



# LAPIDUS RESIDENCE

## 1156 PEACH STREET

### CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH:  
2019 CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2009 IBC)  
2019 CALIFORNIA RESIDENTIAL CODE (2009 IRC)  
2019 CALIFORNIA PLUMBING CODE (2009 UPC)  
2019 CALIFORNIA MECHANICAL CODE (2009 IMC)  
2019 CALIFORNIA ELECTRICAL CODE (2009 NEC)  
2019 CALIFORNIA ENERGY CODE (V.2008 SINCE 1/1/2010)  
2019 CALIFORNIA GREEN BUILDING CODE  
2019 CALIFORNIA FIRE CODE (2009 IFC)  
2019 CALIFORNIA REFERENCE STANDARDS CODE  
2019 CALIFORNIA HISTORICAL BUILDING CODE  
2019 CALIFORNIA EXISTING BUILDING CODE  
2013 CITY OF SAN LUIS OBISPO CONSTRUCTION & FIRE CODE  
CITY OF SAN LUIS OBISPO ZONING ORDINANCE, TITLE 17

### PLANNING DATA

<b>LOT COVERAGE: Max 50%</b>		
BLDG. FOOTPRINT	2,366 sf	47%
FLATWORK	136 sf	%
DRIVEWAY	316 sf	0%
LANDSCAPING	2180 SF	0%
<b>TOTAL</b>	<b>5,000 sf</b>	<b>11.9%</b>

### REQUIRED SETBACKS (17.18.020 Table 2-7)

FRONT YARD	22'
RIGHT SIDE YARD	5'
REAR YARD	5'
LEFT SIDE YARD	5'
MAX. BUILDING HEIGHT	35'

### GENERAL SITE INFORMATION

PROJECT ADDRESS:	1156 PEACH STREET SAN LUIS OBISPO, CA 93401
ASSESSOR'S PARCEL NUMBER:	002-315-016
LOT SIZE:	5,000 SF (0.11 ACRES)
COMMUNITY & PLANNING AREA:	MEDIUM DENSITY RESIDENTIAL
ZONING & LAND USE ELEMENTS:	R-2-H
AREA OF DISTURBANCE:	5,000 sqft
SITE PERCENT SLOPE:	5%

### BUILDING AREA

LOWER FLOOR	1845 square feet
UPPER FLOOR	1378 square feet
<b>TOTAL</b>	<b>3223 square feet</b>
GARAGE	459 square feet
COVERED PORCH	62 square feet

### DIRECTORY

OWNER OR APPLICANT:	IVAN AND JENNY LAPIDUS 15018 La Mada Street Encino, CA 91436 310-995-7017
ARCHITECT:	STEVEN PUGLISI ARCHITECTS, INC. 569 Higuera Street, Ste A San Luis Obispo, CA 93401 805-595-1962
CIVIL ENGINEER OF RECORD:	GARING, TAYLOR & ASSOCIATES, INC. 131 E Elm Street Arroyo Grande, CA, 93420 805-489-1021
LANDSCAPE ARCHITECT:	CONTOUR LANDSCAPE ARCHITECTURE 1375 Stafford Street, Apt A San Luis Obispo, CA 93405 805-748-6732
GEOTECHNICAL ENGINEER:	TBD

### PROJECT DESCRIPTION

SCOPE OF WORK:  
A PROPOSAL FOR A TWO-STORY, SINGLE FAMILY RESIDENCE WITH A 2-CAR GARAGE, FOR THE OWNERS, IVAN AND JENNY LAPIDUS. THE PROJECT SITE IS 0.11 ACRES AND LOCATED WITHIN THE CITY OF SAN LUIS OBISPO. THE EXISTING RESIDENTIAL STRUCTURE, 960 SQFT, AND SUPPORT SHED, 275 SQFT, WILL BE DEMOLISHED FOR NEW CONSTRUCTION. THE NEW RESIDENCE WILL CONSIST OF THREE BEDROOMS, FOUR BATHROOMS, LIVING ROOM, DEN, KITCHEN, DINING ROOM, GARAGE, SITTING ROOM AND A GREENHOUSE.

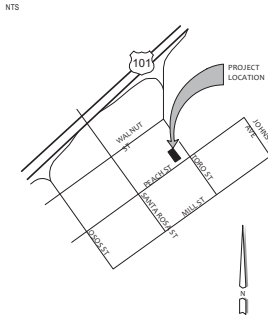
### DENSITY CALCULATION (17.24.020 TABLE 2-12)

MAX DENSITY: 12 DENSITY UNITS PER NET ACRE  
12 X 0.11 (PROPERTY ACREAGES) = 1.32

**ADDITIONAL REGULATIONS**  
(REGARDLESS OF THE DENSITY CALCULATION, AT LEAST TWO UNITS SHALL BE ALLOWED ON EACH PARCEL)

**TOTAL DENSITY: 2**  
ALLOWABLE UNITS  
Three bedroom dwelling = 1.5 units

### VICINITY MAP



### SHEET INDEX

P1.0	TITLE SHEET
P2.0	ARCHITECTURAL SITE PLAN
C1	PRELIMINARY GRADING AND DRAINAGE PLAN
L1	SCHEMATIC LANDSCAPE PLAN
P3.0	FLOOR PLAN - LOWER
P3.1	FLOOR PLAN - UPPER
P3.2	FLOOR PLAN - ROOF DECK
P4.0	EXTERIOR ELEVATIONS
P4.1	EXTERIOR ELEVATIONS
P5.0	SECTION
P6.0	COLOR AND MATERIALS
<b>11 TOTAL SHEETS</b>	



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**PROJECT:**  
**Lapidus Residence**  
1156 Peach Street  
San Luis Obispo, CA 93401  
Ivan Lapidus

**SHEET:**  
TITLE SHEET

### PROJECT STATISTICS:

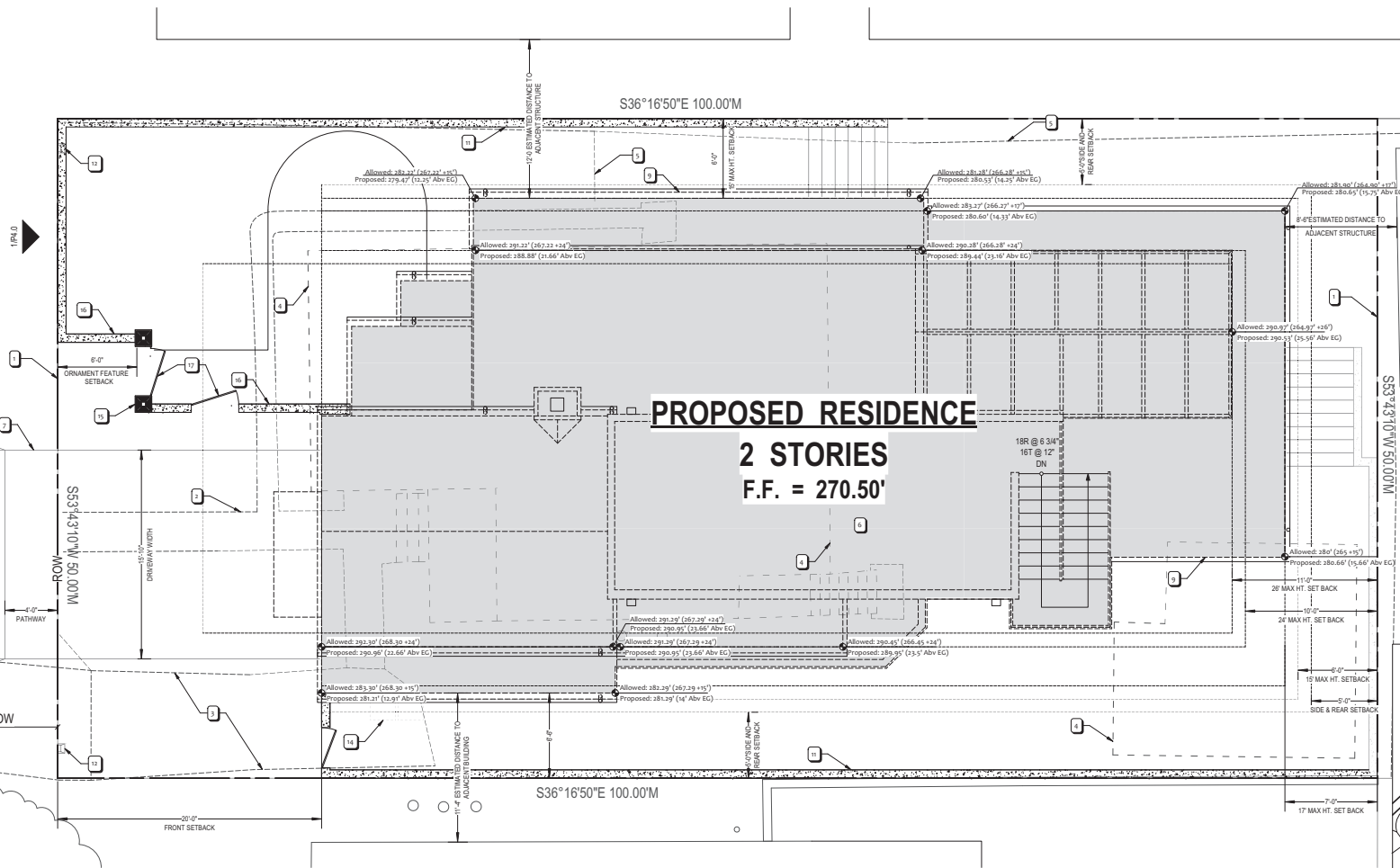
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DATE:	04/21
DRAWN:	CY
REV:	Rev Date 1
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### SHEET No

**P1.0**

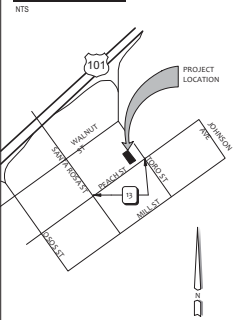
PEACH STREET



SITE PLAN REFERENCE NOTES

- 1 Property line
- 2 (E) Pavement to be demolished
- 3 (E) Driveway to be demolished
- 4 (E) Structure to be demolished
- 5 (E) Fence to be removed
- 6 Building footprint
- 7 (N) Concrete driveway and approach per Civil Plans
- 8 (N) Concrete curb/gutter per Civil Plans
- 9 Dashed line indicates roof line
- 10 (E) Power pole
- 11 (N) Retaining/Garden wall, refer to Civil Plans
- 12 (N) Storm drain inlets, refer to Civil Plans
- 13 (E) Fire Hydrant locations
- 14 Designated Trash location
- 15 Driveway location
- 16 Partial height wall at 30' AFF, see 1P4.0
- 17 Iron gate patio entry door

VICINITY MAP



ARCHITECTURAL SITE PLAN  
Scale: 1/4" = 1'-0"

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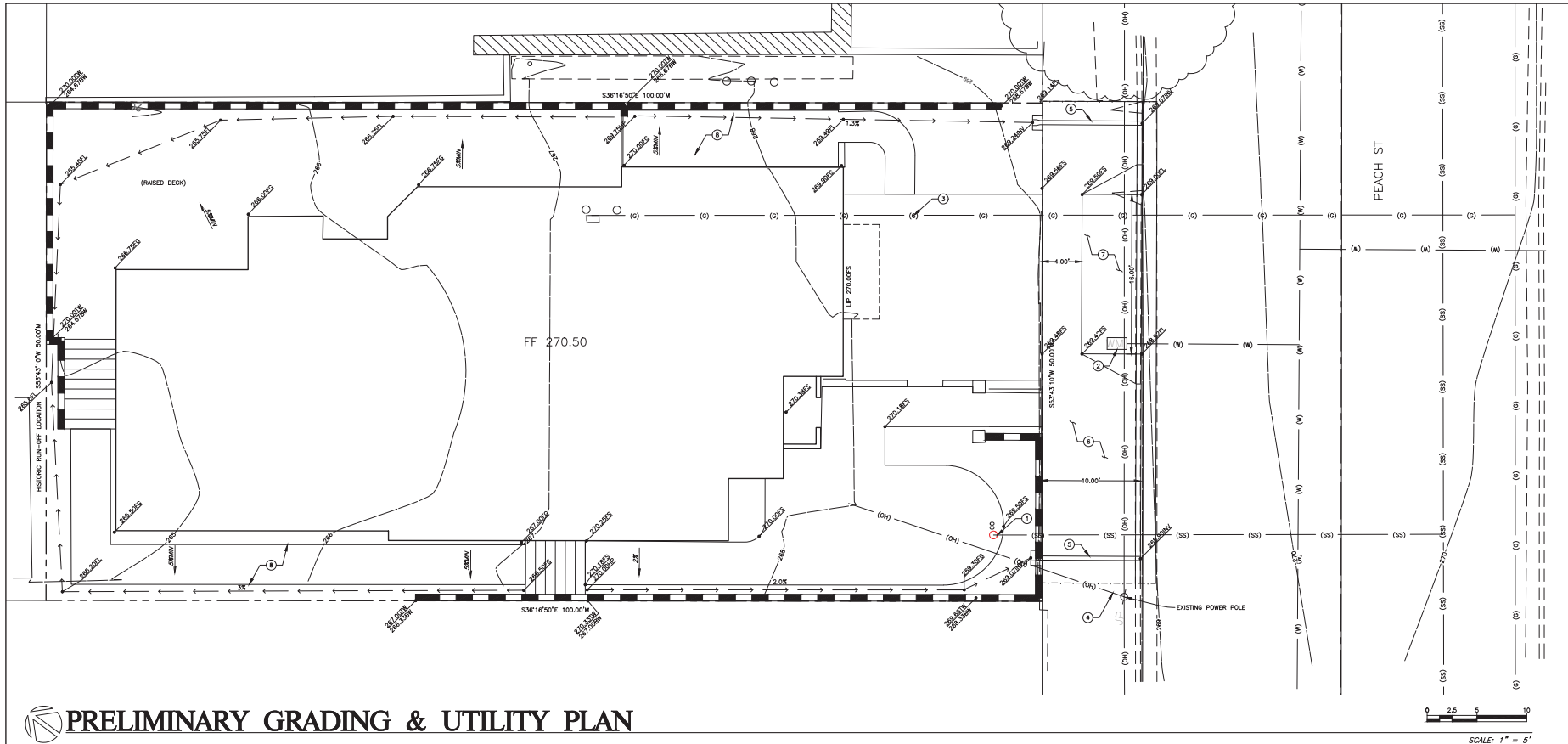
**SHEET:**  
ARCHITECTURAL SITE PLAN

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**SHEET No**  
**P2.0**

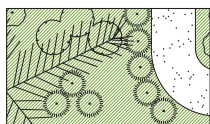
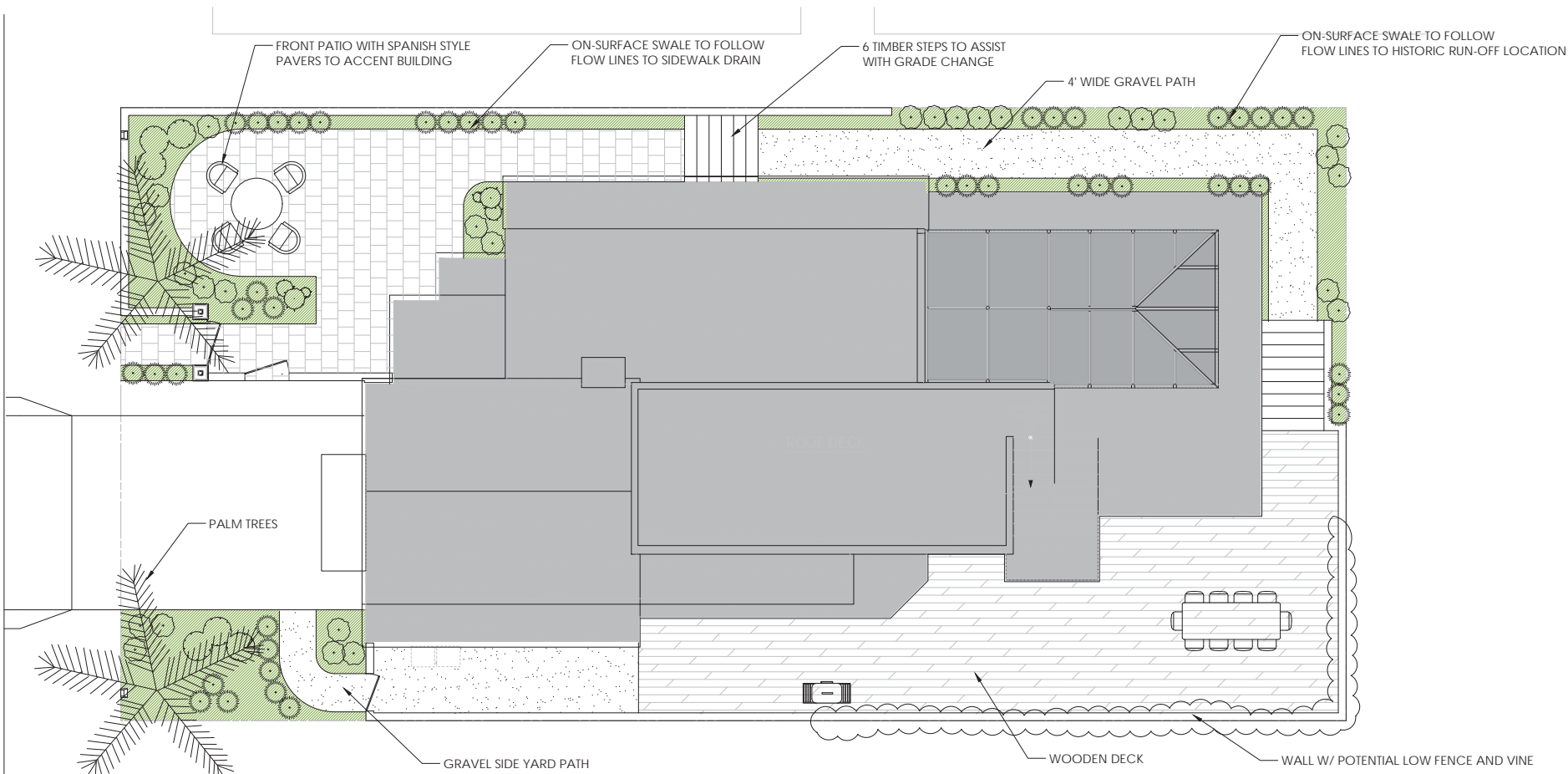


## PRELIMINARY GRADING & UTILITY PLAN

### CONSTRUCTION NOTES

1. EXISTING SEWER LATERAL, CONTRACTOR TO LOCATE AND VERIFY LOCATION FOR REUSE.
2. EXISTING WATER METER, REPLACE BOX WITH TRAFFIC RATED BOX & REPLACE LINE FROM METER BOX TO NEW RESIDENCE.
3. EXISTING GAS LATERAL LOCATION, COORDINATE WITH SOCIAL GAS COMPANY.
4. EXISTING OVERHEAD ETV SERVICE, COORDINATE WITH PG&E, CHARTER, & AT&T FOR UNDERGROUND SERVICE CONNECTION TO NEW RESIDENCE.
5. INSTALL UNDER SIDEWALK DRAIN PER CITY OF SLO STANDARD DETAIL 3451 WITH 12" ALUMINUM A=475.
6. INSTALL CURB GUTTER & SIDEWALK PER CITY OF SLO STANDARD DETAIL 4110.
7. INSTALL DRIVEWAY APRON PER CITY OF SLO STANDARD DETAIL 2110.
8. GRAVEL PATH PER LANDSCAPE PLANS.

PEACH STREET



**PRELIMINARY PLANT LIST:**

**BOTANICAL NAME:**

ARCHONTOPHOENIX ALEXANDRAE  
 AGAVE ATTENUATA  
 BOUGANVILLEA SPP  
 DIANELLA REVOLUTA  
 DYMONDIA MARGARITA  
 CAREX FLACCA  
 LANTANA SPP.  
 SALVIA SPP

**COMMON NAME:**

KING PALM  
 GHOST AGAVE  
 BOUGANVILLEA  
 FLAX LILY  
 DYMONDIA  
 BLUE ZINGER SEDGE  
 LANTANA  
 SAGE

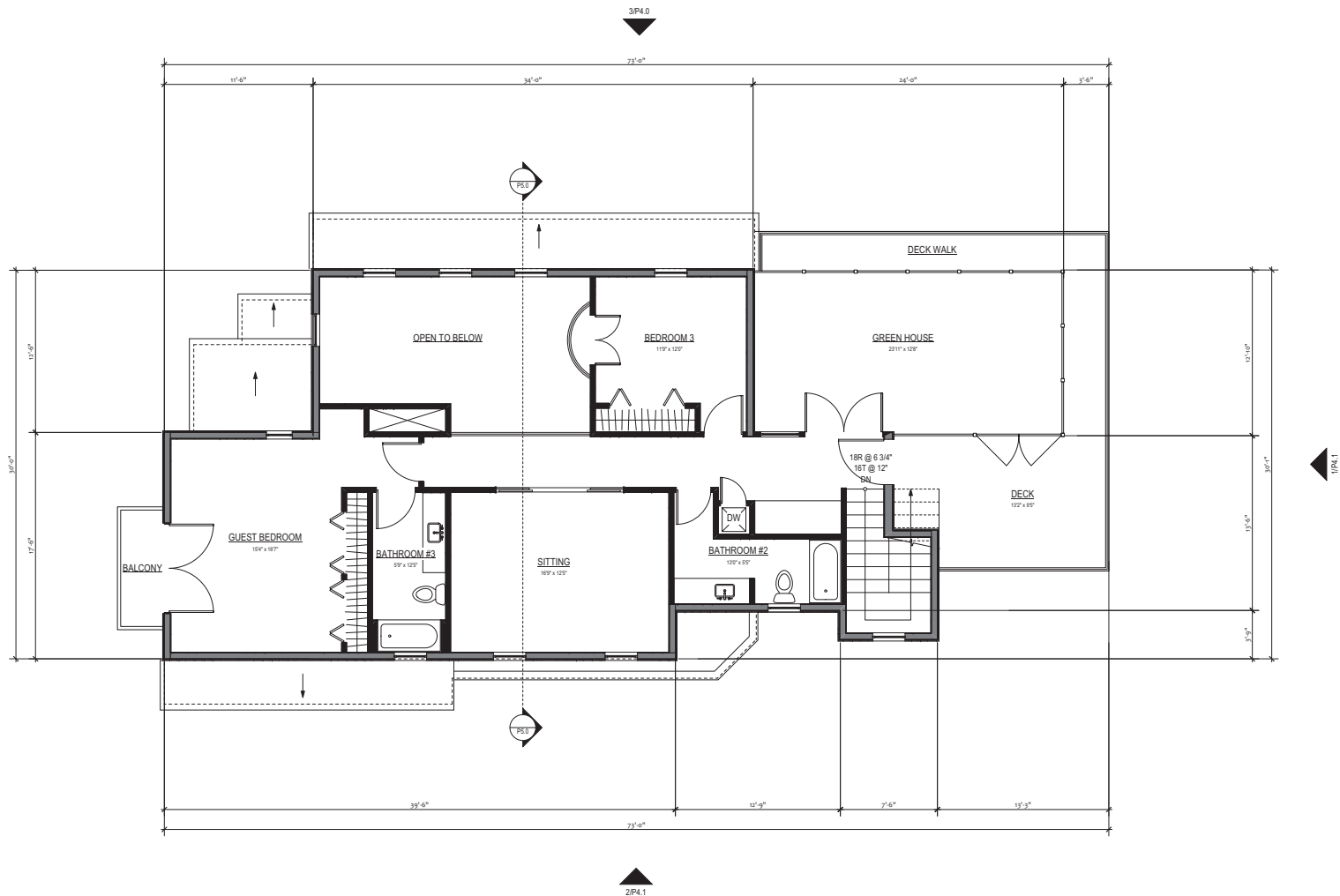
**LANDSCAPE NOTES:**

METHOD OF IRRIGATION: DRIP IRRIGATION

**PRELIMINARY WELO CALCULATIONS:**







# FLOOR PLAN - UPPER

Scale: 1/4" = 1'-0"

Plot Date: XXXXXX



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*Lapidus Residence*  
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Ivan Lapidus

**SHEET:**  
FLOOR PLANS-  
UPPER LEVEL

**PROJECT STATISTICS:**

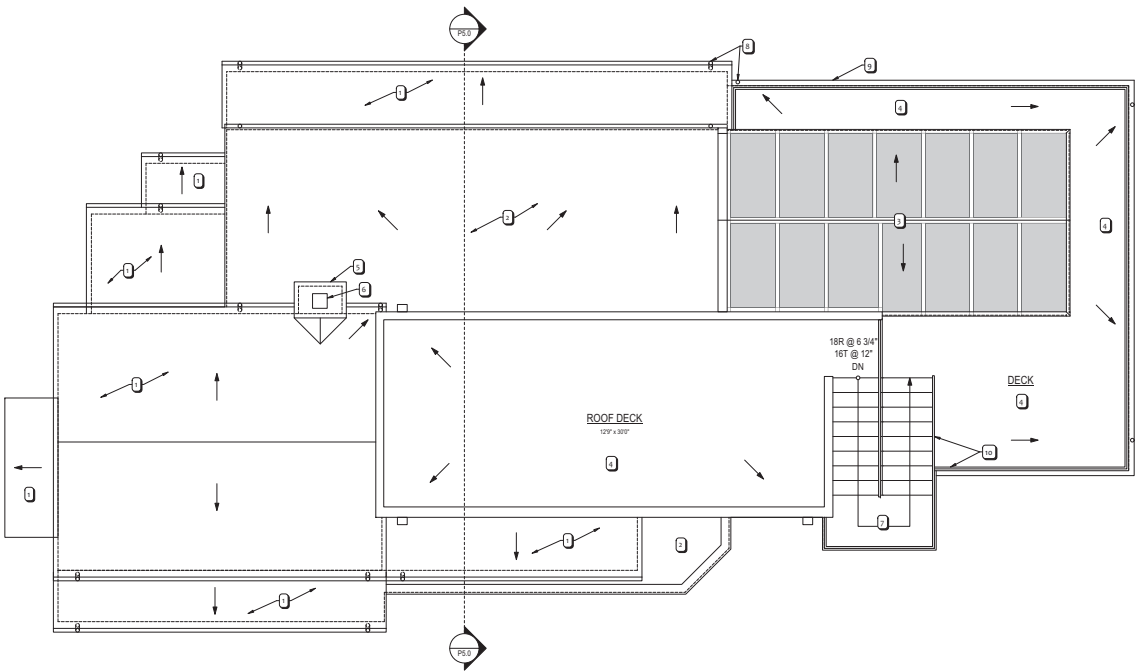
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**SHEET No**  
  
**P3.1**

ROOF PLAN REFERENCE NOTES

- 1 Two-piece Mission Tile roofing
- 2 Flat roof area
- 3 Glass greenhouse
- 4 Deck area
- 5 Chimney element
- 6 Decorative faux clay chimney pot
- 7 Exterior staircase to roof top deck
- 8 Downspout
- 9 Rain gutter
- 10 Railing



FLOOR PLAN - ROOF DECK

Scale: 1/4" = 1'-0"

Plot Date: 30/03/2024



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SHEET:  
FLOOR PLANS-  
ROOF DECK

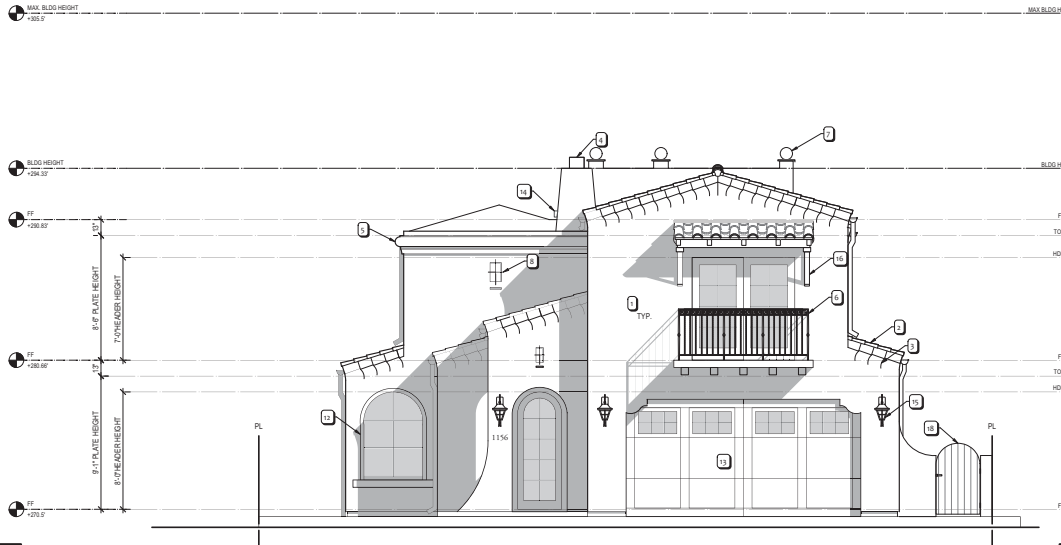
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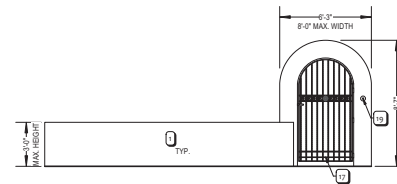
SHEET No

P3.2



**2 SOUTH ELEVATION**

Scale: 1/4" = 1'-0"

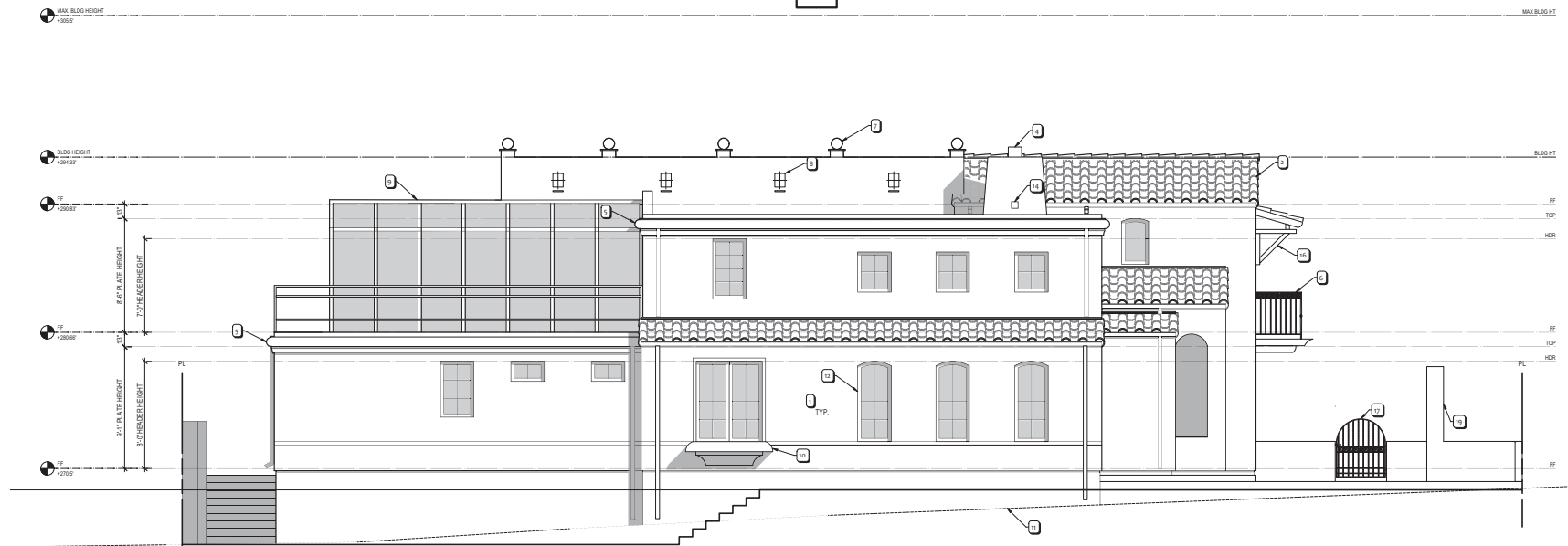


**1 FRONT WALL ELEVATION**

Scale: 1/4" = 1'-0"

**EXTERIOR ELEVATION REFERENCE NOTES**

- 1 Smooth trowel cement plaster finish
- 2 Two piece Mission tile
- 3 Scallop plaster to roof tile edge
- 4 Terracotta faux chimney pot, for aesthetics only
- 5 Custom shaped galvanized gutter
- 6 Wrought iron railing on balcony
- 7 Cast stone pier cap with ball finial at parapit
- 8 Architectural detail with wrought iron grill
- 9 Premanufactured Green House with tempered glass
- 10 Cast stone window sill
- 11 Existing Natural Grade, refer to Civil Plans for additional information
- 12 Dark metal window trim
- 13 Sectional wood garage door with upper lites
- 14 Fireplace terminator
- 15 Exterior lighting, Dark Sky compliant
- 16 Wood bracket shed roof support
- 17 Wrought iron front patio entry gate
- 18 Wooden gate
- 19 Door bell location



**3 WEST ELEVATION**

Scale: 1/4" = 1'-0"

Plot Date: 3/30/2024



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Ivan Lapidus

**SHEET:**  
**ELEVATIONS-**  
**SOUTH AND WEST**

**PROJECT STATISTICS:**

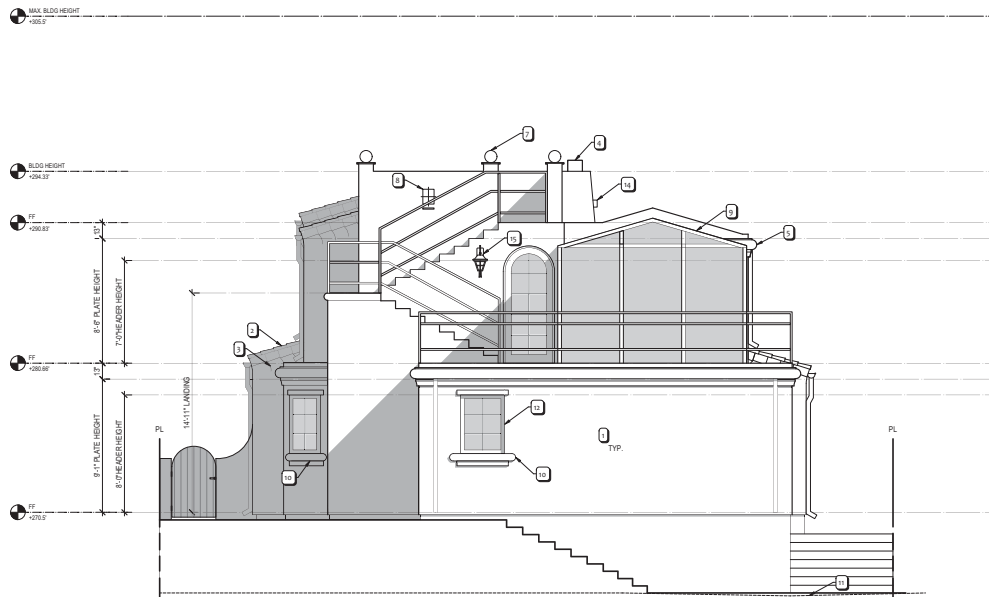
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**SHEET No**

**P4.0**



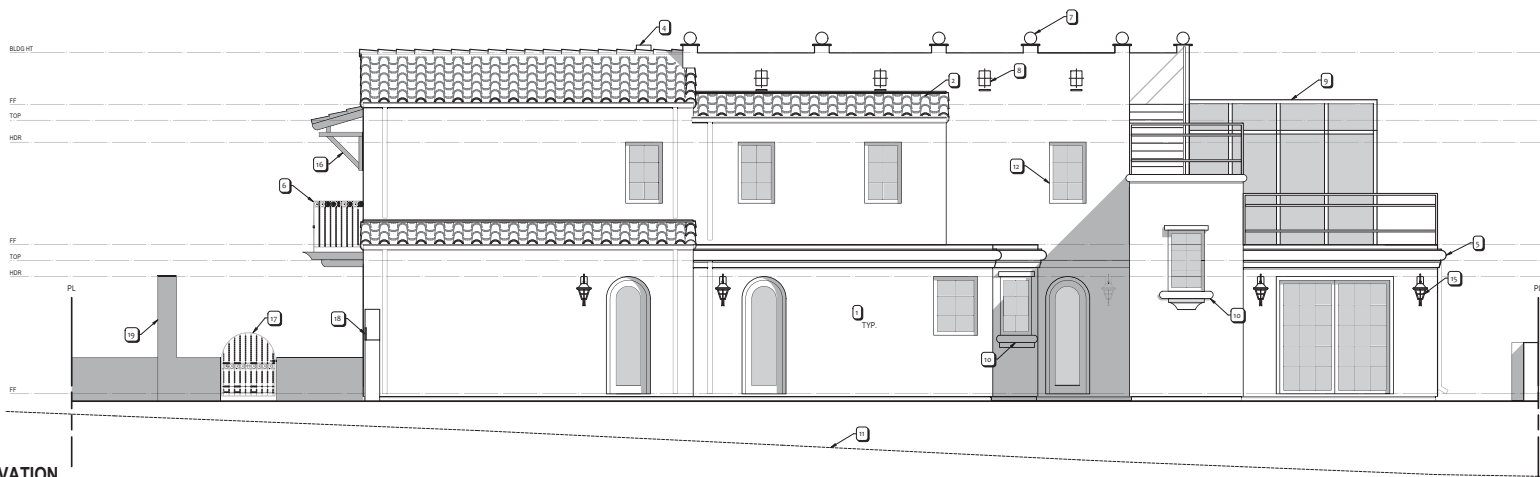


**NORTH ELEVATION**

Scale: 1/4" = 1'-0"

**EXTERIOR ELEVATION REFERENCE NOTES**

- 1 Smooth trowel cement plaster finish
- 2 Two piece Mission tile
- 3 Scallop plaster to roof tile edge
- 4 Terracotta faux chimney pot, for aesthetics only
- 5 Custom shaped galvanized gutter
- 6 Wrought iron railing on balcony
- 7 Cast stone pier cap with ball finial at parapet
- 8 Architectural detail with wrought iron grill
- 9 Premanufactured Green House with tempered glass
- 10 Cast stone window sill
- 11 Existing Natural Grade, refer to Civil Plans for additional information
- 12 Dark metal window trim
- 13 Not Used
- 14 Fireplace terminator
- 15 Exterior lighting, Dark Sky compliant
- 16 Wood bracket shed roof support
- 17 Wrought iron front patio entry gate
- 18 Wooden gate
- 19 Door bell location



**EAST ELEVATION**

Scale: 1/4" = 1'-0"

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Plot Date: 3/10/2024



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Ivan Lapidus

**SHEET:**  
ELEVATIONS-  
NORTH AND EAST

**PROJECT STATISTICS:**

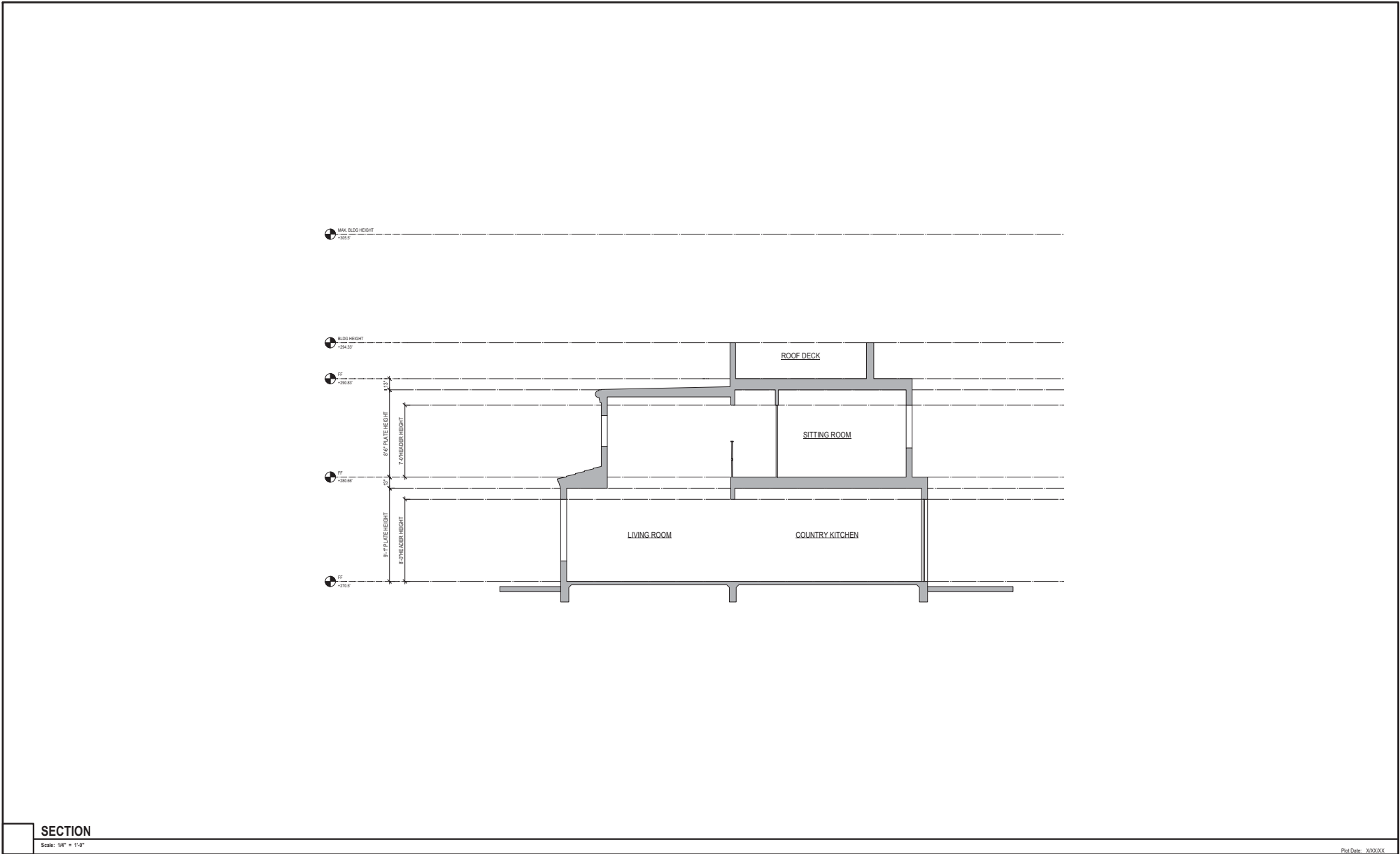
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	Rev 004
	Rev 005

**SHEET No**

**P4.1**

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# SECTION

Scale: 1/4" = 1'-0"

Plot Date: 00/00/00



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**SHEET:**  
SECTION

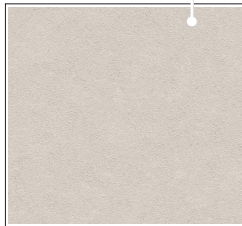
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	Rev 001 5

**SHEET No**

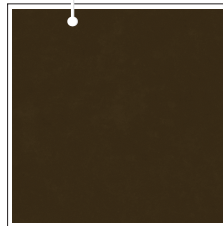
**P5.0**



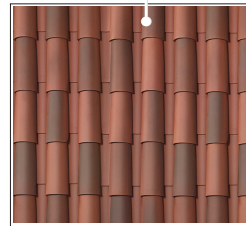
Stucco Color: White Zen (LRV 80)  
Dunn-Edwards Paints



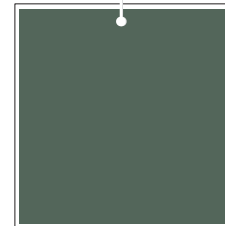
Decorative Tile



Windows and Metal trims: Dark Bronze Pearl  
Sierra Pacific Windows



Roof Tile: Newport Blend  
Boral



Wooden Accents and trims: Deep in the Jungle (LRV 11)  
Dunn-Edwards Paints

Plot Date: 30/06/2024



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**SHEET:**  
COLOR & MATERIALS

**PROJECT STATISTICS:**  
A Physical Color and Materials board can be submitted by request of Planning staff

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**SHEET №**  
**P6.0**