

FUTURE IMPROVEMENTS 531 DANA STREET

When we purchased the house last Summer, it was in poor condition. Since the we have repainted the house, installed a new hot water system, installed new flooring and made repairs to one of the three yard terraces. The house and property, still need extensive repairs if this house is to remain a viable property. Below please find a list of repairs we intend to complete during the next ten years , using the anticipated property tax savings from the Mills Act. We are using costs estimates, since future pricing is difficult to predict but based on past experience, we believe they are accurate.

Replace private lateral sewer line from house to City connection.
Estimate attached.

\$9600.00 – Year 1

Repairs to attic interior. Cost estimate \$3000- \$5000. See attached photos

\$3000- \$5000 - Year 2

Retaining walls adjacent to creek are constructed of non steel reinforced concrete waste. Multiple areas of walls appear to be failing and may not support soils under load. Steps on two terraces need to be removed, repaired and raised to level. See attached letter from structural engineer and photos.

Years 3 – 7 \$50 ,000 plus

Roof of the house is eleven years old and in need of repairs. See attached photos.

Year 8 - \$3500

The exterior of the house will need to be repainted in years nine thru ten.

Year 9-10 \$15,000

Action Rooter

3940 Broad St., suite 7424
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Invoices@actionrooterplumbing.com
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Estimate

ADDRESS

Brian Toohey
531 Dana St
San Luis Obispo, CA 93401

ESTIMATE # 1385**DATE 07/20/2021****EXPIRATION DATE 07/20/2021****SERVICE ADDRESS**

531 Dana St., SLO

DATE	ACTIVITY	DESCRIPTION	QTY	RATE	AMOUNT
	Sewer Line Replacement	replace sewer lateral from right side of yard near tree and driveway to city main by trenching and trenchless technology. The pipe from the main house to the connection of the ADU is good and does not need to be replaced.	1	4,125.00	4,125.00
	Asphalt Work	cut, break, haul, and replace asphalt for potholes where lateral crosses utilities and at sewer main	1	1,200.00	1,200.00
	Backfill	backfill per city specs and get a compaction test in the city right of way from third party	1	750.00	750.00
	Clean out / Back flow install	If possible, install a cleanout and backflow device for ADU. This is necessary because ADU sits lower than house.	1	350.00	350.00
	Encroachment Permit	estimate based on distance and new fee schedule from city	1	825.00	825.00
	Concrete Work	need to replace 1 panel of sidewalk to remove old cleanout.	1	750.00	750.00
	Trench Shoring	included	1	0.00	0.00
	Traffic Control	included	1	0.00	0.00
	Pothole	pothole at house, city main, and other utilities lateral crosses	1	1,600.00	1,600.00
	Repair	Anything in the ground and unmarked that is damaged during construction will be repaired as time and material.	1	0.00	0.00

Total

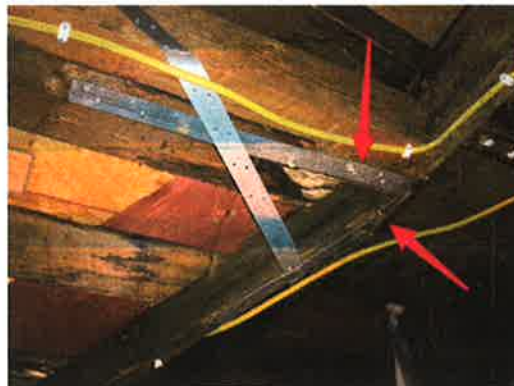
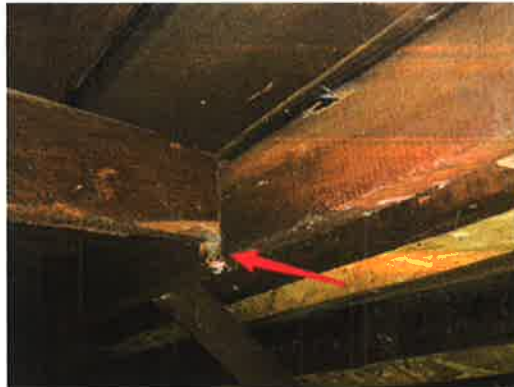
\$9,600.00



SU s-102: Evidence of past rodents living in the attic, crawlspace and/or other areas, visible rodent droppings. Contact a qualified pest control professional for additional comments and recommendations. Determining if condition is old or active is outside the scope of this inspection.



E&C SU FI s-103: Attic framing found damaged and improperly repaired in many locations. Further evaluation and corrections recommended. Contact a qualified professional.



E&C FI s-90: The added roof dormer vent flashings found improperly installed (on top of the shingles/ exposed fasteners/ etc.). Further evaluation and professional corrections recommended.

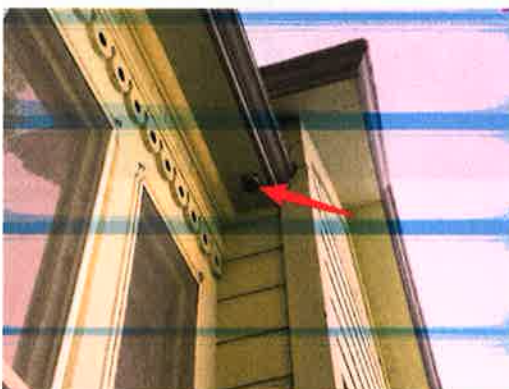


Gutters/Downspouts

COMMENTS

MR s-92: Recommend typical rain gutter maintenance: cleaning, sealing gutters and downspouts. (WEST SIDE)

E&C s-93: Missing a rain gutter downspout: NORTHWEST CORNER AND SOUTHWEST CORNER

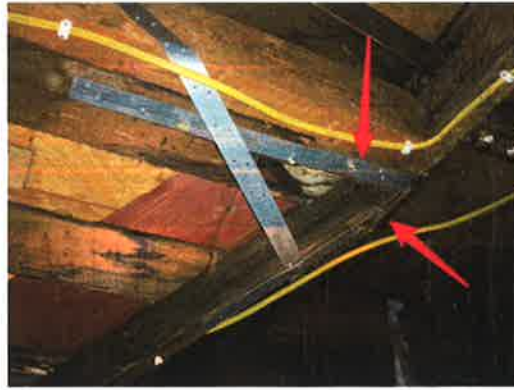


Attic

COMMENTS

E&C SC s-101: Unprotected openings into the attic from the exterior should to be sealed or screened per standards to help keep critters out of the attic.





Plumbing

This inspection of the water supply system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more comprehensive evaluation by an appropriate professional.

MAIN WATER SUPPLY

104: Main water supply shut-off location: **West Side.** - Main water shut-off valve not tested.



105: Approx. water pressure PSI: 65

Preferred water pressure ls: 40-80

106: Note: A pressure regulator Installed on the Main Water supply. Regulators should have annual testing and adjustment and/or maintenance as needed.

TYPE OF WATER PIPING

107: Copper

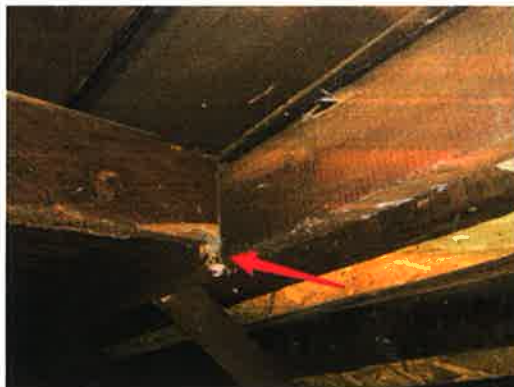
108: Galvanized



SU **102:** Evidence of past rodents living in the attic, crawlspace and/or other areas, visible rodent droppings. Contact a qualified pest control professional for additional comments and recommendations. Determining if condition is old or active is outside the scope of this inspection.



E&C **SU** **FI** **103:** Attic framing found damaged and improperly repaired in many locations. Further evaluation and corrections recommended. Contact a qualified professional.



Stork, Wolfe & Associates

STRUCTURAL ENGINEERS

555 CHORRO STREET, STE. A1 SAN LUIS OBISPO, CA 93405
PH: 805.548.8600 FX: 805.548.8601

July 28, 2020

Brian & Tina Tuohy
briantuohy@trailerresource.com

Re: 531 Dana Street
Structural Inspection

Dear Mr. & Mrs. Tuohy:

We have completed our review of the terraced backyard retaining walls at 531 Dana Street in San Luis Obispo. The retaining walls consist of wood boards spanning horizontally to wood posts embedded in concrete footings [Figure 1]. Although the exact date of construction is unknown it appears to have been constructed within the past 20 to 30 years. Considering the elevation difference between the upper street level, and the lowest patio level, this type of retaining wall system is structurally insufficient to support the retained soil loads. This is evident by rotation at the base of the posts at all levels of the terraced yard, which has caused the walls to lean, the paving to separate from adjacent walls, and a very noticeable slope towards the creek [Figures 2 & 3].


Due to the insufficient soil-retention system, future soil and retaining wall movement is expected to continue until complete slope failure occurs. It is recommended that all wood retaining walls be replaced with reinforced concrete or masonry walls with proper foundations designed by a licensed civil or structural engineer.

The estimated complete design and construction costs for a retaining wall project of this extent is estimated to range between \$80,000 and \$100,000. This estimate includes not only the cost of materials and construction, but also hiring a Geotechnical Engineer to provide soil properties and design data, a Civil Engineer to survey the slope and back portion of the property, and a Civil/Structural Engineer to provide the structural design of a new retaining wall system, all of which were clearly not provided for the construction of the current wall that is failing.

If there are any questions or concerns with this report, please do not hesitate to contact us.

Sincerely,

Stork, Wolfe and Associates, Inc.



By: Gregory H. Stork, SE
Principal





Figure 1 – Retaining wall at backyard upper patio.



Figure 2 – Sloping steps and lower patio.



Figure 3 – Lower level steps pulling away from existing stone wall.

Retaining Walls

RETAINING WALLS

E&C SC FI 52: The East retaining walls adjacent to the creek are constructed of non-steel-reinforced concrete waste. Multiple areas of the walls appear to be leaning/ failing and may not support soils under load. Contact a qualified engineer for further evaluation.



E&C SC FI 53: Areas of the east wood retaining walls/ retaining wall repairs do not appear to meet construction standards. Evaluation recommended.



Foundation

Notice: No engineering of the foundation and / or any structural component of the foundation is performed.

FOUNDATION TYPE

54: Raised Foundation

55: Pier/Post & Pad

56: Poured Concrete. Common cracks visible in the concrete foundation. Foundation perimeter is not fully visible.

E&C FI 57: Some common cracks visible in areas of the concrete foundation system. *Disclosure: The perimeter foundation is not fully visible.*

58: No visible significant defects noted in the crawlspace. *Note: Not all areas visible. Refer to the Termite report for additional comments and/or recommendations.*

59: *Disclosure: No engineering of the foundation and / or any structural component in the crawlspace or basement is performed. If concerned have tested.*

60: Crawlspace ventilation appears adequate.

61: *Disclosure: Some foundation cripple wall framing noted.*

COMMENTS

47: Geological conditions or site stability are outside the scope of this inspection. For further information contact a licensed geological engineer.

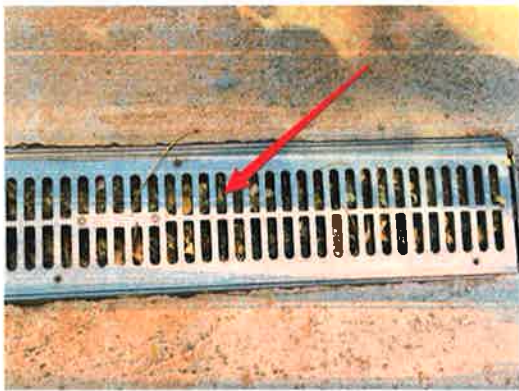
48: Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

MR 49: Plants or trees touch the house and/or roof. Proper landscape maintenance warranted /recommended.



MR 50: Surface and/or yard drain boxes noted but not tested / termination unknown. Recommend having drains tested to determine proper flow and termination. Keep drains clean and free of debris regularly.

MR 51: Surface and/or yard drain boxes found full of debris. Recommend having drains tested to determine proper flow and termination.



MR s-45: Earth-to-wood contact visible at areas of the wood deck framing.



Retaining Walls

RETAINING WALLS

E&C SC FI s-52: The East retaining walls adjacent to the creek are constructed of non-steel-reinforced concrete waste. Multiple areas of the walls appear to be leaning/ failing and may not support soils under load. Contact a qualified engineer for further evaluation.



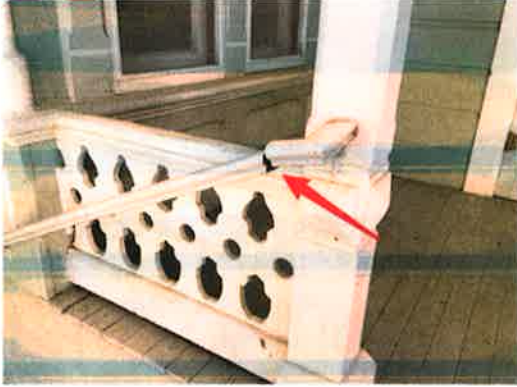
E&C SC FI s-53: Areas of the east wood retaining walls/ retaining wall repairs do not appear to meet construction standards. Evaluation recommended.



Exterior Stairs

EXTERIOR STAIRWAY RAILINGS

E&C SC s-41: The handrail at the entry stairway/ steps found damaged.



Decks

WOOD DECK COMMENTS

E&C SU s-43: Areas of the BACKYARD WOOD DECK and STAIRS do not meet minimum construction standards. Recommend further review and repairs by a qualified licensed contractor familiar with minimum construction and engineering standards.



Multiple deck joists held on by single nails



Improper post to beam connections throughout

E&C SC s-44: Some moisture and/or bug type damage and deterioration, visible fungus growth found at areas of the wood decking and/or wood deck railings. *Refer to the termite report for additional comments and recommendations.*

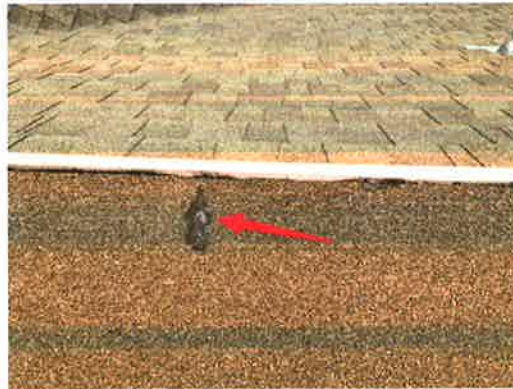


FLAT ROOF

MR 81: Areas of past improper or incomplete past repairs found at areas of the ROLLED COMPOSITION ROOFING. Areas of exposed mastic found not covered by aggregate found deteriorated.



E&C 82: Exposed, bare areas of the roof found deteriorated and prone to further sun damage needing repair or maintenance.



Roof #3

ROOF STYLE

83: Flat or Low Slope

84: Roof was walked

85: Number of Visible Layers of Roofing: 1

METAL ROOF

E&C MR 86: Recommend coating the original metal roofs over the Southwest and northwest corners as part of typical maintenance. Roofs show signs of moderate rust/ deterioration.



ASPHALT COMPOSITION SHINGLE COMMENTS

E&C 75: Some damaged / deteriorated / missing roof shingles. Correction needed.



MR 76: Some loose and lifting roof shingles found at areas of the asphalt composition roof. Maintenance and/or repairs Recommended.



Roof #2

ROOF STYLE

77: Flat or Low Slope

78: Roof was walked

E&C 79: Number of Visible Layers of Roofing: 1

ROOF TYPE

80: Rolled Composition

Average life expectancy: 25 year

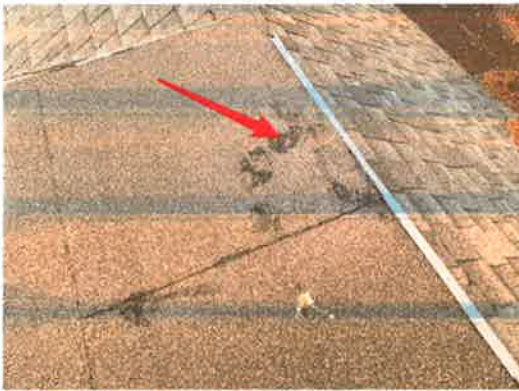
Amount of wear: Approx: +/- years



Roof - Roof #2

FLAT ROOF

E&C s-82: Exposed, bare areas of the roof found deteriorated and prone to further sun damage needing repair or maintenance.



Roof - Roof #3

METAL ROOF

E&C MR s-86: Recommend coating the original metal roofs over the Southwest and northwest corners as part of typical maintenance. Roofs show signs of moderate rust/ deterioration.



Roof Flashings

ROOF FLASHING

MR s-88: Evidence of heavy debris buildup on areas of the roof and/or roof valley flashings. Areas not fully visible, continuous maintenance / cleaning warranted to help prevent roof leakage.

Foundation

RAISED FOUNDATION

E&C s-67: Earth-to-wood contact found in areas of the crawlspace. Upgrades recommended. Refer to termite report for locations.



E&C FI s-68: A few structural support posts in the crawlspace found leaning and do not meet current standards. Further evaluation and framing upgrades recommended. Contact a qualified professional.



Roof - Primary Roof

ASPHALT COMPOSITION SHINGLE COMMENTS

E&C s-75: Some damaged / deteriorated / missing roof shingles. Correction needed.

