

GLACIER ICE COMPANY WAREHOUSE ADDITION

130 HIGH STREET, SAN LUIS OBISPO, CALIFORNIA 93401

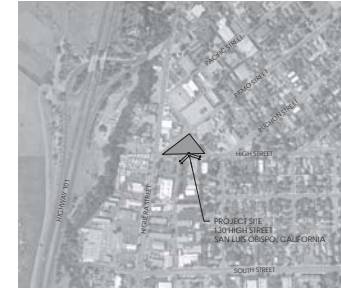


CONCEPTUAL PERSPECTIVE

- NEW 1,813 SQUARE FOOT ADDITION TO EXISTING ICE DISTRIBUTION FACILITY (GLACIER ICE COMPANY) TO HOUSE NEW ICE MAKING EQUIPMENT.
- NEW ACCESSIBLE LIFT UP TO FINISH FLOOR ELEVATION (+/- 4" OF ABOVE FINISH GRADE)
- NEW EXTERIOR COOLING TOWER AND RECEIVER TANK FOR AMMONIA REFRIGERANT COOLED ICE MAKING EQUIPMENT.
- NEW 18" 0" HIGH MECHANICAL SCREEN WALL ALONG HIGH STREET.
- NEW CMU TRASH ENCLOSURE.
- PLANNING STATEMENT: NO EXCEPTIONS OR VARIANCES ARE FROM THE PROPERTY DEVELOPMENT STANDARDS ARE PROPOSED WITH THIS PROJECT.
- SHEET INDEX:
 - PD1.0 COVER SHEET AND CONCEPTUAL SITE PLAN
 - PD2.0 CONCEPTUAL FLOOR PLAN
 - PD3.0 CONCEPTUAL ELEVATIONS
 - C11.0 PRELIMINARY GRADING AND DRAINAGE PLAN
 - L1.0 CONCEPTUAL LANDSCAPE PLAN

PROJECT DESCRIPTION

21



VICINITY MAP

SCALE: NOT TO SCALE

11

PROJECT:

**GLACIER ICE COMPANY
ADDITION**
130 HIGH STREET
SAN LUIS OBISPO, CALIFORNIA

OWNER:

TONY HORZEN
130 HIGH STREET
SAN LUIS OBISPO, CALIFORNIA

PROPERTY INFORMATION

ADDRESS: 130 HIGH STREET
SAN LUIS OBISPO, CALIFORNIA
ASSESSORS PARCEL NUMBERS: 002 002 001
PARCEL SIZE: 21.494 SQUARE FEET (+/- 0.50 ACRES)
ZONING (CITY OF SAN LUIS OBISPO): C-18 SERVICE COMMERCIAL
MAVEX USE
CIB CANNABIS BUSINESS ZONE

USE INFORMATION

MAXIMUM LOT BUILDING COVERAGE: 75%
MAXIMUM FLOOR AREA RATIO: 1.5
MAXIMUM BUILDING HEIGHT: 35 FEET
MINIMUM SETBACKS:
FRONT: 15 FEET (BUILDING TALLER THAN 20 FEET HIGH)
10 FEET (BUILDING LOWER THAN 20 FEET HIGH)
INTERIOR AND SIDE: 0 FEET
CORNER LOT (STREET SIDE): 15 FEET (BUILDING TALLER THAN 20 FEET HIGH)
PARKING LOTS AND SIGNS: 5 FEET (EXCEPT AT INTERIOR AND SIDE)

BUILDING INFORMATION

EXISTING OFFICE: 603.3 SQUARE FEET
EXISTING COOLER WAREHOUSE: 3140.7 SQUARE FEET
PROPOSED WAREHOUSE ADDITION: 1813.0 SQUARE FEET
TOTAL BUILDING AREA: 5,557.0 SQUARE FEET

PARKING REQUIREMENTS

(CITY OF SAN LUIS OBISPO ZONING, TITLE 17)
1 SPACE PER 1,000 SQUARE FEET
OFFICE: 1 SPACE PER 300 SQUARE FEET
LOADING SPACE: +10,000 SQUARE FEET - NOT REQUIRED

PARKING CALCULATIONS

EXISTING OFFICE: 603.3 SQUARE FEET / 300 = 2.0 PARKING SPACES
EXISTING MANUFACTURING: 3140.7 SQUARE FEET / 1,000 = 3.1 PARKING SPACES
PROPOSED ADDITION: 1813.0 SQUARE FEET / 1,000 = 1.8 PARKING SPACES
REQUIRED PARKING SPACES: 7 PARKING SPACES
PROVIDED PARKING SPACES: 7 PARKING SPACES (1 VAN ACCESSIBLE SPACE)

SITE AREAS

SITE AREA: 21.494 SQUARE FEET
BUILDING COVERAGE:
EXISTING BUILDING TO REMAIN: 3,744 SQUARE FEET
PROPOSED BUILDING ADDITION: 1,813 SQUARE FEET (25.4%)
TOTAL BUILDING COVERAGE: 5,557 SQUARE FEET
EXISTING IMPERVIOUS TO REMAIN: 15,394 SQUARE FEET (72%)
EXISTING LANDSCAPE AREA TO REMAIN: 3,321 SQUARE FEET (15.5%)
LANDSCAPE AREA REMOVED: 474.5 SQUARE FEET (2%)
IMPERVIOUS AREA REPLACED: 2,302.5 SQUARE FEET (10.5%)

PLUMBING CALCULATIONS (2019 UPC TABLE 422.1)

OFFICES (B): 603.3 SQUARE FEET / 200 = 3.0 OCCUPANTS
MANUFACTURING (F-1): 4,970.7 SQUARE FEET / 2,000 = 2.5 OCCUPANTS
TOTAL OCCUPANTS = 5.5 OCCUPANTS (3 MEN, 3 WOMEN)

REQUIRED FIXTURES BASED ON MAIN BUILDING OCCUPANCY GROUP (F)
SECTION 422.1.1 WATER CLOSET (EXCEPTION: IN OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 10 OR FEWER, INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.)

UNSEX FIXTURES REQUIRED:
1 WATER CLOSET
0 UNIS
1 LAVATORY
0 UNIS
SHOWERS REQUIRED:
DRINKING FOUNTAIN: 1
SERVICE SINK REQUIRED: 1
PROVIDED FIXTURES BASED ON MAIN BUILDING OCCUPANCY GROUP (F)

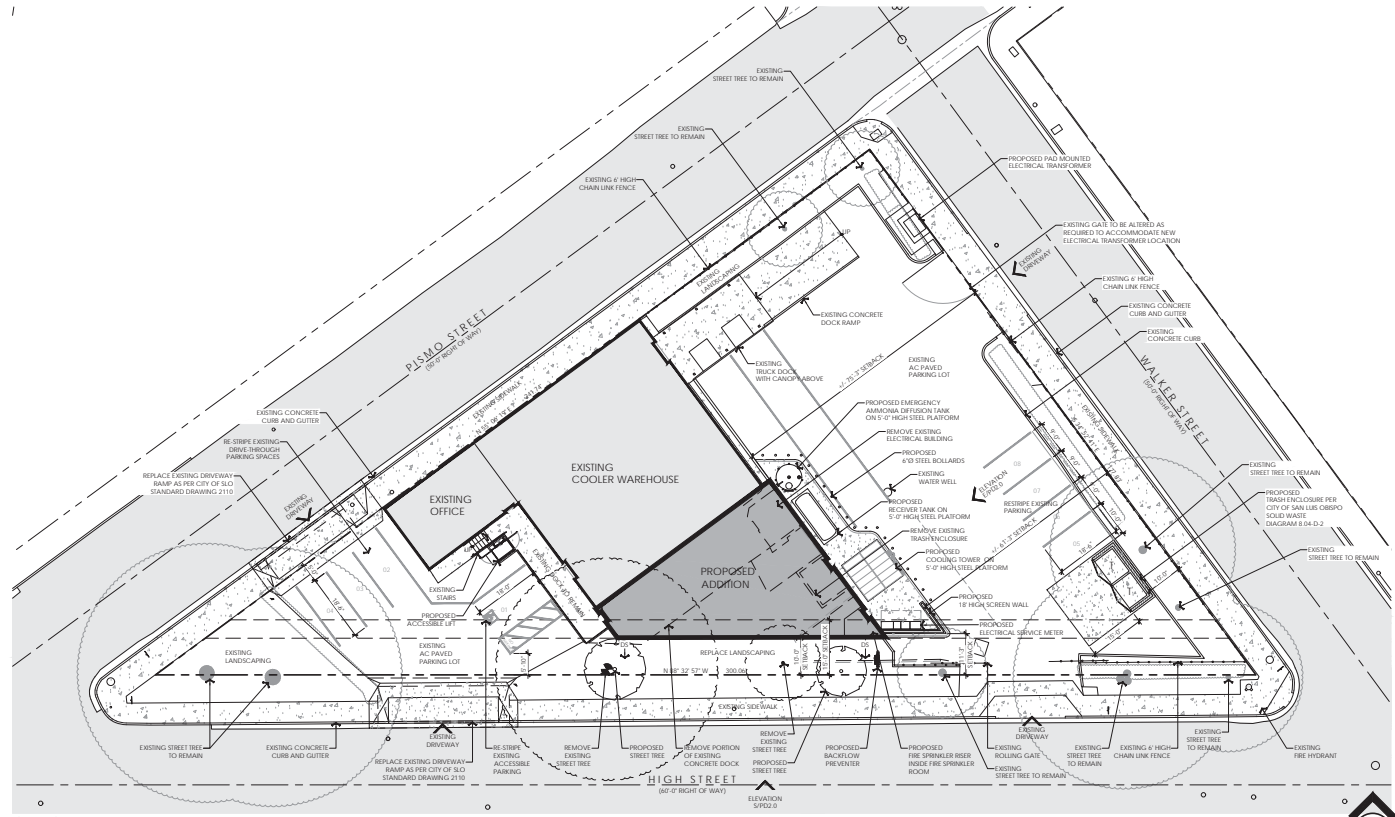
UNSEX FIXTURES PROVIDED:
1 WATER CLOSET
1 LAVATORY
1 UNIS
DRINKING FOUNTAIN: 1
SERVICE SINK: 1

PROJECT DATA

14

SHEET NUMBER:

PROJECT NUMBER: 1261-01
DATE: SEPTEMBER 14, 2021
SHEET TITLE:
**COVER SHEET AND
CONCEPTUAL
SITE PLAN**



CONCEPTUAL SITE PLAN

SCALE: 1/16" = 1'-0"

PD1.0

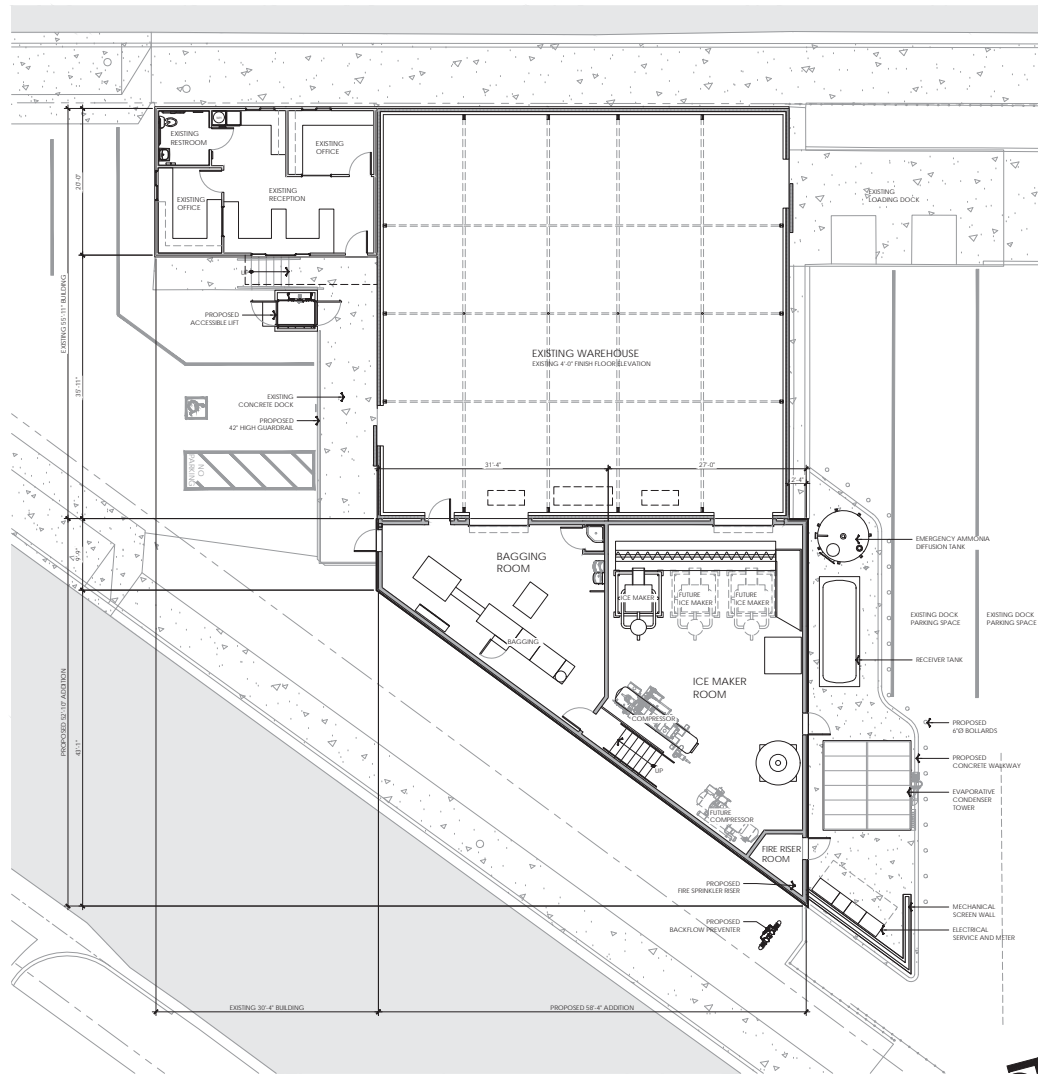
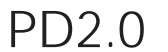


OWNER:
TONY HORZEN
130 HIGH STREET
SAN LUIS OBISPO, CALIFORNIA

Written dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this job and this office shall be notified in writing of any variations from the dimensions or conditions shown in these drawings.

PROJECT NUMBER: 1261-01
DATE: SEPTEMBER 14, 2021
SHEET TITLE:
PROPOSED
FLOOR PLAN

SHEET NUMBER:



PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

PD3.0

STORMWATER AND FLOOD CONTROL NOTES:

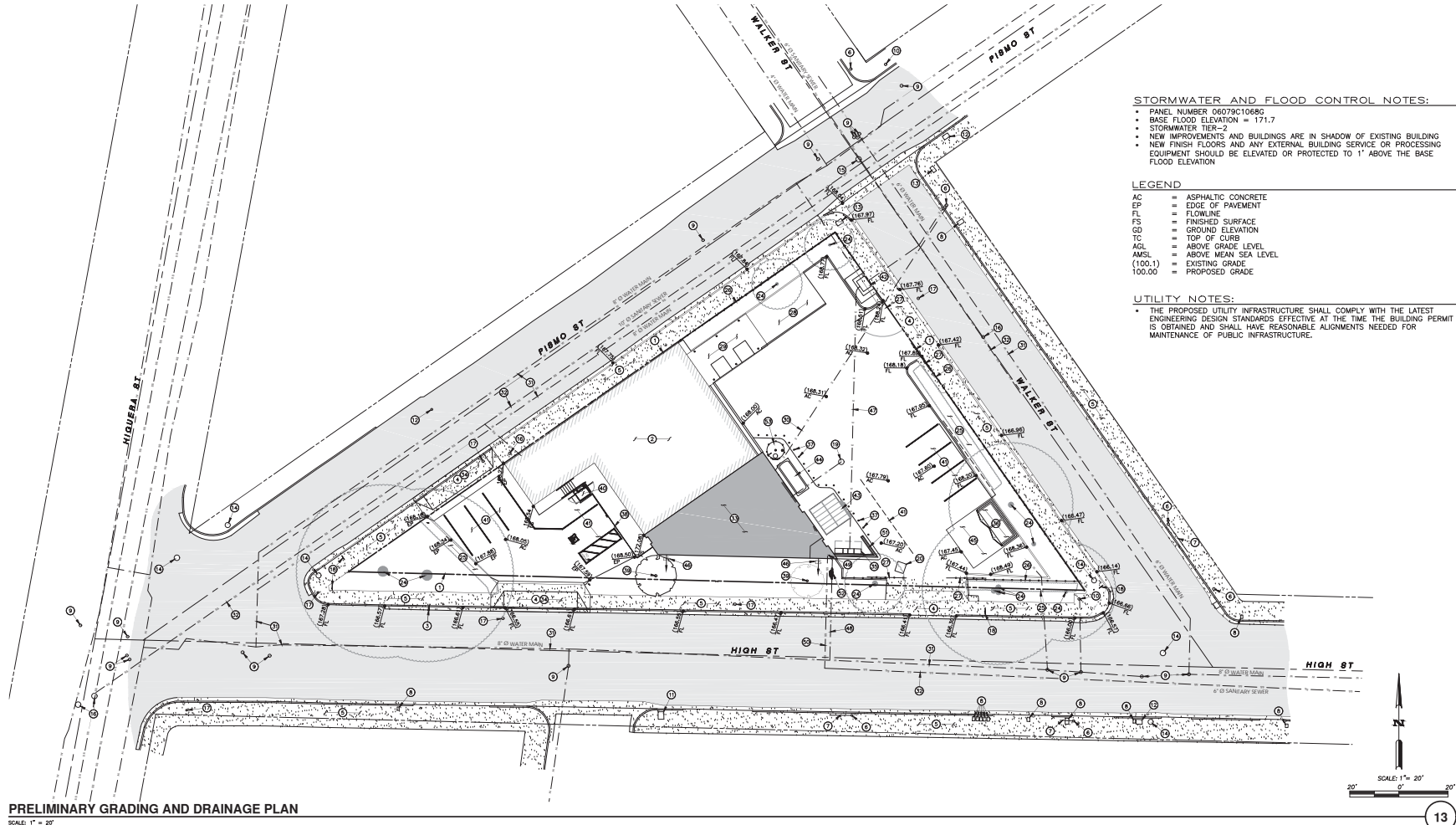
- PANEL NUMBER 06079C10680
- BASE FLOOD ELEVATION = 171.7
- STORMWATER TIER-2
- NEW IMPROVEMENTS AND BUILDINGS ARE IN SHADOW OF EXISTING BUILDING
- NEW FINISH FLOORS AND ANY EXTERNAL BUILDING SERVICE OR PROCESSING EQUIPMENT SHOULD BE ELEVATED OR PROTECTED TO 1' ABOVE THE BASE FLOOD ELEVATION

LEGEND

- AC = ASPHALTIC CONCRETE
- EP = EDGE OF PAVEMENT
- FL = FLOWLINE
- FS = FINISHED SURFACE
- GD = GROUND ELEVATION
- TC = TOP OF CURB
- AGL = ABOVE GRADE LEVEL
- AMSL = ABOVE MEAN SEA LEVEL
- (100.1) = EXISTING GRADE
- 100.00 = PROPOSED GRADE

UTILITY NOTES:

- THE PROPOSED UTILITY INFRASTRUCTURE SHALL COMPLY WITH THE LATEST ENGINEERING DESIGN STANDARDS EFFECTIVE AT THE TIME THE BUILDING PERMIT IS OBTAINED AND SHALL HAVE REASONABLE ALIGNMENTS NEEDED FOR MAINTENANCE OF PUBLIC INFRASTRUCTURE.



PRELIMINARY GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'

- ① EXISTING PROPERTY LINE
- ② EXISTING BUILDING
- ③ EXISTING CONCRETE CURB AND GUTTER
- ④ EXISTING DRIVEWAY
- ⑤ EXISTING SIDEWALK
- ⑥ EXISTING UTILITY POLE
- ⑦ EXISTING GUY WIRE
- ⑧ EXISTING WATER METER
- ⑨ EXISTING WATER VAULT
- ⑩ EXISTING FIRE HYDRANT
- ⑪ EXISTING CATV VAULT
- ⑫ EXISTING GAS VAULT
- ⑬ EXISTING ELECTRIC VAULT

- ⑭ EXISTING STORM DRAIN MANHOLE
- ⑮ EXISTING SANITARY SEWER MANHOLE
- ⑯ EXISTING SANITARY SEWER CLEANOUT
- ⑰ EXISTING MONITORING WELL
- ⑱ EXISTING SIGN
- ⑲ EXISTING WATER WELL AND MANHOLE
- ⑳ EXISTING VAULT
- ㉑ EXISTING TREE
- ㉒ EXISTING BUSH
- ㉓ EXISTING FENCE
- ㉔ EXISTING ROLLING GATE
- ㉕ EXISTING DOCK RAMP
- ㉖ EXISTING DOCK WITH CANOPY

- ㉗ EXISTING ELECTRIC LINE
- ㉘ EXISTING WATER LINE
- ㉙ EXISTING SANITARY SEWER LINE
- ㉚ NEW BUILDING ADDITION
- ㉛ NEW DRIVEWAY PER CITY OF SAN LUIS OBISPO STANDARD DRAWING 2110
- ㉜ NEW ELECTRICAL SERVICE METER
- ㉝ NEW TRASH ENCLOSURE PER CITY OF SAN LUIS OBISPO SOLID WASTE DIAGRAM 8.04-D-2
- ㉞ NEW BOLLARD
- ㉟ NEW GUARDRAIL
- ㊱ NEW TREE
- ㊲ NEW ACCESS LIFT
- ㊳ RE-STRIPED PARKING
- ㊴ NEW ELECTRICAL TRANSFORMER AS PER PO&E REQUIREMENTS

- ㊵ NEW COOLING TOWER ON 5' HIGH STEEL PLATFORM
- ㊶ NEW RECEIVER TANK ON 5' HIGH STEEL PLATFORM
- ㊷ NEW CONCRETE
- ㊸ NEW DOWNSPOUT TO LANDSCAPE AREA
- ㊹ NEW UNDERGROUND ELECTRICAL SERVICE AS PER PO&E STANDARDS
- ㊺ NEW WATER LINE FOR FIRE SPRINKLERS
- ㊻ NEW FIRE RISER
- ㊼ NEW SANITARY SEWER LINE SERVICE
- ㊽ NEW SCREEN WALL
- ㊾ NEW FIRE LINE BACKFLOW PREVENTER
- ㊿ NEW EMERGENCY AMMONIA DIFFUSION TANK ON 5' HIGH STEEL STAND

NOTES

All designs and other information on these drawings are for use on this specific project and shall not be used elsewhere without the expressed written permission of Omni Design Group, Inc.

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PROJECT NUMBER: 1261-01

DATE: SEPTEMBER 14, 2021

SHEET TITLE

**PRELIMINARY
GRADING AND
DRAINAGE PLAN**

SHEET NUMBER:

Water Efficient Landscape Ordinance (WELO) Worksheet

WELO Worksheet form with multiple sections for project information, landscape details, and calculations. Includes a table for plant selection and a section for irrigation system details.

Statement of Water Conserving Irrigation Design

The following principles of irrigation design are utilized to conserve water and improve the efficiency of the irrigation system:

- All irrigation shall be drip or drip-line emitters. Tree irrigation shall be root zone watering bubblers. No overhead spray heads will be used.
- Irrigation hydrozone application shall be adjusted according to water needs and weather.
- Irrigation system master valve shall be used.
- Irrigation system "Smart controller" with water budgeting feature shall be used.
- Irrigation system flow sensor shall be used.
- Irrigation system of rain shut-off device connected to irrigation controller shall be used.

To maintain the irrigation efficiency intended in the design, the irrigation system shall be tested and maintained on a monthly basis by maintenance staff.

Water Conservation Notes

The following water conservation techniques shall be employed in this Project:

- Planting and irrigation design shall conform to the "Model Water Efficient Landscape Ordinance" (MWELO).
- Water conserving plants, defined as "Low" in the "Water Use Classification of Landscape Species" (WUCOLS IV, University of California Cooperative Extension), shall be utilized in 95% of the total planting area.
- Irrigation system shall be separated into distinct hydrozones based on plant material types, exposure and orientation.
- Soil amendments and mulch shall be utilized to improve water holding capacity of soil.
- Automatic irrigation system shall utilize "Smart Controller" technology with water budgeting feature to adjust water application based on soil moisture and/or local weather data.
- Recommendations shall be given for annual irrigation schedule at project completion.
- Lawn is not used.

City of San Luis Obispo Design Notes

The project's proposed landscape and irrigation plans shall comply with the City's Water Efficient Landscape Standards (Municipal Code Chapter 17.87) and the City's Engineering Standards.

Street tree plantings shall be coordinated with the City Arborist. Trees may be planted in planters on private property or may be planted in tree wells within the 8' public sidewalk areas per City Engineering Standards.

Proposed Plan Materials



Plant List - San Luis Obispo, CA (Sunset Zone 15)

ABBREV	SIZE	BOTANICAL NAME / COMMON NAME	WUCOLS RATING
STREET TREES Per City of San Luis Obispo "Street Trees Master List" (Standard Drop: 8'10") One specimen will be selected from the following list:			
ARB 10'	24/30	ARJUNUS NANA / NANA ARJUNUS	L
CAS 10'	24/30	CASSIA LEPTOPHYLLA / GOLDEN MEDALLION TREE	L
LAC 10'	24/30	LAGRETSTROEMIA NACHIEZ / CHERRY WHITE (WHITE)	L
UUM 10'	24/30	ULMUS PARVIFOLIUS / TRUE GREEN / EVERGREEN ELM	L
ACCENT SHRUBS			
AR 10'	50	ARCTOSTAPHYLOS DENSIFLORA / NORDWAY MAHONY / MANZANITA	VL
CA 10'	50	CEANOTHUS CALIFORNICUS / BLUE GUM / COFFEE BERRY	L
CO 10'	50	CORYLUS AUSTRALIS / WEDDERSHAW NEW ZEALAND CABBAGE TREE	L
FO 10'	50	FRAXINUS TEXANA / YELLOW BIRCH / DOWNEY NEW ZEALAND FLAX	L
MEDIUM HEIGHT SHRUBS			
CA 10'	50	CEANOTHUS THUNBERGII / CHERRY BOMB / CHERRY BOMB BARKERY	L
CA 10'	50	CEANOTHUS LUTULES / JUNE / COMAR BUTTLERBUSH	L
LO 10'	50	LOMONDIA LONGIFOLIA / BREEZE / DWARF MAT RUSH	L
RO 10'	50	ROSA FLOREBUNDA / COCKLEBERRY / COCKLEBERRY	L
GROUND COVERS			
LA 10'	50	LANTANA MONTANA / TRAILING LANTANA	L
MY 10'	50	MYOPORUM PARVIFOLIUM / PUTAN CREEK / TRAILING MYOPORUM	L
SA 10'	50	SALVIA 'DARK CHOICE' / DARK CHOICE SAGE	L
WUCOLS			
SELECT ALL GROUND COVER AND PLANTER AREAS AS DESIGNATED ON PLAN.			
1. 2" MANJAN LAYER: 10'10" COBALT BLUE / NOVO COBALT 1-10"			
2. 2" MANJAN LAYER: COBALT BLUE / NOVO COBALT 1-10"			
LEGEND			
N = VERY LOW WATER USE			
L = LOW WATER USE			
M = MEDIUM WATER USE			
H = HIGH WATER USE			
G = GRASS			
B = BARK			
OC = ONE-CENT SPACING			
DBS = DEEP ROOT BARRIER, AS REQUIRED PER PLANTING DETAIL SHEET.			
"WATER USE EVALUATION OF PLANT MATERIALS"			
WUCOLS USE OR PROPOSED PLANT HAVE BEEN EVALUATED USING THE "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WUCOLS IV, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION).			
BOODING VOLATILE ORGANIC COMPOUND EMISSION (BVOC)			
Biogenic Volatile Organic Compounds (BVOCs) are emitted from natural sources, such as plants and trees. BVOCs emitted from plants are the dominant source of volatile organic compounds in the atmosphere and are important precursors to the photochemical production of ozone and secondary organic aerosols. The California Air Resources Board (CARB) estimates emissions of BVOCs from vegetation. Accounting emissions management (e.g. adjusting tree species composition) can reduce 61% of the BVOCs emissions and 50% of the health damage related to BVOC emissions by 2050.			
References: "Water Use Classification of Landscape Species" (WUCOLS IV, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION)			
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Proposed Trees - Design Notes

ARJUNUS NANA / NANA ARJUNUS L
Height: 40-60'; Spread: 30-40'; wind or something similar. Good tree for windy areas.
Moderate growth rate (1-2 per year). Branch strength: strong. Drought tolerant.
Good parking lot tree (good structure). Bark: smooth, white, red or orange.
Evergreen. Flowers: white (pinkish-red). Bark: not brown, exfoliating or smooth.
Biogenic Volatile Organic Compound emissions: BVOCs: Low.

CASSIA LEPTOPHYLLA / GOLDEN MEDALLION TREE L
Height: 20-25'; Spread: 30'; wind or something similar.
Fast growth (2 per year). Branch strength: medium. Attractive dark green foliage. Drought tolerant.
Good parking lot tree (good structure). Bark: smooth, white, red or orange.
Semi-evergreen. Flowers: long spikes of deep yellow. 3" wide flowers (July-August).

LAGRETSTROEMIA NACHIEZ / CHERRY WHITE (WHITE) L
Height: 20-25'; Spread: 15-20'; wind or something similar.
Moderate growth rate (1-2 per year). Branch strength: strong. Drought tolerant.
Good parking lot tree (good structure). Bark: smooth, white, red or orange.
Deciduous. Flowers: white (pinkish-red). Bark: not brown, exfoliating or smooth.
Biogenic Volatile Organic Compound emissions: BVOCs: Low.

ULMUS PARVIFOLIUS / TRUE GREEN / EVERGREEN ELM L
Height: 40-60'; Spread: 30-40'; wind or something similar.
Fast growth (2 per year). Branch strength: strong. Drought tolerant.
Good parking lot tree (good structure). Bark: smooth, white, red or orange.
Evergreen. Flowers: white (pinkish-red). Bark: not brown, exfoliating or smooth.
Biogenic Volatile Organic Compound emissions: BVOCs: Low.

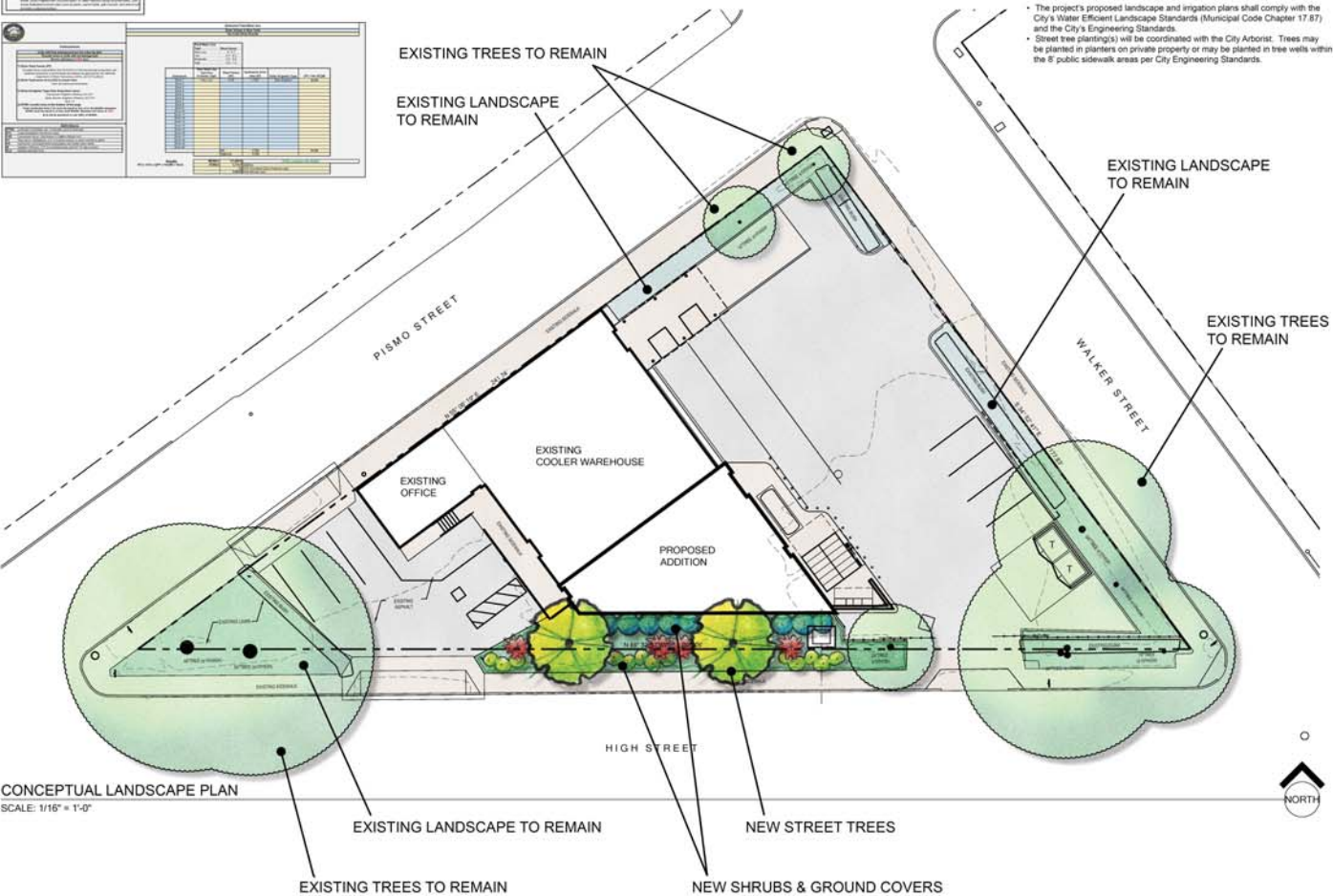
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["Water Use Classification of Landscape Species" \(WUCOLS IV, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION\)](#)



CONCEPTUAL LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

omni
design group
ARCHITECTURE
INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
130 HIGH STREET, SUITE 100
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PROJECT:
GLACIER ICE
COMPANY
ADDITION
130 HIGH STREET
SAN LUIS OBISPO, CALIFORNIA

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(805) 439-3208

SCHEMATIC
DESIGN

No.	Revision	Date	By

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PROJECT NUMBER: 1261-01
DATE: JULY 23, 2021
SHEET TITLE:
CONCEPTUAL
LANDSCAPE
PLAN

SHEET NUMBER:
L1.0