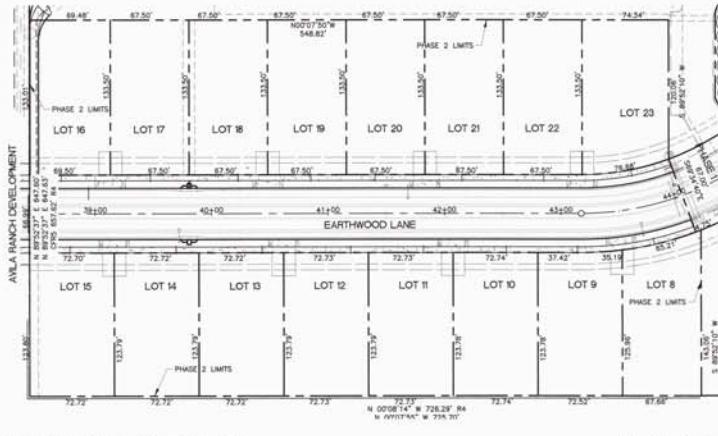


PUBLIC IMPROVEMENT PLANS FOR TRACT 2943 - PHASE 2



GENERAL SITE PLAN

SEE SHEET 3 FOR DETAILED IMPROVEMENTS OF WORK PERFORMED UNDER THIS PERMIT AND BY AVILA RANCH (BY OTHERS)

PUBLIC WORKS STANDARD NOTES

1. ALL WORK LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE JURISDICTION OF THE UTILITY COMPANY SHALL BE APPROVED BY THE CITY PRIOR TO COMMENCEMENT. AUGUST 2020 EDITION OF THE ENGINEERING STANDARDS AND STANDARD SPECIFICATION. THE CURRENT ADOPTED STANDARDS ARE DATED AUGUST 2020.

2. SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EASEMENTS FOR CONNECTIONS TO PUBLIC UTILITIES. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, WATER, SEWER, AND GAS CONSTRUCTION, AND/OR CONSTRUCTION OF STORM DRAINS, STORM DRAIN INLETS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB RAMPS, STREET PAVING AND PEDESTRIAN PAVING OR STRAIGHT IN THE ROADWAY.

3. CONSTRUCTION PLANS AND REQUIREMENTS AT (805) 781-7554 AT LEAST TWO WORKING DAYS PRIOR TO THE START OF WORK OR ANY REQUIRED ENCROACHMENT PERMIT INSPECTION.

4. ALL TRENCHING AND BACKFILL TO BE DONE TO CITY ENGINEERING STANDARDS UNLESS OTHERWISE NOTED.

5. TRENCHING/BORING DEPTH SHALL BE 5' BELOW AND WET FACILITIES INTERSECTED UNLESS OTHERWISE NOTED. REFERENCE CITY STANDARD 6510.

6. A TRAFFIC AND PEDESTRIAN CONTROL PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DIRECTOR FOR REVIEW AND APPROVAL PRIOR TO ENCROACHMENT PERMIT INSPECTION.

7. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS OR TRENCHING GREATER THAN 5 FEET IN DEPTH. A CAL-OSHA PERMIT OR A TRENCHING PERMIT SHALL BE PROVIDED TO THE BUILDING DIVISION PRIOR TO BUILDING, UTILITY, AND/OR GRADING PERMIT ISSUANCE IF APPLICABLE. AN OSHA PERMIT EXEMPTION OR WAIVER SHALL NOT BE APPROVED BY THE BULDING DIVISION.

8. ANY SECTION OF DAMAGED OR DISPLACED CURB, GUTTER & SIDEWALK OR DRIVEWAY APPROACH SHALL BE REPAIRED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.

9. FOLLOW CITY OF SAN LUIS OBISPO TRAFFIC CONTROL GUIDELINES FOR THE CONSTRUCTION AND OPERATION OF TEMPORARY TRAFFIC CONTROL SIGNALS.

10. SHOULD HYDROCARBON CONTAMINATED SOIL BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE APCO MUST BE NOTIFIED AS SOON AS POSSIBLE AND NO LATER THAN 48 HOURS AFTER THE AFFECTED MATERIAL IS DISCOVERED TO DETERMINE IF AN APCO PERMIT WILL BE REQUIRED. IN ADDITION, DUE DILIGENCE AND MITIGATION PROCEDURES SHALL BE IMPLEMENTED IMMEDIATELY AFTER CONTAMINATED SOIL IS DISCOVERED.

11. CALL 811 OR ENTER A USA (UNDERGROUND SERVICE ALERT) TICKET ONLINE BEFORE DIGGING. FOR MORE INFORMATION, VISIT USA811.NET/101.

12. ALL SURFACE AND SUBSURFACE DRAINS SHALL BE SWEPT TO REMOVE DIRT, DUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY.

13. THE PUBLIC IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETE TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR PRIOR TO FINAL INSPECTION APPROVAL AND/OCCUPANCY OF ANY BUILDING OR STRUCTURE.

14. "RECORD DRAWINGS" OR "AS-BUILT" PLANS ARE REQUIRED FOR ALL WORK IN THE PUBLIC ROW OR WITHIN CITY EASEMENTS AT THE COMPLETION OF THE PROJECT CITY STANDARDS AND CITY STANDARD SPECIFICATIONS. THE RECORD DRAWINGS SHALL BE SUBMITTED AND ACCEPTED BY THE CITY PRIOR TO FINAL INSPECTION APPROVAL AND/OCCUPANCY OF ANY BUILDING OR STRUCTURE.

15. STORMWATER AND DRAINAGE SYSTEM CERTIFICATION IS REQUIRED FROM THE ENGINEER OF RECORD PRIOR TO THE FINAL INSPECTION APPROVALS. THE ENGINEER SHALL CERTIFY THAT THE DRAINAGE AND STORMWATER SYSTEMS MEET THE CITY STANDARDS AND CITY STANDARD SPECIFICATIONS. THE DRAINAGE REPORT, SYSTEM DESIGN, AND APPROVED PLANS, INCLUDING ALL FINAL ELEVATIONS, COORDINATES, AND GRADES, SHALL BE SUBMITTED TO THE CITY. PARKING LOT'S DETERMINATION, DRAIN PIPE, INLETS W/ELEVATIONS AND OFFICES.

16. ALL SURFACE AND SUBSURFACE DRAINAGE SYSTEMS DESIGNED AT LESS THAN 2% SHALL HAVE FINAL GRADIENTS CERTIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER PRIOR TO FINAL INSPECTION.

GENERAL NOTES

1. NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE CITY OF SAN LUIS OBISPO DEPARTMENT OF PUBLIC WORKS. THE PLANS SHALL BE SUBMITTED IN ACCORDANCE WITH THE CITY OF SAN LUIS OBISPO STANDARDS AND SPECIFICATIONS. THE PLANS SHALL BE SUBMITTED WITH THE TIME AND LOCATION OF THE PRECONSTRUCTION CONFERENCE AND THE DATE OF THE PRECONSTRUCTION PERIOD. WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION FROM THE DEPARTMENT, CONSTRUCTION SHALL NOT BE REACTED AND SHALL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.

2. FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS APPROVED BY THE DEPARTMENT, THE CONTRACTOR SHALL BE SUBJECT TO A FINES AND/OR PENALTIES AS PROVIDED IN THE CONTRACT. THE CONTRACTOR MAY REVOKE ALL ACTIVE PERMITS AND ISSUE A STOP WORK ORDER IN ACCORDANCE WITH THE CONTRACT.

3. ALL CONSTRUCTION WORK AND IMPROVEMENTS SHALL CONFORM TO THE CITY OF SAN LUIS OBISPO STANDARDS AND ENGINEERING STANDARDS. CONSTRUCTION THAT MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT PRIOR TO BEING USED IN CONSTRUCTION.

4. THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES OWNED BY THE PROJECT OWNER AND CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, DRAINAGE COLLECTION, MATERIAL DISTRIBUTION, TO ALL EXISTING PROPERTY LOCATED IN THE VICINITY OF WORKING AREAS.

5. TRENCHING/BORING DEPTH SHALL BE SHIELDED BY CONSTRUCTION FENCING. FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR. THE FENCE SHALL BE REMOVED AS SOON AS POSSIBLE AFTER OCCUPIED POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.

6. SURFACE MATERIALS SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND A MINIMUM OF ONE FOOT BELOW THE TOP OF THE SUBGRADE. THE TOP OF THE SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION, UNLESS OTHERWISE NOTED IN THE CONTRACT AND OR SPECIFICATIONS ON THE PROJECT FOUNDATION EXPLANATION REPORT.

7. A REGISTERED CIVIL ENGINEER SHALL CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A TRADE PAYMENT. RECORD DRAWINGS SHALL BE PROVIDED AFTER CONSTRUCTION IS COMPLETED.

8. ALL CONSTRUCTION SHALL BE SHIELDED BY CONSTRUCTION FENCING.

9. THE CITY INSPECTOR ACTING ON BEHALF OF THE CITY DEPARTMENT OF PUBLIC WORKS MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT PRIOR TO BEING USED IN CONSTRUCTION.

10. THE STRUCTURAL SECTION SHALL BE BASED ON SOIL TESTS TAKEN AT THE TIME OF CONSTRUCTION AND USING A TRADE INDEX PROVIDED BY THE CITY OF SAN LUIS OBISPO.

11. HYDRONEGROZING OR OTHER PERMANENT EROSION CONTROL MEASURES SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES (DENSIFIED) AND ON ALL EXPOSED SOIL SURFACES. THE CONTRACTOR SHALL NOT ALLOW EROSION CONTROL MEASURES TO BE REMOVED UNTIL THE DEPARTMENT HAS APPROVED THE EROSION CONTROL PLAN.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE GROUND SURFACE AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SURVEY TO SHOW ON THIS PLAN AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION. THIS SURVEY MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.

13. HYDROCARBON TESTS SHALL BE MADE ON SUBGRADE MATERIAL, AGGREGATE BASE MATERIAL, AND MATERIAL AS SPECIFIED BY THE ENGINEER. SOIL TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT.

14. RECORD DRAWINGS OR "AS-BUILT" PLANS ARE REQUIRED FOR ALL WORK IN THE PUBLIC ROW OR WITHIN CITY EASEMENTS AT THE COMPLETION OF THE PROJECT CITY STANDARDS AND CITY STANDARD SPECIFICATIONS. THE RECORD DRAWINGS SHALL BE SUBMITTED AND ACCEPTED BY THE CITY PRIOR TO FINAL INSPECTION APPROVAL AND/OCCUPANCY OF ANY BUILDING OR STRUCTURE.

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76. ALL SURFACE AND SUBSURFACE DRAINAGE SYSTEMS DESIGNED AT LESS THAN 2% SHALL HAVE FINAL GRADIENTS CERTIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER PRIOR TO FINAL INSPECTION.

77. THE PUBLIC IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETE TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR PRIOR TO FINAL INSPECTION APPROVAL AND/OCCUPANCY OF ANY BUILDING OR STRUCTURE.

78. "RECORD DRAWINGS" OR "AS-BUILT" PLANS ARE REQUIRED FOR ALL WORK IN THE PUBLIC ROW OR WITHIN CITY EASEMENTS AT THE COMPLETION OF THE PROJECT CITY STANDARDS AND CITY STANDARD SPECIFICATIONS. THE RECORD DRAWINGS SHALL BE SUBMITTED AND ACCEPTED BY THE CITY PRIOR TO FINAL INSPECTION APPROVAL AND/OCCUPANCY OF ANY BUILDING OR STRUCTURE.

79. STORMWATER AND DRAINAGE SYSTEM CERTIFICATION IS REQUIRED FROM THE ENGINEER OF RECORD PRIOR TO THE FINAL INSPECTION APPROVALS. THE ENGINEER SHALL CERTIFY THAT THE DRAINAGE AND STORMWATER SYSTEMS MEET THE CITY STANDARDS AND CITY STANDARD SPECIFICATIONS. THE DRAINAGE REPORT, SYSTEM DESIGN, AND APPROVED PLANS, INCLUDING ALL FINAL ELEVATIONS, COORDINATES, AND GRADES, SHALL BE SUBMITTED TO THE CITY. PARKING LOT'S DETERMINATION, DRAIN PIPE, INLETS W/ELEVATIONS AND OFFICES.

80. ALL SURFACE AND SUBSURFACE DRAINAGE SYSTEMS DESIGNED AT LESS THAN 2% SHALL HAVE FINAL GRADIENTS CERTIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER PRIOR TO FINAL INSPECTION.

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86. ALL SURFACE AND SUBSURFACE DRAINAGE SYSTEMS DESIGNED AT LESS THAN 2% SHALL HAVE FINAL GRADIENTS CERTIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER PRIOR TO FINAL INSPECTION.

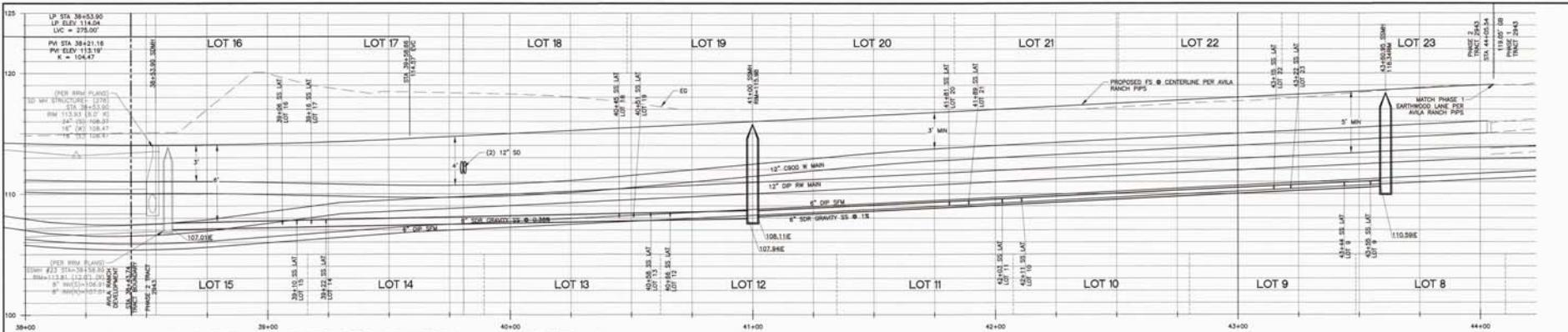
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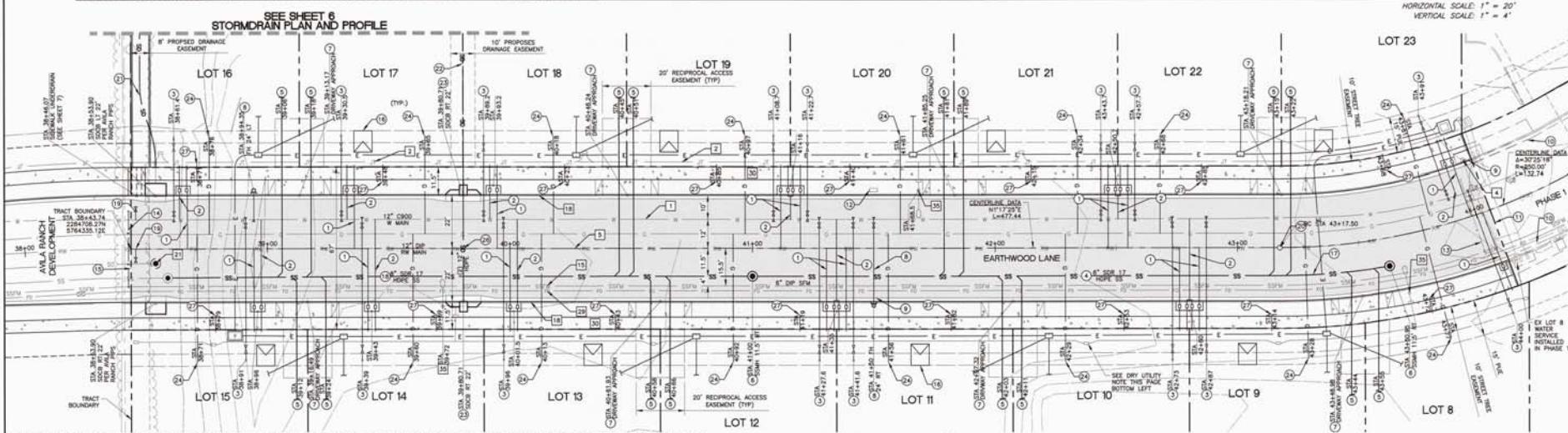
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90. "RECORD DRAWINGS" OR "AS-BUILT" PLANS ARE REQUIRED FOR ALL WORK IN THE PUBLIC ROW OR WITHIN CITY EASEMENTS AT THE COMPLETION OF THE

RESOLUTION NO. 10046 2008 SERIES <p>WHEREAS, the Planning Commission of the City of San Luis Obispo conducted a public hearing in the Council Chamber of City Hall, 990 Palm Street, San Luis Obispo, California, on October 22, 2008, for the purpose of considering TR/ER 74-07, a tentative tract map subdividing a 13.5 acre site into 23 commercial lots; and</p> <p>Section 1. Findings. Based upon all the evidence, the Commission makes the following findings in support of the tentative tract map:</p> <ol style="list-style-type: none"> The design of the tentative tract map is consistent with the General Plan because the proposed parcel configuration is consistent with the building intensity anticipated by the Land Use Element, will not increase traffic in residential areas, and does not change allowable land uses. The site is physically suited for the proposed type and density of development because 143 & 151 Suburban are already developed with several large commercial buildings, parking, and landscaping, and 163 Suburban is a vacant commercial site located adjacent to an existing street right-of-way with complete City services. The design of the tentative tract map is not likely to cause serious health problems, substantial environmental damage, or substantially and unavoidable injury to fish or wildlife or their habitat because the site does not have any creeks or other potentially-significant habitat areas for fish and wildlife, is surrounded by urban development, and has already been developed with several large commercial buildings, parking, and landscaping. The design of the subdivision will not conflict with easements for access through (or use of property within) the proposed subdivision since all adjacent properties are accessed independently and the resulting parcels will have separate street frontage and access from Suburban Road and Earthwood Lane. The property to be divided is of such size or shape, or is affected by such topographic conditions, that it is impossible, impractical, or undesirable, in this particular case, to conform to the strict application of the regulations defined in the Subdivision Ordinance because the vacant portion of the site adjacent to Suburban Road has an irregular (narrow) shape that constrains the ability to provide for a standard street section and conforming lot depths. The cost to the subdivider of strict literal compliance with the regulations is not the sole reason for granting the modification because other findings are made to support approval and the exceptions are minor in nature and constitute only 2 out of 23 lots. The modification will not be detrimental to the public health, safety, and welfare, or be injurious to other properties in the vicinity, since the exceptions will allow for a complete standard street section that will provide for adequate emergency vehicle access. Granting the modification is in accord with the intent and purposes of these regulations, and is consistent with the General Plan and with all applicable specific plans or other plans of the City, because the exceptions will facilitate the construction of a complete street section consistent with the AASP and does not grant special privileges or modify allowable land uses within the existing M-SP zoning district. A Mitigated Negative Declaration was prepared by the Community Development Department on September 15, 2008. The Planning Commission finds and determines that the project's Mitigated Negative Declaration adequately addresses the potential significant environmental impacts of the proposed project. <p>Section 2. Environmental Review. The Planning Commission does hereby recommend adoption of the proposed Mitigated Negative Declaration with incorporation of the following mitigation measures:</p> <p>Mitigation Measures:</p> <p>Air Quality</p> <ol style="list-style-type: none"> The project site is located in a candidate area for Naturally Occurring Asbestos (NOA), which has been identified as a toxic air contaminant by the California Air Resources Board (ARB). Under the ARB Air Toxic Control Measure (ATCM) for Construction, Quarrying, and Surface Mining Operations, prior to any grading activities at the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, an exemption request must be filed with APCD. If NOA is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM. Construction activities can generate fugitive dust, which could be a nuisance to local residents and businesses in close proximity to the proposed construction site. The following mitigation measures will adequately control dust and minimize potential violations for the project. All of those fugitive dust (PM10) mitigation measures must be included on grading and paving plans. In addition, the contractor is required to provide a plan to minimize the amount of dust and to order additional waterings as necessary to prevent transport of dust off site. Their details shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD prior to land use clearance for map recording and grading. <ol style="list-style-type: none"> Reduce the amount of the disturbed area where possible. Use water truck or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water shall be used whenever possible. All dirt stock-piles surface should be sprayed daily as needed. Permanent dust control measures identified in the approved project revegetation and landscape plan shall be implemented as soon as possible following completion of any soil-disturbing activities. All disturbed soil areas not subject to re-vegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods as determined by the APCD. Vehicle speed for all vehicles shall not exceed 15 mph on any unpaved surface at the site. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC section 23114. Exposed ground areas that are planned to be re-vegetated at dates greater than one month after initial grading should be sown with a fast-growing grass species. Plant shade trees along south-facing open areas to reduce summer cooling needs as well as planting trees on both sides of the roads to reduce the radiating heat of asphalt roads. Install wheel washers where vehicles enter and exit unpaved roads onto streets or wash off trucks and equipment leaving the site. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible. The standard construction equipment mitigation measures for reducing nitrogen oxide (NOx) emissions are listed below and in section 6.3.1 of the Air Quality Handbook. These measures are applicable to all projects where construction equipment will be used. <ol style="list-style-type: none"> Maintain all construction equipment in proper tune according to manufacturer's specifications. Fuel all off-road and portable diesel powered equipment with ARB certified motor vehicle diesel fuel (non-tax'd version suitable for use off-road). Maximize, to the extent feasible, the use of diesel construction equipment meeting ARB's 1996 and newer certification standard for off-road heavy-duty diesel engines. Maximize, to the extent feasible, the use of on-road heavy-duty equipment and trucks that meet the ARB's 1998 or newer certification standard for on-road heavy-duty diesel engines. All on and off-road diesel equipment shall not be allowed to idle for more than 5 minutes. Signs shall be posted in the designated queuing areas and/or job sites to remind drivers and operators of the 5-minute idling limit. Develop a comprehensive Construction Activity Management Plan for the future development of the individual lots (not the roadway and other public improvements) designed to minimize the amount of large construction equipment operating during any given time period. The plan shall be submitted to the APCD for review and approval prior to the start of construction. The plan shall include, but not be limited to, the following elements: <ol style="list-style-type: none"> Schedule construction truck trips during non-peak hours to reduce peak-hour emissions. <p>b. Limit the length of the construction work-day period if necessary. c. Phase construction activities if appropriate.</p> <p>5. APCD has determined the operational impacts of the project through the use of URBEMIS2007 computer model, a tool for estimating vehicle travel, fuel use, and the resulting emissions related to this project's land uses. The results of the model using conservative County average trip distances demonstrated that the operational impacts will likely exceed APCD's CEQA Tier I significant threshold value of 10 lbs./day for NOx, reactive organic gases (ROG), and PM10. As a result of this estimated threshold exceedance, this project must implement all applicable Standard Mitigation Measures and at least 10 Discretionary Mitigation Measures listed below.</p> <p>Standard Mitigation Measures (All Required)</p> <ol style="list-style-type: none"> Provide on-site bicycle parking at a rate of one bicycle parking space for every 10 car parking spaces. Provide on-site eating, refrigeration, and food vending facilities to reduce employee lunchtime trips. Provide preferential carpool and vanpool parking spaces. Provide shower and locker facilities to encourage employees to bike and/or walk to work, typically one shower and three lockers for every 25 employees. Increase the building energy efficiency rating by 10% above what is required by Title 24 requirements. This can be accomplished in a number of ways (increasing attic, wall, or floor insulation, installing double-pane windows, using efficient interior lighting, etc.). <p>Discretionary Mitigation Measures (At Least 10 Required)</p> <ol style="list-style-type: none"> Provide on-site bicycle parking at a rate of one bicycle parking space for every 10 car parking spaces. Provide shade tree planting in parking lots to reduce evaporative emissions from parked vehicles. Provide on-site banking (ATM) and postal services. Provide on-site child care facilities for employees. Provide on-site housing for employees. Implement on-site circulation design elements in parking lots to reduce vehicle queuing and improve the pedestrian environment. Provide pedestrian signalization and signage to improve pedestrian safety. If the project is located on an established transit route, improve public transit accessibility by providing a transit turnout with direct pedestrian access to the project or improve existing transit stop amenities. Provide incentives to employees to carpool/vanpool, take public transportation, telecommute, walk, bike, etc., by implementing the Transportation Choices Program. The applicant should contact SLO Regional Rideshare at 541-2277 to receive free consultation services on how to start and maintain a program. Provide Transportation Choices Program information centers on alternative transportation modes at the site (i.e. a transportation kiosk). Contact SLO Regional Rideshare for appropriate materials at 541-2277. Install an electric vehicle charging station with both conductive and inductive charging capabilities. Employ or appoint an Employee Transportation Coordinator. Implement a City-approved Trip Reduction Program. Provide for shared/mutual transit. Improve the quality of existing bicycle routes/lanes or add bicycle routes/lanes which access the project. Implement compressed work schedules. Implement a telecommuting program. Implement a lunch-time shuttle to reduce single-occupant vehicle trips. Participate in an employee "flash pass" program, which provides free travel on transit buses. Include teleconferencing capabilities, such as web cams or satellite linkage, which will allow employees to attend meetings from remote locations. If the development is a large grocery store or large retail facility, provide home delivery service for customers. Shade tree planting along southern exposures of buildings to reduce summer cooling needs. Use roof material with a solar reflectance value meeting the EPA/DOE Energy Star® rating to reduce summer cooling needs. Use built-in-energy-efficient appliances where applicable. Use low-energy parking lot and street lights (e.g. sodium). Use energy-efficient interior lighting. Use low-energy traffic signals (e.g. light emitting diode). Install door sweeps or weather striping if more energy-efficient doors and windows are not available. Install high-efficiency or gas space heating. Replace diesel fleet vehicles with cleaner fueled low-emission vehicles (e.g. school buses, transit buses, on and off-road heavy-duty vehicles, light-duty trucks and passenger vehicles). Retrofit existing equipment to reduce emissions through methods such as catalyzed diesel particulate filters, diesel oxidation catalysts, or other approved technologies. <p>➢ Monitoring Program: Construction phase air quality mitigation measures are monitored by the Air Pollution Control District (APCD), through a complaint-based enforcement system. Plans submitted for a building or grading permit must be accompanied with all required APCD applications and show compliance with the following listed requirements. The City Building Inspector and Public Works Inspector for the project are instructed to contact APCD in the event of a probable violation. Members of the public can also call APCD if they are concerned about dust or other emissions from a construction site.</p> <p>Geology and Soils</p> <ol style="list-style-type: none"> Building plans and specifications for common tract improvements shall incorporate all recommendations included in the Soils Engineering Report prepared by Earth Systems Pacific dated May 8, 2007, subject to the approval of the Chief Building Official. Soils engineering reports shall be submitted with each building permit application for individual lot developments subject to the approval of the Chief Building Official. <p>➢ Monitoring Program: Project plans submitted for building permits will be reviewed for compliance with these requirements by Community Development Department staff.</p> <p>Section 3. Recommendation. The Planning Commission does hereby recommend to the City Council approval of application TR/ER 74-07 with incorporation of the following conditions and code requirements into the project:</p> <p>Conditions:</p> <ol style="list-style-type: none"> The use of well water for irrigation purposes from the existing well on Lot 1 to serve Lots 22 and 23 is not allowed per City policy. Policy L1.5.1 in the Water and Wastewater Element of the General Plan contains provisions that may allow a single well on either Lot 22 or Lot 23 to serve the irrigation needs of both lots, subject to approval by the Utilities Director. Install wheel washers where vehicles enter and exit unpaved roads onto streets or wash off trucks and equipment leaving the site. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible. The standard construction equipment mitigation measures for reducing nitrogen oxide (NOx) emissions are listed below and in section 6.3.1 of the Air Quality Handbook. These measures are applicable to all projects where construction equipment will be used. <ol style="list-style-type: none"> Maintain all construction equipment in proper tune according to manufacturer's specifications. Fuel all off-road and portable diesel powered equipment with ARB certified motor vehicle diesel fuel (non-tax'd version suitable for use off-road). Maximize, to the extent feasible, the use of diesel construction equipment meeting ARB's 1996 and newer certification standard for off-road heavy-duty diesel engines. Maximize, to the extent feasible, the use of on-road heavy-duty equipment and trucks that meet the ARB's 1998 or newer certification standard for on-road heavy-duty diesel engines. All on and off-road diesel equipment shall not be allowed to idle for more than 5 minutes. Signs shall be posted in the designated queuing areas and/or job sites to remind drivers and operators of the 5-minute idling limit. Develop a comprehensive Construction Activity Management Plan for the future development of the individual lots (not the roadway and other public improvements) designed to minimize the amount of large construction equipment operating during any given time period. The plan shall be submitted to the APCD for review and approval prior to the start of construction. The plan shall include, but not be limited to, the following elements: <ol style="list-style-type: none"> Schedule construction truck trips during non-peak hours to reduce peak-hour emissions. <p>b. Pursuant to Government Code Section 66474.9(b), the subdivider shall defend, indemnify, and hold harmless the City and/or its agents, officers, and employees from any claim, action, or proceeding against the City and/or its agents, officers, or employees to assess, set aside, void, or annul the approval by the City of this subdivision, and all actions relating thereto, including but not limited to environmental review.</p> <p>3. The proposed project shall comply with post-development stormwater treatment in accordance with City Standard 1010B. Include complete details, detail references, and plan notes for the proposed BMPs and improvements necessary to provide reasonable stormwater treatment. Revise the site plan, civil plans, utility plans, and landscape plans to recognize all proposed treatment measures. The plans may include but are not limited to infiltration, detention and settling, biofiltration, filtration, and flow-through separation.</p> <p>4. The new draft Water Quality Board State Construction Permit requires dischargers to replicate the pre-project runoff water balance (for this permit, defined as the amount of rainfall that ends up as runoff) for the smallest storms up to the 85th percentile storm event (or the smallest storm event that generates runoff, whichever is larger). Depending upon the time of application to record the parcel map and/or timing to complete the construction of public improvements, the project may be subject to the new Board regulations.</p> <p>5. A separate covenant agreement to install the ultimate street improvements upon the continuation of the street shall be recorded in conjunction with the recodification of the map. The public improvement plans shall include any additional detailing required to complete said future improvements.</p> <p>Code Requirements:</p> <p>The following code requirements are included for information purposes only. They serve to give an applicant a general idea of other City requirements that will apply to the project. This is not intended to be an exhaustive list as other requirements may be identified during the plan check process. The project is subject to all requirements in effect at the time of the building permit or map vesting date.</p> <ol style="list-style-type: none"> Any building permits issued for work required to satisfy the conditions of the subdivision shall receive final inspection approvals or shall have substantially completed all work to the satisfaction of the Building Official prior to recordation of the map. The address of the hammerhead fire apparatus turn-around on Earthwood shall be posted "No Parking Fire Lane." A complete subdivision improvement plan, prepared by a registered civil engineer, shall be submitted to the Public Works Department for review and approval. All grades, layouts, staking and cut-sheets necessary for the construction of street paving and frontage improvements shall be the responsibility of the developer. The subdivision improvement plan shall include all public and private subdivision improvements in accordance with the tentative map, conditions of approval, the Subdivision Map Act, City Subdivision Regulations, Airport Area Specific Plan, and all local codes and ordinances. New wire utilities outside the subdivision boundaries, but necessary to provide service to the subdivision shall be completed with no net increase in the number of utility poles unless otherwise approved by the Public Works Department. Separate utilities, including water, sewer, gas, electricity, telephone, and cable TV shall be served to each parcel to the satisfaction of the Public Works Director and serving utility companies. Utilities to new or existing structures shall be underground unless otherwise excepted by City ordinance. Street lighting and all associated facilities, including conduits, sidewalk vaults, fusing, wiring, and luminaries, shall be provided on the westerly side of the proposed driveway approach per City Standards. The light shall be spaced to honor the existing street light locations and to provide reasonable separation between the existing lights. Off-street street lighting improvements, alterations, or upgrades may be required along roadways leading to and from the proposed development to complete the necessary public improvements. The existing driveway approaches located along the frontage of proposed Parcel 23 and serving the existing development shall be upgraded or replaced to comply with current City and ADA standards. Current standards require a minimum 4' level sidewalk extension behind the driveway approach. A public pedestrian easement shall be recorded with the map if adequate right-of-way does not exist for any proposed ADA sidewalk extension that will occur on private property and outside the existing public right-of-way. The subdivider shall dedicate a 15' wide public utility easement and a 10' wide street tree easement across the frontage of each parcel. These easements shall be adjacent to and contiguous with all public right-of-way lines bordering each parcel. A private sewer mainline may be proposed in lieu of separate sewer laterals for each unit. If proposed or required by the Utilities Director, the on-site sewer main shall be privately owned and maintained by the Homeowner's Association. A maintenance agreement for any private utilities, paving, landscape improvements, storm drain systems, detention basins, and any other common improvements, must be recorded prior to or concurrent with the recodification of the map. The public improvement plan submittal shall include an erosion control plan and erosion control notes in accordance with the Waterways Management Plan Drainage Design Manual and to the satisfaction of the Building Official and Public Works Director. EPA Requirement: General Construction Activity Storm Water Permits are required for all stormwater discharges associated with a construction activity where clearing, grading, and excavating results in land disturbance of one or more acres. Stormwater discharges of less than one acre, but which is part of a larger common plan of development or sale, also require a permit. Permits are required until the construction is completed. To be covered by a General Construction Activity Permit, the owners of land where construction activity occurs must submit a completed "Notice of Intent" (NOI) form, with the appropriate fee, to the State Water Resources Control Board (SWRCB). A copy of the Stormwater Pollution Prevention Plan (SWPPP) required by the SWRCB shall be included as part of the building and/or grading permit plan submittal. The WIDH Number issued by the Board shall be noted on all plans that involve regulated land disturbing activities. The proposed street trees and any parkway landscaping shall be installed and maintained by the Property Owner Association or shall otherwise be covered by a maintenance agreement to be recorded prior to or concurrent with the recodification of the map. The maintenance agreement shall include watering of the trees and common area landscape, at least during the establishment period and/or until responsibility may be reasonably transferred to the adjoining property owner(s). Tree protection measures must be implemented to the satisfaction of the City Arborist. The City Arborist shall review and approve the proposed tree protection measures prior to any demolition, grading, or construction. The City Arborist must approve any safety pruning, the cutting of substantial roots, or grading within the drip-line of trees. A City-approved arborist must complete safety pruning. Any required tree protection measures shall be noted on the public improvement plans. Contact the City Arborist at 781-7023 to review and to establish preservation measures to be included with the public improvement plan submittal. <p>TRACT 2943 EARTHWOOD LANE SAN LUIS OBISPO, CA</p> <p>GARING, TAYLOR & ASSOCIATES, INC. CIVIL ENGINEERS - SURVEYORS - PLANNERS 141 SOUTH ELM STREET - ARROYO GRANDE, CA 93420 - (805) 493-1321</p> <table border="1"> <tr> <td>REVISIONS</td> <td>APPROVAL</td> <td>PUBLIC IMPROVEMENT PLANS FOR:</td> </tr> <tr> <td>DATE</td> <td>DESCRIPTION</td> <td>ENGR/CITY</td> </tr> <tr> <td>No. 78107</td> <td></td> <td></td> </tr> <tr> <td>3/22/2021</td> <td></td> <td></td> </tr> <tr> <td>DRAWN BY:</td> <td></td> <td></td> </tr> <tr> <td>AJC</td> <td></td> <td></td> </tr> <tr> <td>CHECKED BY:</td> <td></td> <td></td> </tr> <tr> <td>PDM</td> <td>JOB NO.</td> <td>CITY FILE NO.</td> </tr> <tr> <td></td> <td>20-822</td> <td>FMAP-0202-2020</td> </tr> <tr> <td>SHEET</td> <td></td> <td></td> </tr> <tr> <td>2 of 8</td> <td></td> <td></td> </tr> </table>		REVISIONS	APPROVAL	PUBLIC IMPROVEMENT PLANS FOR:	DATE	DESCRIPTION	ENGR/CITY	No. 78107			3/22/2021			DRAWN BY:			AJC			CHECKED BY:			PDM	JOB NO.	CITY FILE NO.		20-822	FMAP-0202-2020	SHEET			2 of 8		
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EARTHWOOD LANE PROFILE - PHASE 2



CONSTRUCTION NOTES "BY OTHERS" (REFERENCE RRM AVILA RANCH - PHASE

SHOWN FOR REFERENCE ONLY. SURFACE IMPROVEMENTS, WATER MAIN, RECYCLED WATER, SEWER FORCE MAIN, FIBER OPTICS, AND JOINT TRENCH CONSTRUCTED PER AVILA RANCH PLANS. REFERENCE THIS PERMIT SET FOR UTILITY LATERAL INSTALLATION & DRIVEWAYS FOR TRACT 2943 LOTS.

- 1. INSTALL 12" CGHD WATER MAIN PER AVILA RANCH PUBLIC IMPROVEMENT PLANS
 - 2. INSTALL JOINT TRENCH PER AVILA RANCH PUBLIC IMPROVEMENT PLANS
 - 3. CONSTRUCT 4" FIRE HYDRANT ASSEMBLY FOR PER AVILA RANCH PUBLIC IMPROVEMENT PLANS. (HYDRANT INSTALLED CONCRETE PAD REQUIRED FOR CITY OF SLO)
 - 4. INSTALL 12" CLASS 350 DIP RECYCLED WATER MAIN PER AVILA RANCH PUBLIC IMPROVEMENT PLANS
 - 5. INSTALL 6" DIP 55' PER AVILA RANCH PUBLIC IMPROVEMENT PLANS
 - 6. CONSTRUCT 6" CURB AND 18" GUTTER PER AVILA RANCH PUBLIC IMPROVEMENT PLANS
 - 7. INSTALL STORM DRAIN MANHOLE (24" PIPE AND LARGER) PER CITY OF SAN LUIS OBISPO STANDARD DRAWING NUMBER 352D.
 - 8. INSTALL 2" CONDUIT AND FIBER OPTIC PER AVILA RANCH PUBLIC IMPROVEMENT PLANS
 - 9. CONSTRUCT SIDEWALK PER AVILA RANCH PUBLIC IMPROVEMENT PLANS
 - 10. INSTALL STREET LIGHT FOR AVILA RANCH PUBLIC IMPROVEMENT PLANS. VERIFICATION WITH THESE DRAWINGS IS REQUIRED. STREET LIGHTS ARE PROVIDED BY THE CITY OF SLO. NO STREET LIGHTS ARE PROVIDED BY THE CITY OF SLO. DRY UTILITY NOTES ENCODED DRY UTILITY DRAWINGS ARE DETERMINED BY AVILA RANCH PER THE APPROVAL AVILA RANCH PLANS AND ARE SHOWN ON THE DRAWINGS. SEE REFERENCE ONLY.

EROSION CONTROL NOTE: SEE AVILA RANCH PLANS (TMAP-1543-2016) FOR ROADWAY EROSION CONTROL

PS CONSTRUCTION NOTES (CONSTRUCTED PER THIS PLAN SET - ERNIE BALL TRUST)

- ① CONSTRUCT 1" RECYCLED WATER SERVICE CONNECTION PER CITY OF SLO STANDARDS 6210 & 6230.

② CONSTRUCT 2" WATER SERVICE CONNECTION PER CITY OF SLO STANDARDS 6210 & 6230. INSTALL BACK FLOW PREVENTER DUE TO PROXIMITY OF RECYCLED WATER.

③ CONSTRUCT 4" FIRE SERVICE CONNECTION PER CITY OF SLO STANDARDS 6420 & 6530.

④ CONSTRUCT NEW FUSELAGE SIZE HOSE SEWER LINE FOR THE CITY OF SLO STANDARDS AND SPECIFICATIONS, SIZE PER PLAN.

⑤ CONSTRUCT NEW 4" PVC SEWER LATERAL PER THE CITY OF SLO STANDARD 6810.

⑥ CONSTRUCT NEW SEWER MANHOLE PER CITY OF SLO STANDARD 6810.

⑦ PROPOSED LOCATION OF DRAWDOWN PER CITY OF SLO STANDARD 2110 AND 2120. 20' WIDE, COORDINATE WITH CITY TO DETER CONSTRUCTION UNTIL LOT BUILD OUT.

⑧ CONSTRUCT FIRE HYDRANT ASSEMBLY PER CITY OF SLO STANDARD 6510.

⑨ PAINT RED CURB AT FIRE HYDRANT TO BE EXTENDED 15' ON EITHER SIDE.

⑩ REMOVE TEMPORARY RED PAINT "NO PARKING FIRE LANE".

⑪ SAN CUT LINE TO BE IN COMPETENT MATERIAL.

⑫ MABLIK KIDS PER USGS AND CITY STANDARDS. LOCATION TO BE COORDINATED WITH CITY.

⑬ REMOVE AND RELOCATE BARRICADE FENCE TO STA 38+44.48.

⑭ DEMOLISH RELOCATED ENTRANCE FENCE AND PEDESTRIAN BARRICADES PER SLO CITY STANDARDS 6240.

⑮ REMOVAL SECTION OF EXISTING FENCING IN PROPOSED ROW WITH IN PROJECT BOUNDARY.

⑯ UTILITY PAD MOUNTED TRANSFORMER PER ELECTRICAL PLANS, REF. PG&E PLANS.

⑰ CONSTRUCT 6" SDR 17 HOPE SEWER.

⑱ CONSTRUCT 8" SDR 17 HOPE SEWER.

⑲ CONSTRUCT BLOW-OFF ASSEMBLY PER SLO CITY STANDARD 6350.

⑳ INSTALL E. MORNMENT PER SLO CITY STANDARD 8020.

㉑ CONSTRUCT 18" HOPE STORM DRAIN.

㉒ CONSTRUCT 24" HOPE STORM DRAIN.

㉓ CONSTRUCT CATCH BASIN PER SLO CITY STANDARD 3350.

㉔ EXTENDED SIDE OPENING 14" PER STANDARD 3360.

㉕ CONSTRUCT GAS LATERAL.

㉖ WATERLINE CROSSING PER DETAIL SHEET #.

㉗ CONSTRUCT 2(2) 12" HOPE STORM DRAIN.

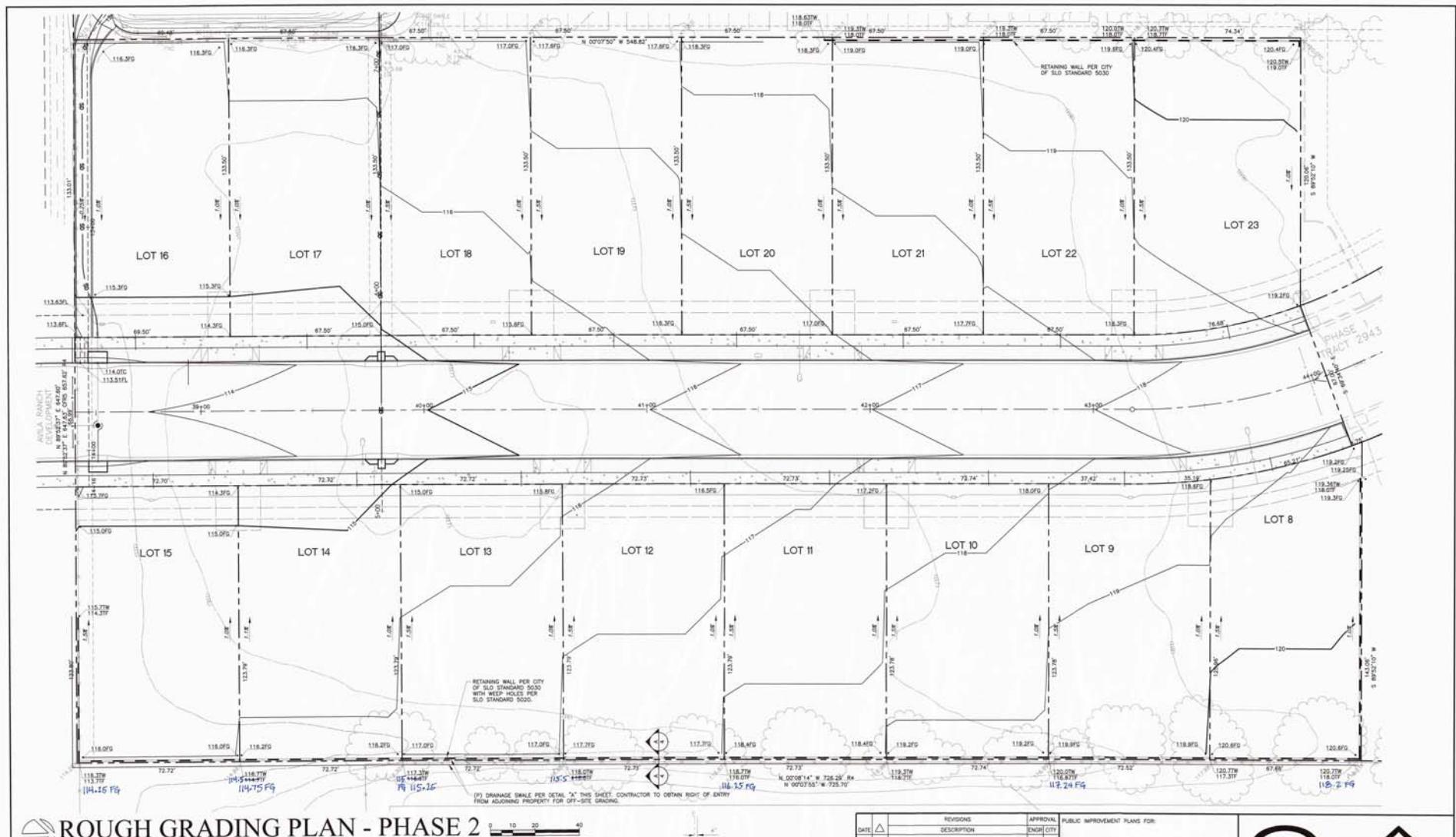
㉘ INSTALL PIRATION 1" PVC SLEEVE PER SLO CITY STANDARD 6210.



 EARTHWOOD LANE UTILITY PLAN - PHASE 2

9 19 29 40

DATE	REVISIONS	APPROVAL	PUBLIC IMPROVEMENT PLANS FOR:	TRACT 2943 EARTHWOOD LANE SAN LUIS OBISPO, CA
	DESCRIPTION	ENGINEER CITY		
DRAWN BY: A. IC		CHECKED BY: P.D.M.	JOB NO. 20-822	CITY FILE NO. FMAP-0202-2020
				SHEET 3 OF 8

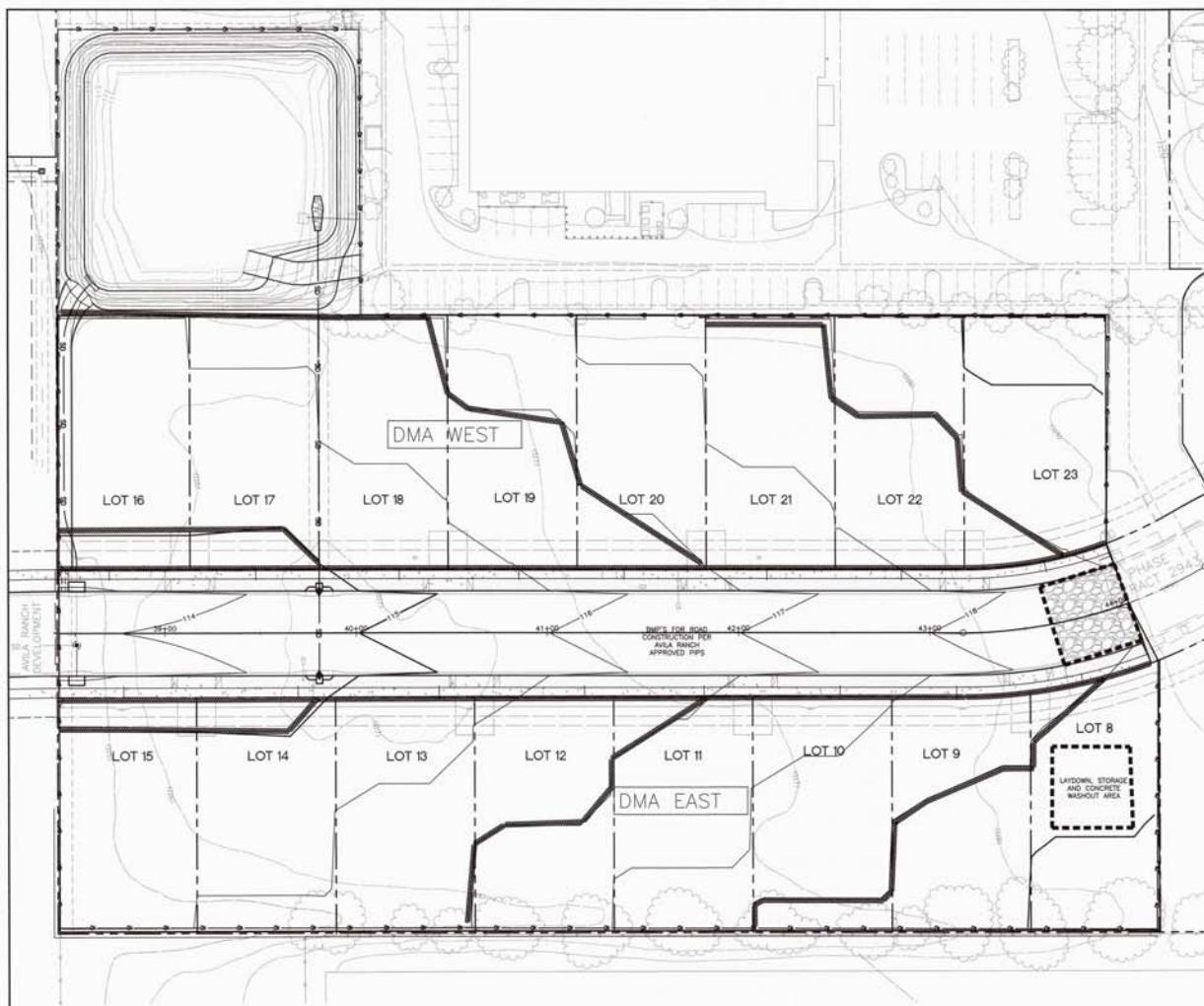


ROUGH GRADING PLAN - PHASE 2

EARTHWORK QUANTITIES

THE FOLLOWING QUANTITIES ARE APPROXIMATE AND ARE ADDED HERON FOR PERMIT PROCESSING ONLY. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THESE QUANTITIES AND TAKE THE NECESSARY MEASURES TO PERFORM THE WORK SHOWN ON THE PLANS. IF THE CONTRACTOR FINDS ANY DISCREPANCY WITH THE QUANTITIES SHOWN HEREON, HE SHOULD NOTIFY THE OWNER AND CONTRACTOR IN WRITING AND RESOLVE DISCREPANCIES PRIOR TO COMMENCING WORK SO THAT APPROPRIATE MODIFICATIONS CAN BE MADE. THIS PLAN DOES NOT INCLUDE OVER ELEVATION OR DEPRESSIONS OF SUBGRADE.

CUT = 5000 CUBIC YARDS MAY CUT = 2.0 FT
FILL = 3000 CUBIC YARDS MAY FILL = 2.0 FT



EROSION CONTROL PLAN

SCALE: 1" = 30'



REVISIONS
DATE: □
DESCRIPTION: □
APPROVING ENGINEER: □
CITY: □

PUBLIC IMPROVEMENT PLANS FOR:
TRACT 2943
TRATHWOOD LANE
SAN LUIS OBISPO, CA

DRAWN BY:
AJC

CHECKED BY:
PDM

JOB NO.: 20-822
CITY FILE NO.: FMAP-0202-2020

SHEET 5 OF 8

EROSION CONTROL NOTES

1. NO PROJECT CONSTRUCTION SHALL CAUSE THE CITY OF SLO TO BE IN A CONDITION WHERE IT IS VIOLATING ANY STATE OR LOCAL CONSTRUCTION AND WATER QUALITY ORDER NO. 2013-0001-000 WASTE DISCHARGE REQUIREMENTS FOR CONSTRUCTION ACTIVITIES AND STORMWATER POLLUTION PREVENTION SYSTEMS (GENERAL PERMIT), OR ANY SUCCESSOR PERMIT.

2. THE GRADING PERMIT HOLDER AND THE OWNER/DEVELOPER SHALL INSTALL EROSION AND POLLUTION CONTROL MEASURES IN COMPLIANCE WITH THE PROJECT SPECIFIC CONSTRUCTION POLLUTION PREVENTION PLAN AND SEDIMENT CONTROL PLAN (ESCP) APPROVED BY THE CITY OF SLO. BEST MANAGEMENT PRACTICES (BMP) TO REMOVE CONSTRUCTION DUST AND MAXIMIZE WATER AND ASSOCIATED POLLUTANTS OFF SITE SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION, EARTH MOVING AND GRADING PHASES OF THE PROJECT. A "STOP WORK" ORDER WILL NOT BE ISSUED DUE TO THE RELEASE OF A "STOP WORK" ORDER, WHICH WILL NOT BE RELEASED UNLESS SUCH TIME AS AN AGGREGATE OF DUST AND DIRT HAS BEEN REMOVED FROM THE SITE IN A MANNER PREVENTING THE MIGRATION OF DIRT AND DUST OFF SITE, IN A MANNER ACCORDING TO THE REQUIREMENTS OF THE BMP'S. DUST AND DIRT SHALL BE MAINTAINED DURING ALL CONSTRUCTION, EARTH MOVING, AND GRADING PHASES OF THE PROJECT. FAILURE TO DO SO WILL RESULT IN THE ISSUANCE OF A "STOP WORK" ORDER, WHICH WILL NOT BE REMOVED UNTIL SUCH TIME AS AN AGGREGATE PROGRAM IS IMPLEMENTED.

3. DURING THE CLEARING, EARTH MOVING AND GRADING PHASES OF THE PROJECT, WATER SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF VEHICULAR MOVEMENT DAMP ENOUGH TO PREVENT DUST RAISED FROM LEAVING THE SITE. AS A MINIMUM, WATER SPRINKLER SYSTEMS SHALL BE TURNED ON AT THE LATE MORNING HOURS AND AT THE CLOSE OF EACH DAY'S ACTIVITIES. INCREASED WATERING FREQUENCY WILL BE REQUIRED AS NECESSARY TO PREVENT DUST FROM LEAVING THE SITE.

4. DURING THE CONSTRUCTION PHASE OF THE PROJECT, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF VEHICULAR MOVEMENT DAMP ENOUGH TO PREVENT DUST RAISED FROM LEAVING THE SITE. AS A MINIMUM, WATER SPRINKLER SYSTEMS SHALL BE TURNED ON AT THE LATE MORNING HOURS AND AT THE CLOSE OF EACH DAY'S ACTIVITIES. INCREASED WATERING FREQUENCY WILL BE REQUIRED AS NECESSARY TO PREVENT DUST FROM LEAVING THE SITE.

5. ALL TRUCKS HAULING SOIL MATERIALS TO AND FROM THE SITE SHALL BE COVERED WITH A TARP TO PREVENT DUST FROM BLOWING OFF THE TRUCK.

6. ALL ALLEYWAYS, CIRCULATION ROUTES, HAUL ROUTES, STREETS AND SIDEWALKS SHALL BE MAINTAINED DRY AND FREE OF DUST AND DIRT. DUST AND DIRT UNACCEPTABLE TO THE CITY OF SLO AS A MINIMUM, DIRT AREAS SHALL BE CLEANED UP BY THE CONTRACTOR OR BUILDER AND MAINTAINED AS INDICATED BY CITY PERSONNEL. THE FLUSHING OF DIRT OR DEBRIS TO STORM DRAIN OR SANITARY SEWER SYSTEMS SHALL NOT BE PERMITTED. FAIR WEATHER DIRT AREAS CLEAN UP WILL RESULT IN THE ISSUANCE OF A "STOP WORK" ORDER, WHICH WILL NOT BE REMOVED UNTIL SUCH TIME AS THE AREA IS CLEANED IN A MANNER ACCORDING TO THE REQUIREMENTS OF THE BMP'S.

7. EARTH MOVING AND GRADING ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 6:00 P.M. MONDAY THROUGH FRIDAY, 8:00 AM AND 5:00 PM SATURDAY AND 8:00 AM AND 4:00 PM SUNDAY. DUST CONTROL PROGRAMS SHALL BE MAINTAINED DURING ALL CONSTRUCTION, EARTH MOVING, OR EXCAVATION PHASE. THE ENTIRE CONSTRUCTION, EARTH MOVING, OR EXCAVATION PHASE, DUST CONTROL PROGRAMS SHALL BE MAINTAINED TO PREVENT DUST FROM LEAVING THE SITE. ANY ONE OF THE FOLLOWING METRICS MAY BE USED TO DETERMINE THIS:

A) THE SEEDING AND OR WATERING OF THE SITE UNTIL SUCH TIME AS THE GROUND COVER HAS TAKEN ROOT.

B) THE MAINTAINING OF DUST COVERS.

C) THE WETTING DOWN OF THE AREA IN SUCH A MANNER AS TO CREATE A CRUST ON THE SURFACE AND THE PREVENTING SOIL FROM BLOWING.

8. THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING AS NECESSARY. THE CONTRACTOR OR BUILDER SHALL NOTIFY THE DUST CONTROL DUTY SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. ANY CHANGE IN THE DUST CONTROL PROGRAM LISTED BELOW SHALL BE REPORTED IMMEDIATELY TO THE CITY OF SLO COMMUNITY DEVELOPMENT DEPARTMENT AND PUBLIC WORKS DEPARTMENT.

NAME: _____ PHONE: _____
NAME: _____ PHONE: _____

9. ALL GRADING PERMITS REQUIRING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL ALSO REQUIRE AN ENCROACHMENT PERMIT FROM THE CITY OF SLO ENGINEERING DIVISION.

LEGEND

STORM DRAIN INLET PROTECTION	
FIBER ROLLS	
SILT FENCE	
STABILIZED CONSTRUCTION ENTRANCE	
AREA OF DISTURBANCE	
SAND/GRVEL BAG BARRIER	
HYDROSÆD	
SAMPLING LOCATION	
VEHICLE AND EQUIPMENT COATING	
VEHICLE AND EQUIPMENT FUELING	
VEHICLE AND EQUIPMENT MAINTENANCE	
WATER DELIVERY AND STORAGE	
SPILL PREVENTION AND CONTROL	
SOLID WASTE MANAGEMENT	
HAZARDOUS WASTE MANAGEMENT	
CONCRETE WASTE MANAGEMENT	
SHEDDED/SCATTERED WASTE MANAGEMENT	

HS-8 HS-9 HS-10
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SOLID WASTE MANAGEMENT
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WM-4 WM-5 WM-6
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WM-7 WM-8 WM-9

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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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WM-1 WM-2 WM-3
WM-4 WM-5 WM-6
WM-7 WM-8 WM-9

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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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HS-8 HS-9 HS-10
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WM-4 WM-5 WM-6
WM-7 WM-8 WM-9

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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
CONCRETE WASTE MANAGEMENT
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WM-1 WM-2 WM-3
WM-4 WM-5 WM-6
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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HS-8 HS-9 HS-10
WM-1 WM-2 WM-3
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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WM-1 WM-2 WM-3
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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SHEDDED/SCATTERED WASTE MANAGEMENT

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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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HS-8 HS-9 HS-10
WM-1 WM-2 WM-3
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SOLID WASTE MANAGEMENT
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
CONCRETE WASTE MANAGEMENT
SHEDDED/SCATTERED WASTE MANAGEMENT

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WM-4 WM-5 WM-6
WM-7 WM-8 WM-9

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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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SHEDDED/SCATTERED WASTE MANAGEMENT

HS-8 HS-9 HS-10
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WM-4 WM-5 WM-6
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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SHEDDED/SCATTERED WASTE MANAGEMENT

HS-8 HS-9 HS-10
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SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
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HS-8 HS-9 HS-10
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SOLID WASTE MANAGEMENT
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SHEDDED/SCATTERED WASTE MANAGEMENT

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WM-4 WM-5 WM-6
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WM-4 WM-5 WM-6
WM-7 WM-8 WM-9

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WM-4 WM-5 WM-6
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HAZARDOUS WASTE MANAGEMENT
CONCRETE WASTE MANAGEMENT
SHEDDED/SCATTERED WASTE MANAGEMENT

HS-8 HS-9 HS-10
WM-1 WM-2 WM-3
WM-4 WM-5 WM-6
WM-7 WM-8 WM-9

SPILL PREVENTION AND CONTROL
SOLID WASTE MANAGEMENT
HAZARDOUS WASTE MANAGEMENT
CONCRETE WASTE MANAGEMENT
SHEDDED/SCATTERED WASTE MANAGEMENT

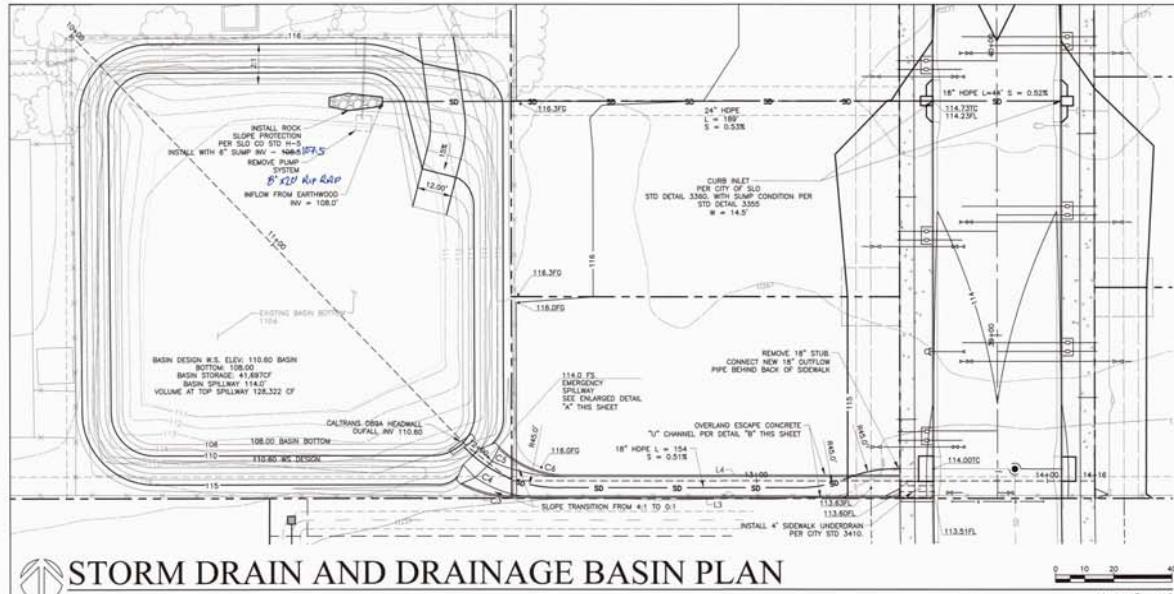
HS-8 HS-9 HS-10
WM-1 WM-2 WM-3
WM-4 WM-5 WM-6
WM-7 WM-8 WM-9

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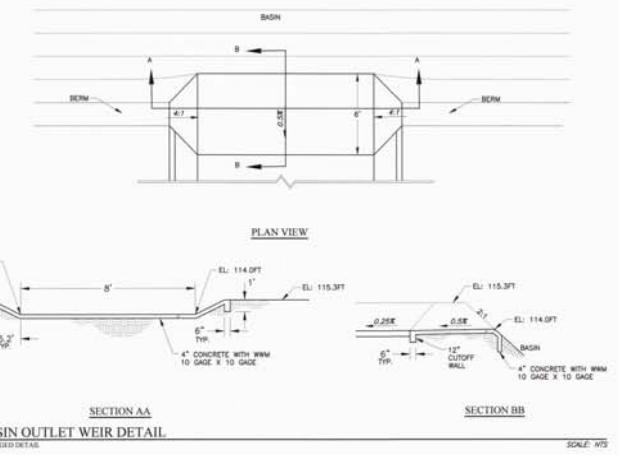
HS-8 HS-9 HS-10
WM-1 WM-2 WM-3
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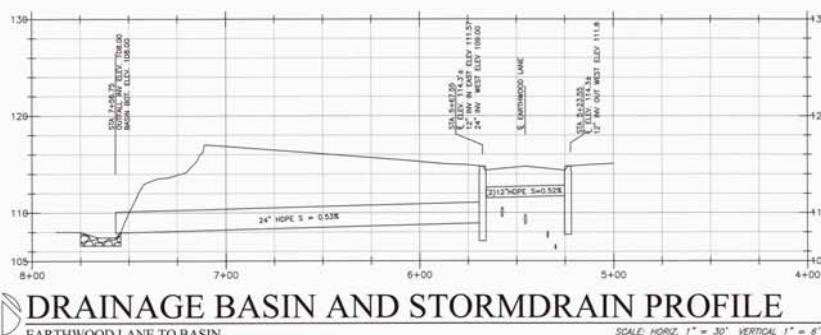
HS-8 HS-9 HS-10
WM-1 WM-2 WM-3
WM



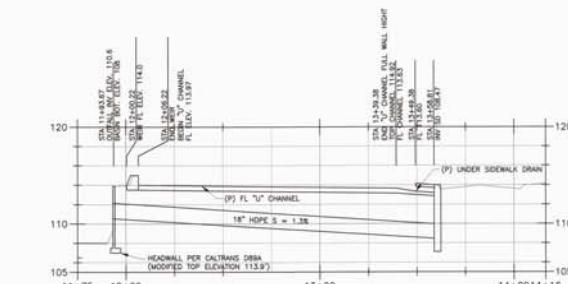
 STORM DRAIN AND DRAINAGE BASIN PLAN



SECTION AA



DRAINAGE BASIN AND STORMDRAIN PROFILE
EARTHWOOD LANE TO BASIN SCALE: HORIZ. 1" = 30' VERTICAL



 DRAINAGE BASIN AND SD PROFILE
BASIN TO EARTHWOOD LANE SCALE: HORIZ. 1" = 30' VERTICAL 1" = 6'

