5"	PROTECT
○	22	Geijera parviflora	7"	PROTECT
○	23	Pyrus calleryana	9"	PROTECT
○	24	Geijera parviflora	8.5 - 15.5"	PROTECT
○	25	Pyrus calleryana	6"	PROTECT
○	26	Pyrus calleryana	12"	PROTECT
○	27	Geijera parviflora	8.5 - 15.5"	PROTECT
○	28	Quercus agrifolia	12" - 8" - 10"	PROTECT
○	29	Quercus agrifolia	6" - 6" - 12" - 12"	PROTECT
✗	30	Pyrus calleryana	3"	TO BE REMOVED
✗	31	Pyrus calleryana	11"	TO BE REMOVED
✗	32	Pyrus calleryana	10"	TO BE REMOVED
○	33	Quercus agrifolia	3"	PROTECT
○	34	Platanus racemosa	3"	PROTECT
✗	35	Pyrus calleryana	8"	TO BE REMOVED
○	36	Pyrus calleryana	6"	PROTECT
✗	37	Pyrus calleryana	8"	TO BE REMOVED
○	38	Pyrus calleryana	9"	PROTECT
○	39	Pyrus calleryana	6"	PROTECT
○	40	Pyrus calleryana	12"	PROTECT

TOTAL REMOVED TREES = 20
(19 PYRUS CALLERYANA + 1 PLUM)

SEE L1.2B FOR IMAGES OF TREES TO BE REMOVED

TOTAL NEW TREES = 45
SEE L1.2 C & L2.0 FOR REPLACEMENT TREES



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L1.2A

TREE INVENTORY



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PHASE: PLANNING

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1/15/20 PLANNING
1/15/20 PLANNING
1/15/20 PLANNING
1/15/20 PLANNING

SHEET:
LI.2B

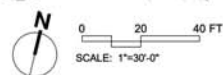


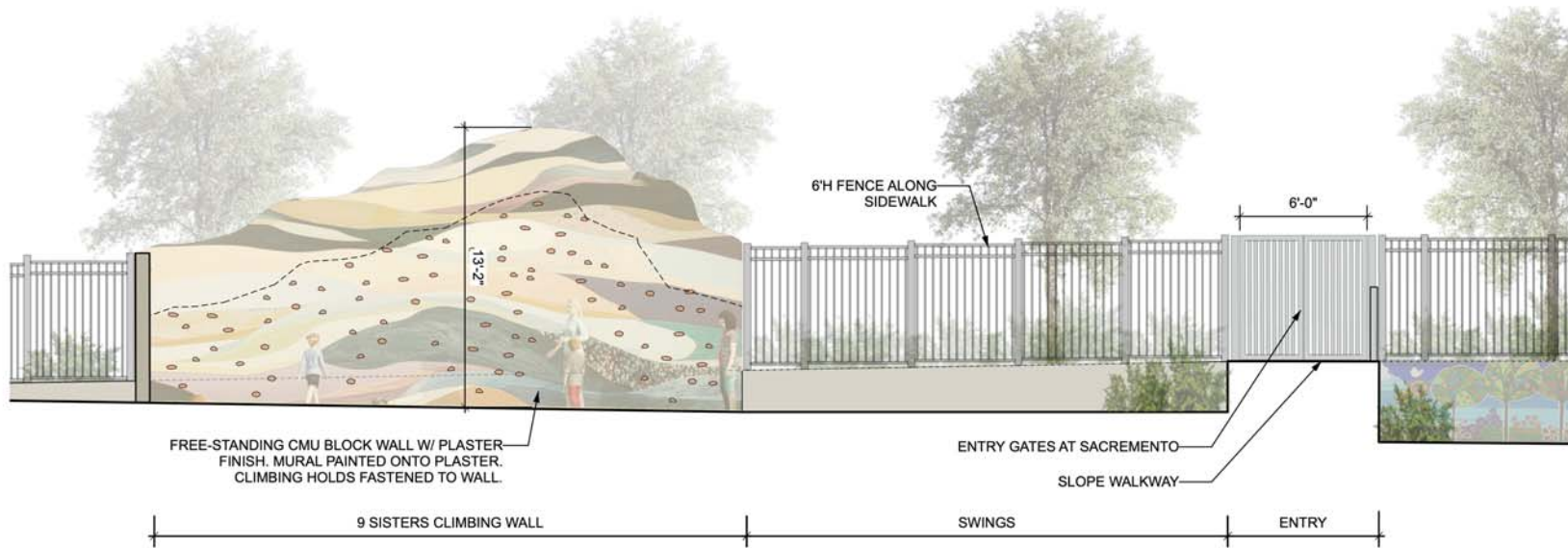
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3430 Broad Street

PROPOSED TREE INVENTORY			
SYMBOL	ID#	BOTANICAL NAME	SCHEDULE SIZE
	1	Chitalpa taskentensis	36" B
	2	Chitalpa taskentensis	36" B
	3	Chitalpa taskentensis	36" B
	4	Lopostemon confertus	24" B
	5	Lopostemon confertus	24" B
	6	Lopostemon confertus	24" B
	7	Lopostemon confertus	24" B
	8	Lopostemon confertus	24" B
	9	Lopostemon confertus	24" B
	10	Lopostemon confertus	24" B
	11	Lopostemon confertus	24" B
	12	Quercus agrifolia	48" B
	13	Quercus agrifolia	48" B
	14	Quercus agrifolia	48" B
	15	Quercus agrifolia	48" B
	16	Quercus agrifolia	48" B
	17	Quercus agrifolia	48" B
	18	Quercus agrifolia	48" B
	19	Quercus engelmannii	60" B
	20	Quercus engelmannii	60" B
	21	Quercus engelmannii	60" B
	22	Quercus engelmannii	60" B
	23	Quercus tomentella	36" B
	24	Quercus tomentella	36" B
	25	Quercus tomentella	36" B
	26	Quercus tomentella	36" B
	27	Quercus tomentella	36" B
	28	Quercus tomentella	36" B
	29	Quercus tomentella	36" B
	30	Quercus tomentella	36" B
	31	Quercus tomentella	36" B
	32	Quercus tomentella	36" B
	33	Quercus tomentella	36" B
	34	Quercus tomentella	36" B
	35	Quercus tomentella	36" B
	36	Tristanopsis laurina	24" B
	37	Tristanopsis laurina	24" B
	38	Tristanopsis laurina	24" B
	39	Tristanopsis laurina	24" B
	40	Tristanopsis laurina	24" B
	41	Tristanopsis laurina	24" B
	42	Ulmus parvifolia	60" B
	43	Ulmus parvifolia	48" B
	44	Ulmus parvifolia	60" B
	45	Ulmus parvifolia	60" B



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1

LOOKING EAST TOWARD CLIMBING WALL

Scale: 1/4" = 1'-0"



2

LOOKING WEST FROM SACRAMENTO

Scale: 1/4" = 1'-0"

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REFERENCE IMAGE OF CLIMBING WALL



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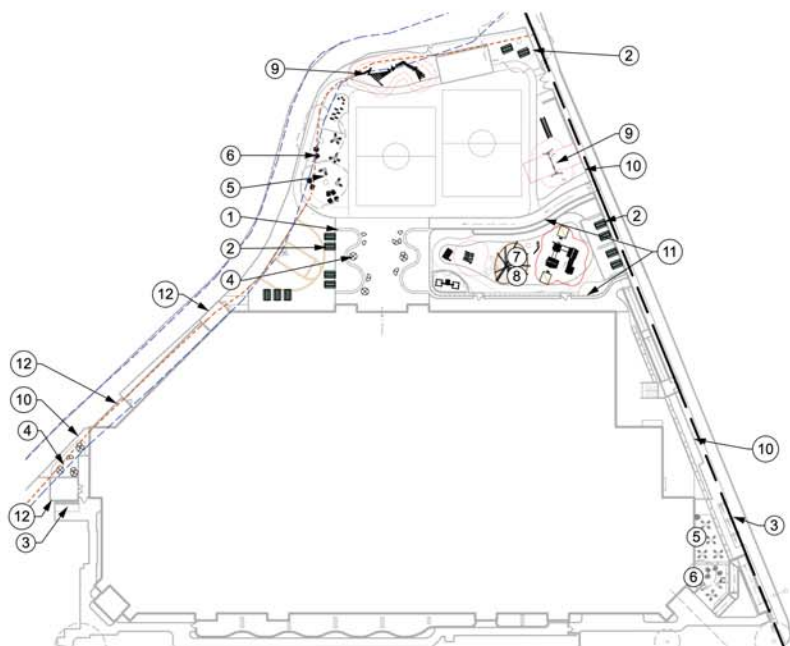


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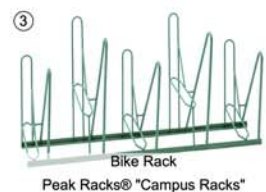
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SHEET:
L1.3











SITE FURNISHINGS





PLAY EQUIPMENT
LITTLE WONDERPLAY EQUIPMENT
TINY WONDERPLAY EQUIPMENT
T-K AND UP

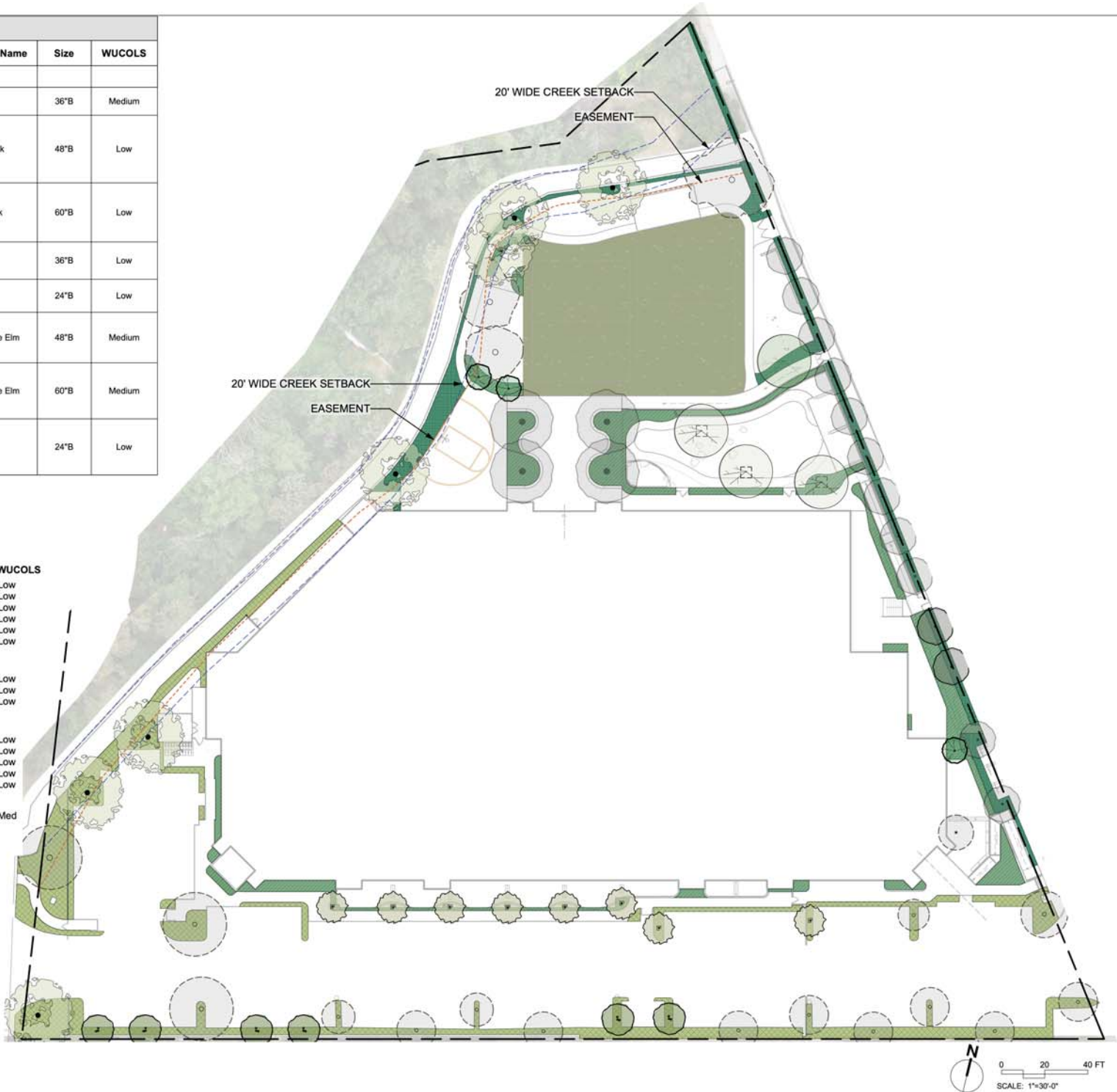
FENCING



PLANT SCHEDULE					
Image	Qty	Botanical Name	Common Name	Size	WUCOLS
Trees					
	3	<i>Chitalpa taskentensis</i>	Chitalpa	36"B	Medium
	7	<i>Quercus agrifolia</i>	Coast Live Oak	48"B	Low
	4	<i>Quercus engelmannii</i>	Engelman Oak	60"B	Low
	13	<i>Quercus tomentella</i>	Island Oak	36"B	Low
	6	<i>Tristania laurina</i>	Water Gum	24"B	Low
	1	<i>Ulmus parvifolia</i>	Drake Chinese Elm	48"B	Medium
	3	<i>Ulmus parvifolia</i> 'Drake' 60"	Drake Chinese Elm	60"B	Medium
	8	<i>Lophostemon confertus</i>	Brisbane Box	24"B	Low

Total = 45 Trees

	NAME	WUCOLS
	Acacia 'Cousin It'	Low
	Ceanothus 'Yankee Point'	Low
	Lantana 'Alba'	Low
	Pennisetum spathiolatum	Low
	Rhaphiolepis umbellata 'Minor'	Low
	Salvia 'Celestial Blue'	Low
	Lomandra 'Baby Breeze'	Low
	Rhaphiolepis 'Minor'	Low
	Rhoicissus capensis	Low
		Low
	Lantana 'Alba'	Low
	Muhlenbergia rigens	Low
	Pennisetum spathiolatum	Low
	Rhaphiolepis umbellata 'Minor'	Low
	Agave attenuata 'Nova'	Low
	TifTuf® Hybrid Bermuda	Med



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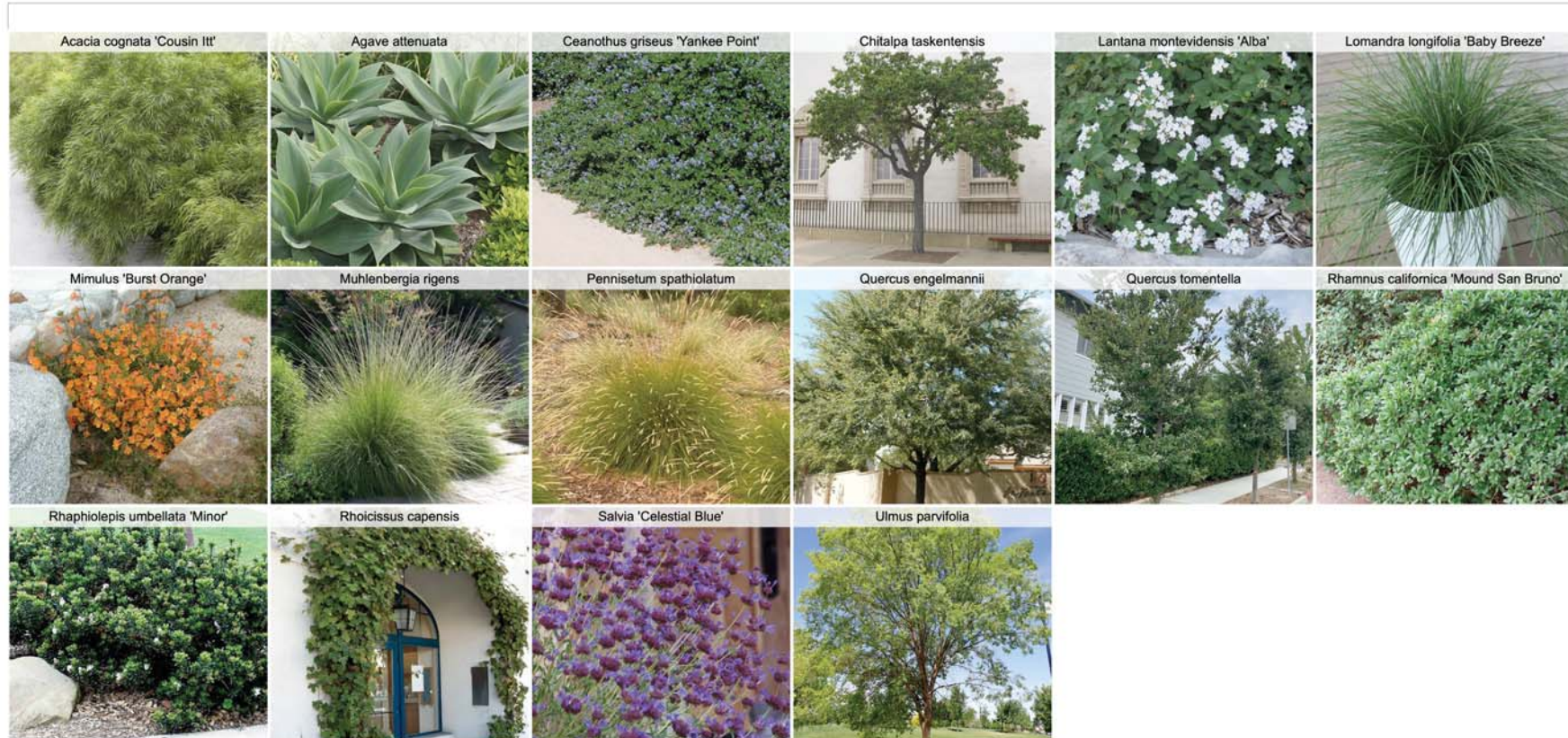


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IMAGERY: TREES, SHRUBS & GROUNDCOVERS

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PROJECT: SLOCA

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L2.1



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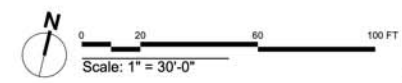
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1/15/20 1/15/20
2/15/20 2/15/20
3/15/20 3/15/20
4/15/20 4/15/20

SHEET:
L2.2

HYDROZONE LEGEND

	VERY LOW WATER USE
	LOW WATER USE
	MODERATE WATER USE

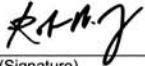


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CALIFORNIA MWELO WATER BUDGET								
Reference Evapotranspiration (ETo)*:	49.7							
* = For the ETo in your area, consult the California Department of Water Resources' Reference Evapotranspiration Table.								
Zone Number / Name	Plant / Feature Type	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Usage (ETWU)
REGULAR LANDSCAPE AREAS								
1-3	Turf Grass	0.5	Overhead Spray	0.75	0.667	7,762	5,175	159,454
4	Trees	0.1	Drip	0.81	0.123	85	10	323
5	Trees	0.5	Drip	0.81	0.617	338	209	6,427
6	Shrubs	0.2	Drip	0.81	0.247	3,045	752	23,164
7	Shrubs	0.2	Drip	0.81	0.247	2,260	558	17,198
8	Trees	0.2	Drip	0.81	0.247	128	32	974
9	Shrubs	0.2	Drip	0.81	0.247	1,738	429	13,226
10	Shrubs	0.2	Drip	0.81	0.247	82	20	627
11	Shrubs	0.5	Drip	0.81	0.617	50	31	947
12	Shrubs	0.2	Drip	0.81	0.247	3,313	818	25,205
13	Shrubs	0.2	Drip	0.81	0.247	2,430	600	18,490
14	Trees	0.2	Drip	0.81	0.247	138	34	1,050
Totals:						21,369	8,668	267,085
SPECIAL LANDSCAPE AREAS								
* = Includes public recreational areas, water features using recycled water, areas dedicated to edible plants, and areas irrigated with recycled water.					Totals:	0	0	0
							ETWU Total:	267,085 gal/yr
							ETWU Total:	0.81965 af/yr
							Maximum Applied Water Allowance (MAWA):	362,161 gal/yr
							Maximum Applied Water Allowance (MAWA):	1.11143 af/yr
ETAF CALCULATIONS								
REGULAR LANDSCAPE AREAS								
Total ETAF x Area:	8,668							
Total Area:	21,369							
Average ETAF*:	0.41							
ALL LANDSCAPE AREAS								
Total ETAF x Area:	8,668							
Total Area:	21,369							
Sitewide ETAF:	0.41							
* = Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.								
This budget is a tool to assist in the completion of the Water Efficient Landscape Worksheet required by the State of California.								

I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

 2/13/2025
(Signature) (Date)

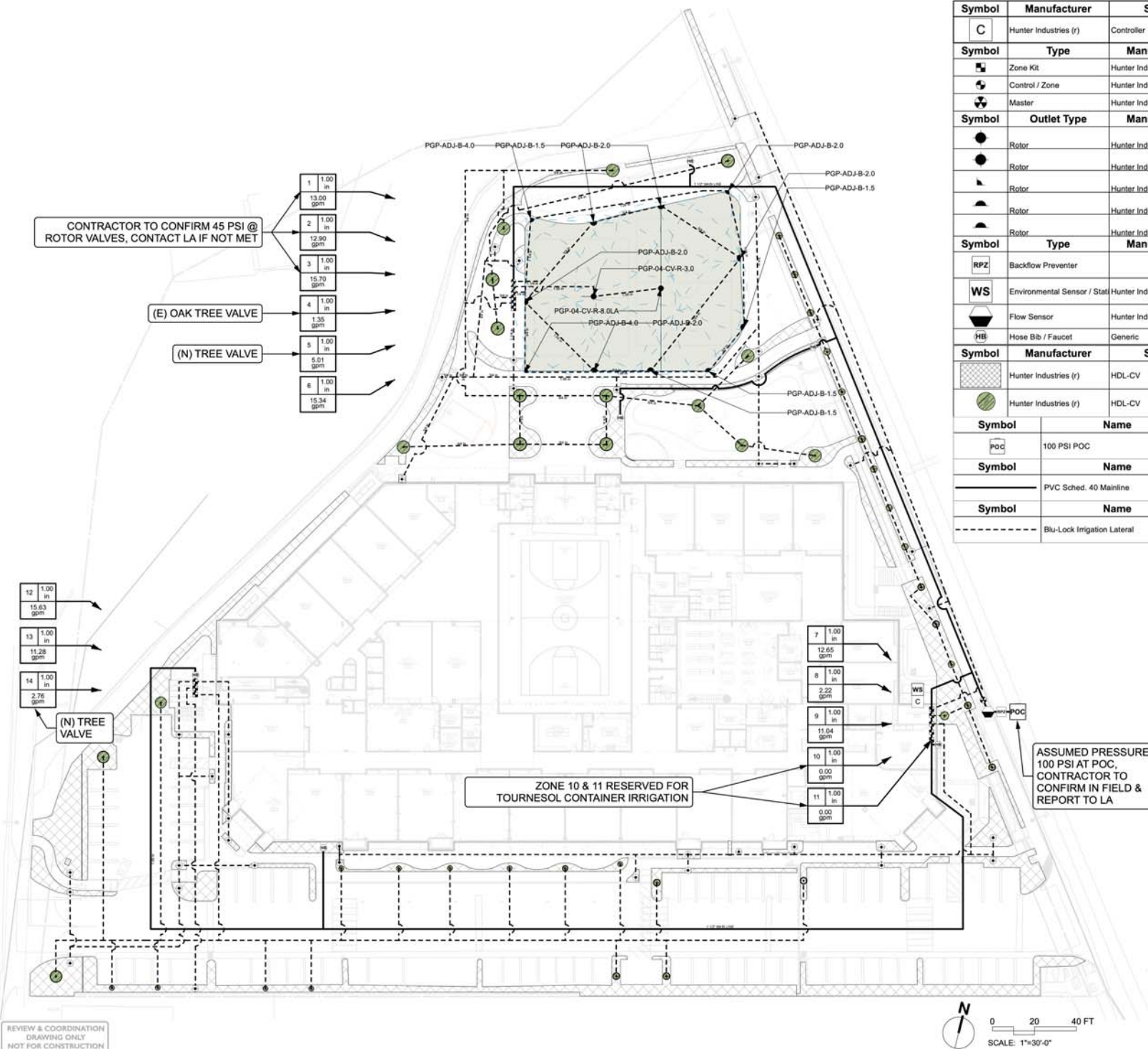
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L2.3	

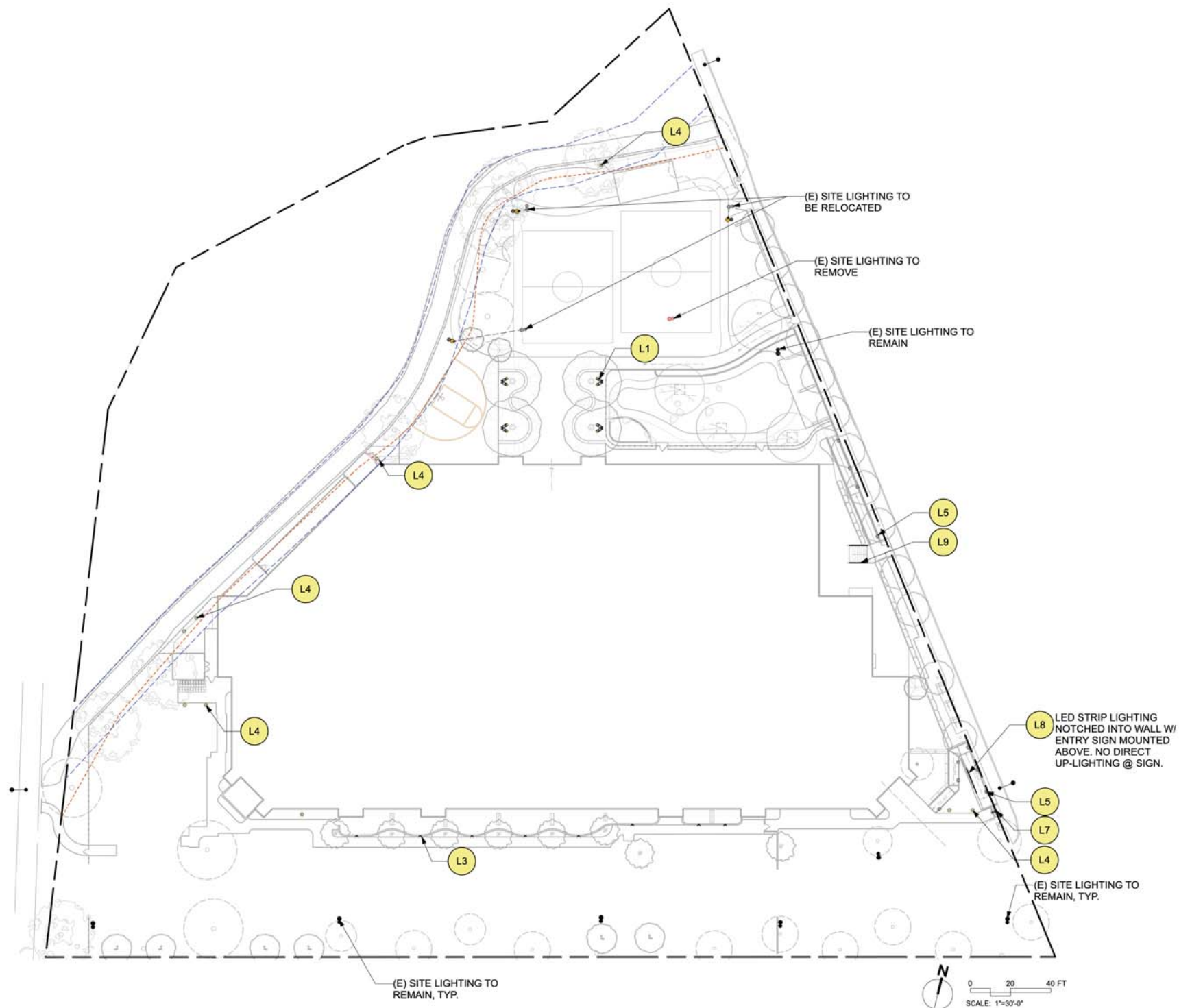
Symbol	Manufacturer	Series	Model	
	Hunter Industries (r)	Controller	PHC-2400	
Symbol	Type	Manufacturer	Series	Model
	Zone Kit	Hunter Industries(R)	Drip Control Zone Kit	ICZ-101-25
	Control / Zone	Hunter Industries(R)	1in PGV Jar Top	PGV-100JT-G
	Master	Hunter Industries (r)	IBV	IBV-201G-FS
Symbol	Outlet Type	Manufacturer	Series	Model
	Rotor	Hunter Industries(R)	PGP(R) Ultra Pop-up 04in	PGP-04-CV-R-3.0
	Rotor	Hunter Industries(R)	PGP(R) Ultra Pop-up 04in	PGP-04-CV-R-8.0LA
	Rotor	Hunter Industries(R)	PGP(R)	PGP-ADJ-B-4.0
	Rotor	Hunter Industries(R)	PGP(R)	PGP-ADJ-B-1.5
	Rotor	Hunter Industries(R)	PGP(R)	PGP-ADJ-B-2.0
Symbol	Type	Manufacturer	Series	Model
	Backflow Preventer		(E) Reduced Pressure Zone	(E) 825Y RP DEVICE
	Environmental Sensor / Stat	Hunter Industries		RAIN-CLIK® SENS
	Flow Sensor	Hunter Industries (r)	HC Flow Meter	HC-150-Flow
	Hose Bib / Faucet	Generic		
Symbol	Manufacturer	Series	Model	Row Spacing
	Hunter Industries (r)	HDL-CV	HDL-06-18-CV	16"
	Hunter Industries (r)	HDL-CV	HDL-09-12-CV	10"
Symbol	Name			
	100 PSI POC			
Symbol	Name			
	PVC Sched. 40 Mainline			
Symbol	Name			
	Blu-Lock Irrigation Lateral			

**NOTE: PIPE RUNS ARE
DIAGRAMATIC TO ILLUSTRATE
ZONE CONNECTIONS,
CONTRACTOR TO CONFIRM
PIPE & SLEEVE LAYOUT**

**NOTE: PIPE RUNS ARE
DIAGRAMATIC TO ILLUSTRATE
ZONE CONNECTIONS.
CONTRACTOR TO CONFIRM
PIPE & SLEEVE LAYOUT
IN-FIELD W/ LA**



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LIGHTING PLAN

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L3.0

[illegible]