

WHEREAS, the Planning Commission of the City of San Luis Obispo conducted a public hearing in the Council Chamber of City Hall, 990 Palm Street, San Luis Obispo, California, on October 22, 2008, for the purpose of considering TR/ER 74-07, a tentative tract map subdividing a 13.5 acre site into 23 commercial lots; and

i. The design of the tentative tract map is consistent with the General Plan because the proposed parcel configuration is consistent with the building intensity anticipated by the Land Use Element, will not increase traffic in residential areas, and does not change allowable land uses.

- Section 2. Environmental Review.** The Planning Commission does hereby recommend adoption of the proposed Mitigated Negative Declaration with incorporation of the following mitigation measures:

Air Quality

- a. Maintain all construction equipment in proper tune according to manufacturer's specifications.
 - b. Fuel all off-road and portable diesel powered equipment with ARB certified motor vehicle diesel fuel (non-taxed version suitable for use off-road).
 - c. Maximize, to the extent feasible, the use of diesel construction equipment meeting ARB's 1996 and newer certification standards for off-road heavy-duty diesel engines.
 - d. Maximize, to the extent feasible, the use of on-road heavy-duty equipment and trucks that meet the ARB's 1998 or newer certification standards for on-road heavy-duty diesel engines.
 - e. All on and off-road diesel equipment shall not be allowed to idle for more than 5 minutes. Signs shall be posted in the designated queuing areas and/or job sites to remind drivers and operators of the 5-minute idling limit.
4. Develop a comprehensive Construction Activity Management Plan for the future development of the individual lots (not the roadway and other public improvements) designed to minimize the amount of large construction equipment operating during any given time period. The plan shall be submitted to the APCD for review and approval prior to the start of construction. The plan shall include:

- a. Schedule construction truck trips during non-peak hours to reduce peak-hour emissions

5. APCD has determined the operational impacts of the project through the use of URBEMIS2007 computer model, a tool for estimating vehicle travel, fuel use, and the resulting emissions relative to this project's and area's. The results of the model indicate that the project will have no significant adverse effects on air quality. The results of the model also indicate that the project will have no significant adverse effects on air quality. The project will have no significant adverse effects on air quality. The project will have no significant adverse effects on air quality.

- Provide on-site bicycle parking at a rate of one bicycle parking space for every 10 car parking spaces.
- Provide on-site eating, refrigeration, and food vending facilities to reduce employee lunchtime trips.
- Provide preferential carpool and vanpool parking spaces.
- Provide shower and locker facilities to encourage employees to bike and/or walk to work, typically one shower and three lockers for every 25 employees.
- Increase on-site energy efficiency rating by 10% above what is required by Title 24 requirements. This can be accomplished in a number of ways (increasing attic, wall, or floor insulation, installing double-pane windows, using efficient interior lighting, etc.).

- a. Provide on-site bicycle parking at a rate of one bicycle parking space for every 10 car parking spaces.
- b. Increase street shade tree planting.
- c. Increase shade tree planting in parking lots to reduce evaporative emissions from parked vehicles.
- d. Provide on-site banking (ATM) and postal services.
- e. Provide on-site child care facilities for employees.
- f. Provide on-site housing for employees.
- g. Implement on-site circulation design elements in parking lots to reduce vehicle queuing and improve the pedestrian environment with designated walkways.
- h. Provide pedestrian signalization and signage to improve pedestrian safety.
- i. If the project is located on an established transit route, improve public transit accessibility by providing a transit turnout with direct pedestrian access to the project or improve existing transit stop amenities.
- j. Provide incentives to employees to carpool/vanpool, take public transportation, telecommute, walk, bike, etc., by implementing the Transportation Choices Program. The applicant should contact SLO Regional Rideshare at 541-2277 to receive free consulting services on how to start and maintain a program.
- k. Provide Transportation Choices Program information centers on alternative transportation modes at the site (i.e. a transportation kiosk). Contact SLO Regional Rideshare for appropriate materials at 541-2277.
- l. Install an electric vehicle charging station with both conductive and inductive charging capabilities.
- m. Employ or appoint an Employee Transportation Coordinator.
- n. Implement a City-approved Trip Reduction Program.
- o. Provide for shuttle/minibuss service.
- p. Increase the quality of existing bicycle routes/lanes or add bicycle routes/lanes which access the project.
- q. Implement compressed work schedules.
- r. Implement a telecommuting program.
- s. Implement a lunch-time shuttle to reduce single-occupant vehicle trips.
- t. Participate in an employee "flash pass" program, which provides free travel on transit buses.
- u. Include teleconferencing capabilities, such as web cams or satellite linkage, which will allow employees to attend meetings remotely without requiring them to use a car or van for their commute.
- v. If the development is a large grocery store or big box or retail facility, provide home delivery service for customers.
- w. Shade tree planting along southern exposures of buildings to reduce summer cooling needs.
- x. Use roof material with a solar reflectance value meeting the EPA/DOE Energy Star® rating to reduce summer cooling needs.
- y. Use built-in energy-efficient appliances where applicable.
 - 1. Use double-paneled windows
 - 2a. Use low-energy parking lot and street lights (e.g. sodium).
 - 2b. Use energy-efficient interior lighting.
 - 3. Use low energy traffic signals (e.g. light emitting diode).
 - 4a. Install door sweeps or weather stripping if more energy-efficient doors and windows are not available.
 - 4b. Install high-efficiency or gas space heating.
- z. Replace diesel fleet vehicles with cleaner fueled low-emission vehicles (e.g. school buses, transit buses, and on off-road heavy-duty vehicles, lighter-duty trucks and passenger vehicles).
- aa. Use alternative equipment and technologies through methods such as catalyzed diesel particulate filters, diesel oxidation catalysts, or other approved technologies.

1. Building plans and specifications for common tract improvements shall incorporate all recommendations included in the Soils Engineering Report prepared by Earth Systems Pacific dated May 8, 2007, subject to the approval of the Chief Building Official.
2. Soils engineering reports shall be submitted with each building permit application for individual lot development subject to the approval of the Chief Building Official.

- **Monitoring Program:** Project plans submitted for building permits will be reviewed for compliance with these requirements by Community Development Department staff.
- Section 3. Recommendation.** The Planning Commission does hereby recommend to the City Council approval of application TR/ER 74-07 with incorporation of the following conditions and code requirements into the project:

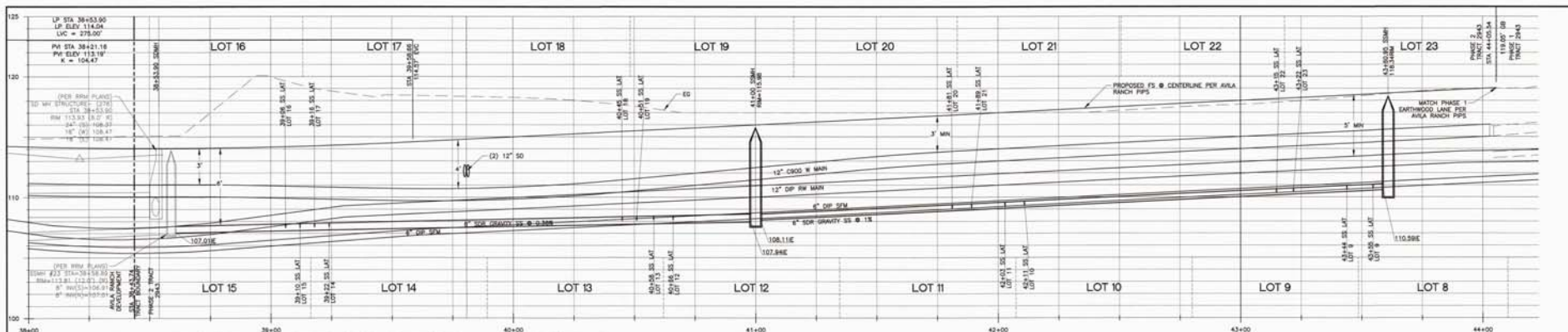
1. The use of well water for irrigation purposes from the existing well on Lot 1 to serve Lots 22 and 23 is not allowed per City Policy 1.15.1 in the Water and Wastewater Element of the General Plan contains provisions that may allow a single well on either Lot 22 or Lot 23 to serve the irrigation needs of both lots, subject to approval by the Utilities Director.

- 2 Pursuant to Government Code Section 66474-9(c), the subdivider shall defend, indemnify, and hold harmless the City and/or its
3 agents, officers, and employees from any claim, action, or proceeding against the City and/or its agents, officers, or employees to
4 attack, set aside, void, or annul the approval by the City of this subdivision, and all actions relating thereto, including but not limited
5 to environmental review.
- 5 The proposed project shall comply with post-development stormwater treatment in accordance with City Standard 10108. Include
6 sedimentation, detention, and plan notes for the proposed BMPs and improvements necessary to provide runoff treatment
7 for stormwater treatment. Revise the site plan, civil plan, utility plans, and landscape plans to recognize all proposed treatment
8 measures. The plans may include but are not limited to infiltration, detention and settling, biofiltration, filtration, and flow-through
9 separation.
- 10 The new draft Water Quality Based State Construction Permit requires dischargers to replicate the pre-project runoff water balance
11 (for this project, defined as the amount of rainfall that ends up as runoff) for the smallest storms up to the 85th percentile storm event
12 (or the smallest storm event that generates runoff, whichever is larger). Depending upon the time of application to record the parcel
13 map and/or timing to complete the construction of public improvements, the project may be subject to the new Board regulations.
- 14 A separate covenant agreement to install the ultimate street improvements upon the continuation of the street shall be recorded in
15 conjunction with the recordation of the map. The public improvement plans shall include any additional detailed required
16 complex and future improvements.

The following code requirements are included for information purposes only. They serve to give the applicant a general idea of other City requirements that will apply to the project. This is not intended to be an exhaustive list as other requirements may be identified during the plan check process. The project is subject to all requirements in effect at the time of the building permit or map testing date.

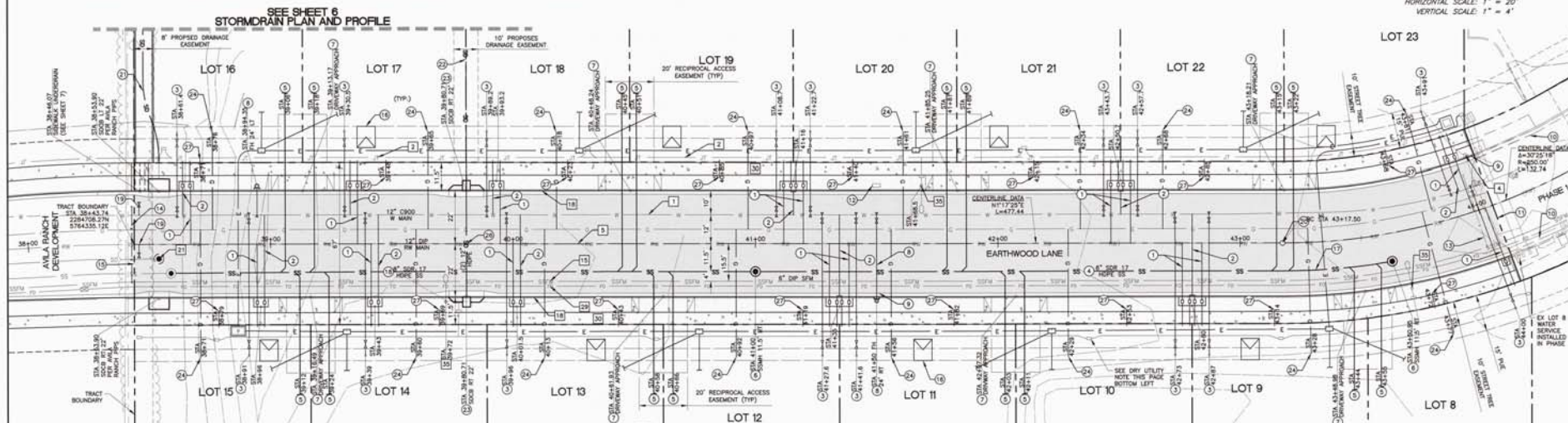
1. Any building permits issued work required to satisfy the conditions of the subdivision shall record a final improvement approval on the subdivision plat. The applicant shall be responsible for obtaining all necessary permits and shall have substantially completed all work to the satisfaction of the Building Official prior to recording of the map.
2. The area of the hammerhead fire apparatus turn-around on Earlwood shall be posted "No Parking Fire Lane."
3. A complete subdivision improvement plan, prepared by a registered civil engineer, shall be submitted to the Public Works Department for review and approval. All grades, layout, staking and cut-sheets necessary for the construction of street paving and drainage improvements shall be the responsibility of the developer. The subdivision improvement plan shall include all public and private subdivision improvements in accordance with the tentative map, conditions of approval, the Subdivision Map Act, City of San Jose Regulations, Airport Area Specific Plan, and all local codes and ordinances.
4. New water utilities outside the subdivision boundaries, but necessary to provide service to the subdivision shall be completed with net increase in the number of utility poles unless otherwise approved by the Public Works Department.
5. Separate utilities, including water, sewer, gas, electricity, telephone, and cable TV shall be served to each parcel to the satisfaction of the Public Works Director. Existing utility companies. Utilities to new or existing structures shall be underground unless otherwise excepted by City ordinance.
6. Street lighting and all associated facilities, including conduits, sidewalk lights, wiring, framing, and luminaires, shall be provided on the western side of the proposed driveway approach per City Standards. The light shall be spaced to honor the existing street light locations and to provide reasonable separation between the existing lights. Off-site street lighting improvements, alterations, or upgrades may be required along roadways leading to and from the proposed development to complete the necessary public improvements.
7. The existing driveway approaches located along the frontage of proposed Parcel 23 and serving the existing development shall be upgraded or replaced to comply with current City and ADA standards. Current standards require a minimum 4' level sidewalk on extension behind the driveway approach.
8. A public pedestrian easement shall be recorded with the map if adequate right-of-way does not exist for any proposed ADA sidewalk extension that will occur on private property and outside of the existing public right-of-way.
9. The subdivision shall dedicate a 15' wide private utility easement and a 10' wide street tree easement across the frontage of each parcel. These easements shall be adjacent to and contiguous with all public right-of-way lines bordering each parcel.
10. A private sewer mainline may be proposed in lieu of separate sewer laterals for each unit. If proposed or required by the Utilities Director, the on- site sewer main shall be privately owned and maintained by the Homeowner's Association.
11. A maintenance agreement for any private utilities, paving, landscape improvements, storm drain system, detention basins, and any other common improvements, must be recorded prior to or concurrent with the recordation of the map.
12. The public improvement plan shall include an erosion control plan and erosion control notes in accordance with the Watersheds Management Plan Drainage Design Manual and to the satisfaction of the Building Official and Public Works Director.
13. EPA Requirement: General Construction Activity Storm Water Permits are required for all stormwater discharges associated with construction activity where clearing, grading, and excavation results in land disturbance of one or more acres. Stormwater discharges of less than one acre, but which is part of a larger common plan of development or sale, also require a permit. Permits are required until the construction is complete. To be covered by a General Construction Activity Permit, the owners of land where construction activity is occurring must submit a completed "Notice of Intent" (NOI) form, with the appropriate fee, to the State Water Resources Control Board (SWRCB).
14. A copy of the Stormwater Pollution Prevention Plan (SWPPP) required by the SWRCB shall be included as part of the building and/or other permit plan submittal. The WDRD Number issued by the Board shall be noted on all plans that involve regulated land disturbing activities.
15. The proposed street trees and any parkway landscaping shall be installed and maintained by the Property Owner Association or shall otherwise be covered by a maintenance agreement to be recorded prior to or concurrent with the recordation of the map. The maintenance agreement shall include watering of the trees and common area landscape, at least during the establishment period and/or until responsibility may be reasonably transferred to the adjoining property owner(s).
16. Tree protection measures must be implemented to the satisfaction of the City Arborist. The City Arborist shall review and approve the proposed tree protection measures prior to any demolition, grading, or construction. The City Arborist must approve any safety pruning, the cutting of substantial roots, or grading within the drip-line of trees. A city-approved arborist must complete safety pruning. Any required tree protection measures shall be noted on the public improvement plans. Contact the City Arborist for tree protection measures and safety pruning.

DATE ☐ ☐ ☐		REVISIONS DESCRIPTION	APPROVAL SHEET CITY	PUBLIC IMPROVEMENT PLANS FOR:		 GARING, TAYLOR & ASSOCIATES, INC. CIVIL ENGINEERS SURVEYORS PLANNERS 141 SOUTH ELM STREET ARROYO GRANDE, CA 94921 (805) 498-1321	
				TRACT 2943 EARTHWOOD LANE SAN LUIS OBISPO, CA			
DRAWN BY: AJC		CHECKED BY: PDM	JOB NO. 20-822		CITY FILE NO. FMAP-0202-2020		SHEET 2 ~ 8



EARTHWOOD LANE PROFILE - PHASE 2

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 4'



CONSTRUCTION NOTES BY OTHERS' REFERENCE RRM AVILA RANCH - PHASE 1 PIP

1. SHOW FOR REFERENCE ONLY. SURFACE IMPROVEMENTS, WATER MAIN, RECYCLED WATER, SEWER FORCE MAIN, FIBER OPTIC, AND JOINT TRENCH CONSTRUCTED PER AVILA RANCH PLANS. REFERENCE THIS PLAN SET FOR UTILITY LAYOUT, INSTALLATION & DIMENSIONS FOR TRACT 2943 LOTS.

2. INSTALL 12" CLASS 350 DIP RECYCLED WATER MAIN PER AVILA RANCH PUBLIC IMPROVEMENT PLANS.

3. INSTALL JOINT TRENCH PER AVILA RANCH PUBLIC IMPROVEMENT PLANS.

4. CONSTRUCT 6" FIRE HYDRANT ASSEMBLY PER PER AVILA RANCH PUBLIC IMPROVEMENT PLANS. (HYDRANT INSTALLED CONCRETE PAD REQUIRED PER CITY OF SLO)

5. INSTALL 12" CLASS 350 DIP RECYCLED WATER MAIN PER AVILA RANCH PUBLIC IMPROVEMENT PLANS.

6. INSTALL 6" DIP 557M PER AVILA RANCH PUBLIC IMPROVEMENT PLANS.

7. CONSTRUCT 6" CURB AND 18" GUTTER PER AVILA RANCH PUBLIC IMPROVEMENT PLANS.

8. INSTALL STORM DRAIN MANHOLE (36" PIPE AND LARGER) PER CITY OF SAN LUIS OBISPO STANDARD DRAWING NUMBER 3503.

9. INSTALL 2" CONDUIT AND FIBER OPTIC PER AVILA RANCH PUBLIC IMPROVEMENT PLANS.

10. CONSTRUCT SIDEWALK PER AVILA RANCH PUBLIC IMPROVEMENT PLANS.

11. INSTALL STREET LIGHT PER AVILA RANCH PUBLIC IMPROVEMENT PLANS. VERIFY STATION WITH THESE PLANS AS SOME WERE MOVED TO ACCOUNT FOR CONFLICTS.

12. DRY UTILITY NOTE: ENGINEERED DRY UTILITY DRAWING ARE DEFERRED BY AVILA RANCH PER THE APPROVED AVILA RANCH PIP AND ARE SHOWN ON THIS PLAN SET FOR REFERENCE ONLY.

13. EROSION CONTROL NOTE: SEE AVILA RANCH PLANS (FMAP-1563-2016) FOR ROADWAY EROSION CONTROL, SWPPP, & WOD #340359992.

CONSTRUCTION NOTES CONSTRUCTED FOR THIS PLAN SET - ERIE BALL TRUST

1. CONSTRUCT 1" RECYCLED WATER SERVICE CONNECTION PER CITY OF SLO STANDARD 8210.

2. CONSTRUCT 2" WATER SERVICE CONNECTION PER CITY OF SLO STANDARD 8210 & 8230. INSTALL BACK FLOW PREVENTER DUE TO PROXIMITY OF RECYCLED WATER.

3. CONSTRUCT 4" FIRE SERVICE CONNECTION PER CITY OF SLO STANDARD 8420 & 8530.

4. CONSTRUCT NEW FUSE-WELDED HOPE SEWER LINE PER THE CITY OF SLO STANDARD 8610.

5. CONSTRUCT NEW SEWER MANHOLE PER CITY OF SLO STANDARD 8610.

6. PROPOSED LOCATION OF DRIVEWAY PER CITY OF SLO STANDARD 2115 AND 2120. 20' WIDE COORDINATE WITH CITY TO DEFER CONSTRUCTION UNTIL LOT BUILD OUT.

7. CONSTRUCT FIRE HYDRANT ASSEMBLY PER CITY OF SLO STANDARD 6310.

8. PAINT RED CURB AT FIRE HYDRANT TO BE EXTENDED 15' ON EITHER SIDE.

9. REMOVE TEMPORARY RED PAINT "NO PARKING FIRE LANE"

10. SAW CUT LINE TO BE IN COMPACT MATERIAL.

11. MANHOLE KIOSK PER USPS AND CITY STANDARDS. LOCATION TO BE COORDINATED WITH CITY.

12. REMOVE AND RELOCATE BARRICADE FENCE TO STA 38+444.

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EARTHWOOD LANE UTILITY PLAN - PHASE 2

SCALE: 1" = 20'

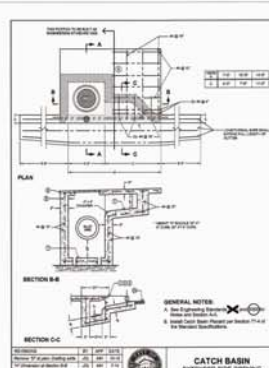
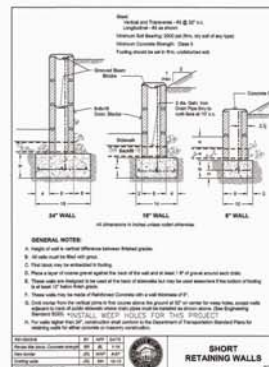
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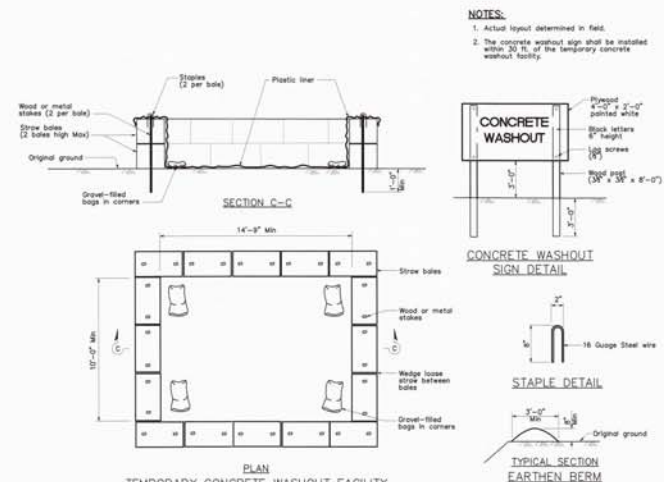
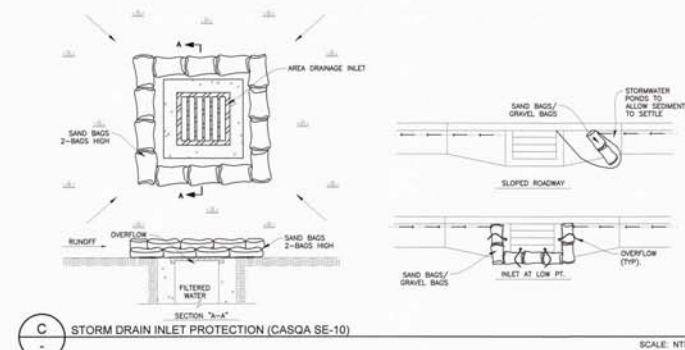
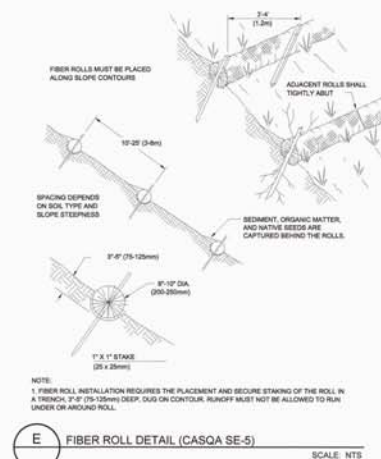
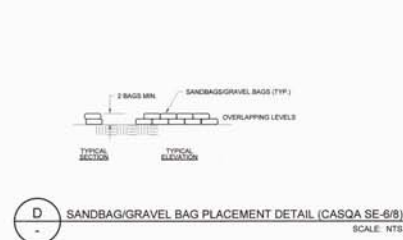
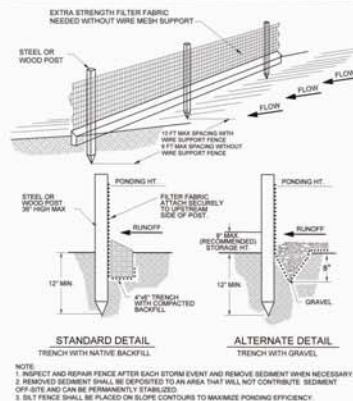
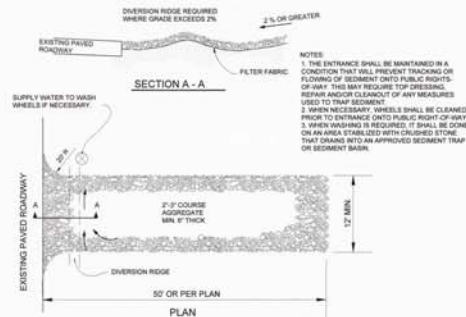
PUBLIC IMPROVEMENT PLANS FOR:
TRACT 2943
EARTHWOOD LANE
SAN LUIS OBISPO, CA

GTA
GARING, TAYLOR & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
141 SOUTH ELM STREET • ARROYO AVENUE, CA 94020 • (408) 489-1321



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		DESCRIPTION	ENGR/CITY				
DRAWN BY: AJC		CHECKED BY: PDM	JOB NO: 20-822	CITY FILE NO: FMAP-0202-2020	SHEET 8 OF 8		