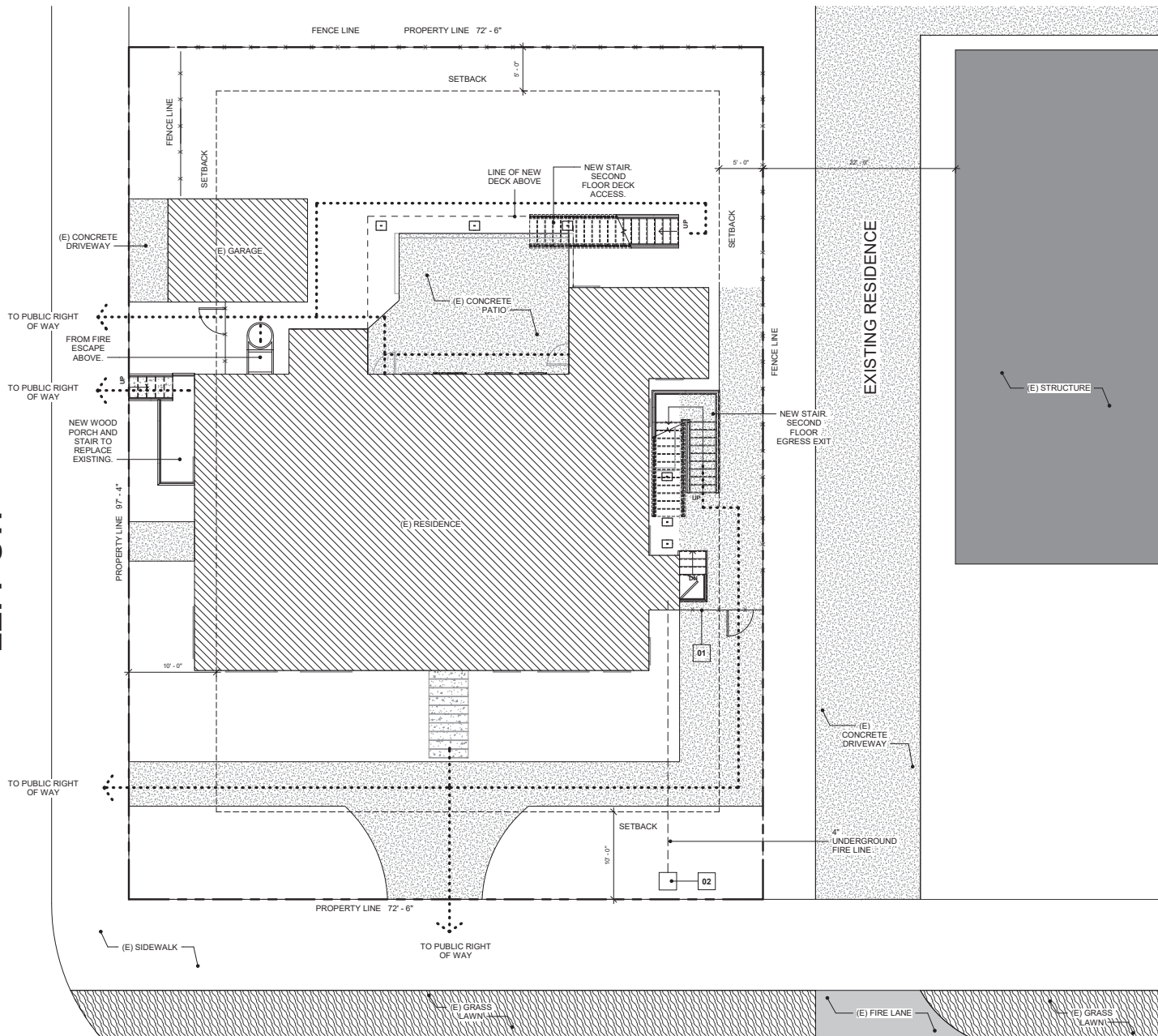


LEFF ST.



KEYNOTES
1. KNOX BOX LOCATION
2. DOUBLE DETECTOR CHECK VALVE BACKFLOW PREVENTER AND FDC.

13 KEYNOTES - SITE PLAN

LEGEND
PROPERTY LINE
SETBACK
FENCE LINE
EGRESS PATH

14 LEGEND - SITE PLAN



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PROJECT
ALLEN HOUSE RETROFIT
1700 OSOS ST.
SAN LUIS OBISPO, CA
93401
APN: 003-554-001

CLIENT
OSOS STREET HOLDING LLC
237 BLUEBONNET LN., UNIT 404
SCOTTS VALLEY, CA 95066
KARL_LEE@YAHOO.COM

SHEET TITLE
SITE PLAN

DATE: 08/05/2021

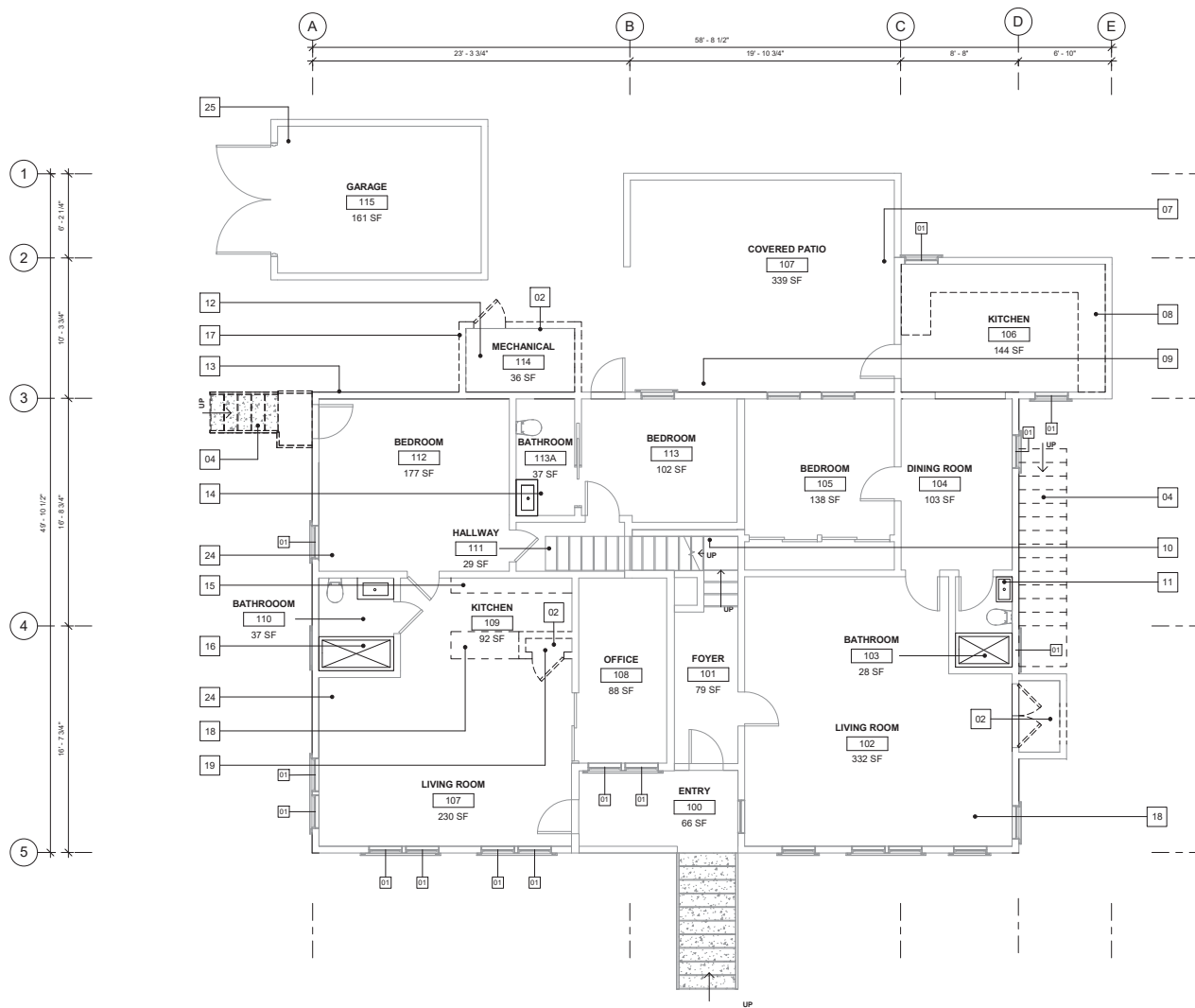
TECHNICIAN: NGB

PROJECT MANAGER: ACG

JOB NUMBER: 448

SHEET NUMBER

A1.1



GENERAL NOTES

- SEE KEYNOTE 2 FOR EXTENT OF DAMAGED PLASTER. CONTRACTOR TO USE DISCRETION WHEN IDENTIFYING AND REMOVING DAMAGED PLASTER. ARCHITECT TO BE NOTIFIED OF ANY LOCATIONS BEYOND THOSE DENOTED ON PLANS.

11 GENERAL NOTES - DEMO PLANS

KEYNOTES

- WINDOW TO BE REPLACED LIKE FOR LIKE. SEE WINDOW SCHEDULE, EXHIBIT A.1
- PLASTER TO BE REMOVED IN THIS LOCATION.
- OMIT
- (E) STAIRS TO BE DEMOLISHED.
- OMIT
- (E) SKYLIGHTS TO BE REMOVED.
- REMOVE ALL UNNECESSARY GAS LINES.
- REMOVE ALL DAMAGED CABINETRY, SINK, AND FIXTURES. REPLACE WITH NEW WORKING ITEMS.
- REMOVE UNNECESSARY AND "BOOTLEGGED" PLUMBING AND ELECTRICAL ITEMS.
- REMOVE AND REPLACE HANDRAIL TO MAKE IT SAFE, SECURE, AND UP TO CODE.
- REMOVE AND REPLACE WITH NEW FUNCTIONING ITEMS.
- SHED TO BE REMOVED AND REPLACED WITH A SAFE AND SECURE ONE.
- UPGRADE ELECTRIC SERVICE TO 400 AMPS.
- RECONNECT EXISTING PLUMBING IN OLD BATHROOM. ADD CEILING FAN AND EXHAUST TO OUTSIDE. REMOVE NON-CONFORMING BOOKSHELF, REFRAME AND RECLOSE WALL.
- REMOVE CABINETS AND REPLACE ALL DAMAGED AND NON-FUNCTIONING ITEMS. REPLACE WITH NEW CABINETS.
- REMOVE OLD VANITY, OLD LINOLEUM, TILES, TUB, AND OLD PLASTER. INSPECT AND REPLACE SUBFLOORING IF NEEDED. RETAIN TUB. REPLACE REST WITH NEW.
- REMOVAL OF EXISTING WATER HEATER, TO BE REPLACED BY TANKLESS WATER HEATER AND MOUNTED ON SIDE OF HOUSE NEXT TO FIRE ESCAPE LADDER - 4" TO THE RIGHT OF THE LADDER. WATER HEATER ENCLOSURE TO BE CONSTRUCTED TO CURRENT FRAMING CODE AND USED TO ENCLOSE THE WASHER AND DRYER, WHICH USED TO BE LOCATED OUTDOORS ON THE COVERED PATIO AREA. THE STRUCTURE WILL USE EXISTING GAS, WATER, AND DRAINS.
- REMOVE KITCHEN ISLAND AND REPLACE WITH NEW ISLAND.
- REMOVE NON LOAD BEARING WALL.
- REMOVE AND REPLACE DILAPDATED SHED AND REBUILD TO MAKE SAFE AND SECURE.
- REMOVE AND REPLACE ALL PLUMBING BRINGING IT UP TO CODE.
- MOVE DOOR OUT TO EXPAND BATHROOM.
- REMOVE NON LOAD BEARING WALL TO EXPAND BATHROOM.
- REMOVE EXISTING INOPERABLE FLOOR MOUNTED RADIANT HEATERS. REFRAME FLOORING AND COVER WITH 1" PLYWOOD.
- REPAIR EXISTING GARAGE. REMOVE AND REPLACE DAMAGED GARAGE SIDING, EXISTING NON-CONFORMING FRAMING, ROOF, AND DILAPDATED GARAGE DOOR.

12 KEYNOTES - DEMO PLAN

LEGEND

- | | |
|-----|--|
| --- | EXISTING WALL, DOOR, WINDOW, OR ROOF TO BE DEMOLISHED. |
|-----|--|

13 LEGEND - DEMO PLAN

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SHEET TITLE

DEMO PLAN - LEVEL 1

DATE: 08/05/2021

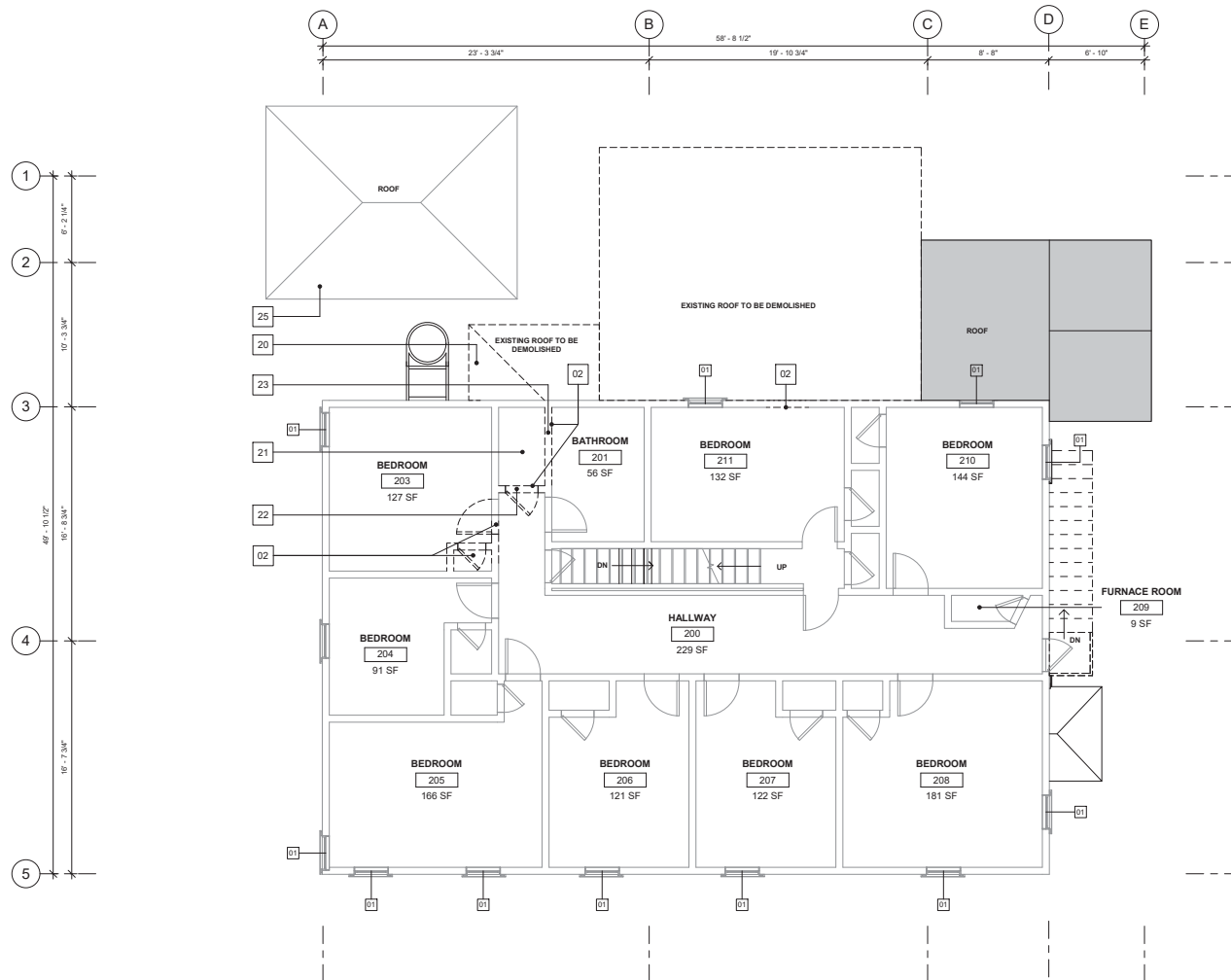
TECHNICIAN: NGB

PROJECT MANAGER: ACG

JOB NUMBER: 448

SHEET NUMBER

A2.01



- ### GENERAL NOTES
- SEE KEYNOTE 2 FOR EXTENT OF DAMAGED PLASTER. CONTRACTOR TO USE DISCRETION WHEN IDENTIFYING AND REMOVING DAMAGED PLASTER. ARCHITECT TO BE NOTIFIED OF ANY LOCATIONS BEYOND THOSE INDICATED ON PLANS.

11 GENERAL NOTES - DEMO PLANS

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12 KEYNOTES - DEMO PLAN

LEGEND	
	EXISTING WALL, DOOR, WINDOW, OR ROOF TO BE DEMOLISHED.

13 LEGEND - DEMO PLAN

GENERAL NOTES

- SEE KEYNOTE 2 FOR EXTENT OF DAMAGED PLASTER. CONTRACTOR TO USE DISCRETION WHEN IDENTIFYING AND REMOVING DAMAGED PLASTER. ARCHITECT TO BE NOTIFIED OF ANY LOCATIONS BEYOND THOSE DEMOTED ON PLANS.

11 GENERAL NOTES - DEMO PLANS

KEYNOTES

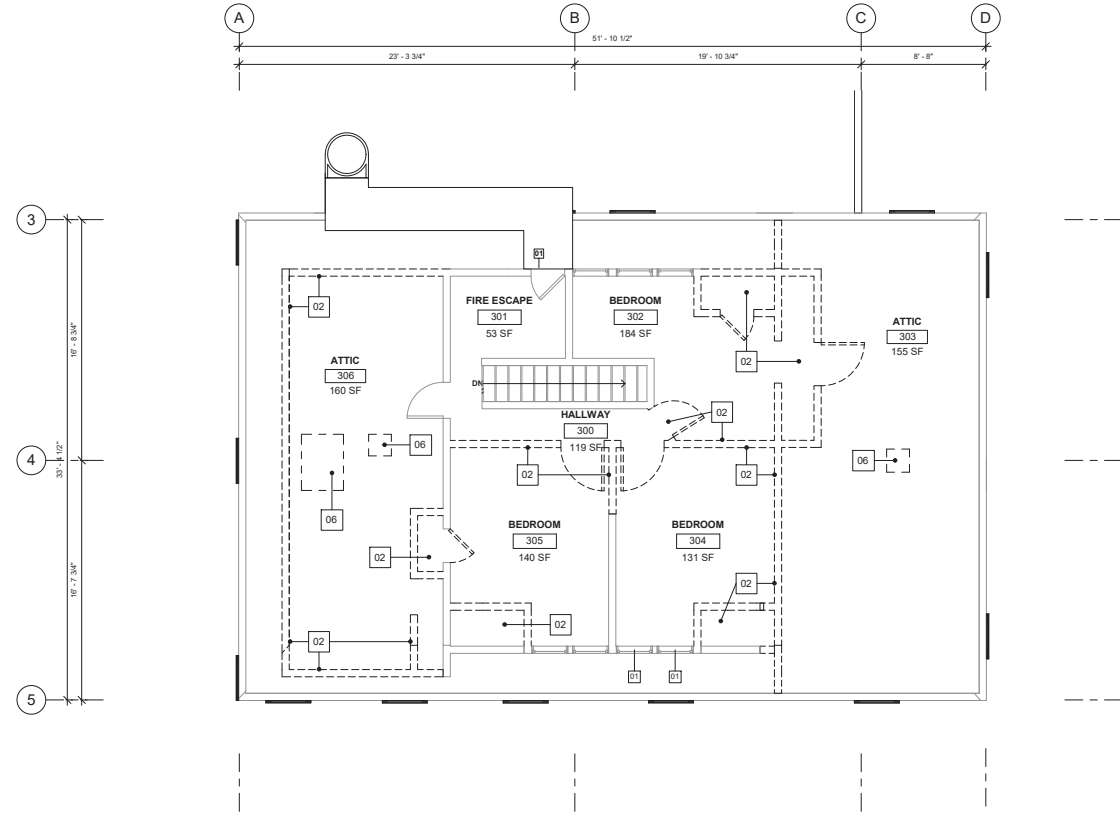
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- REPAIR EXISTING GARAGE. REMOVE AND REPLACE DAMAGED GARAGE SIDING, EXISTING NON-CONFORMING FRAMING, ROOF, AND DILAPIDATED GARAGE DOOR.

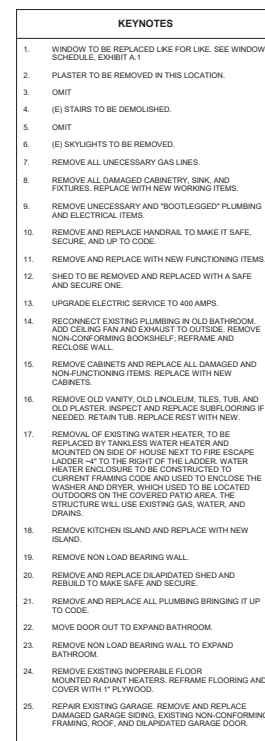
12 KEYNOTES - DEMO PLAN

LEGEND

---	EXISTING WALL, DOOR, WINDOW, OR ROOF TO BE DEMOLISHED
-----	---

13 LEGEND - DEMO PLAN





LEGEND	
[- - -]	EXISTING WALL, DOOR, WINDOW, OR ROOF TO BE DEMOLISHED.

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REVISIONS

REV #	REV DATE	REV DESCRIPTION
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SEAL

PROJECT

ALLEN HOUSE RETROFIT
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APN: 003-554-001

CLIENT
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SHEET TITLE

DEMO PLAN - ROOF

DATE: 08/05/2021

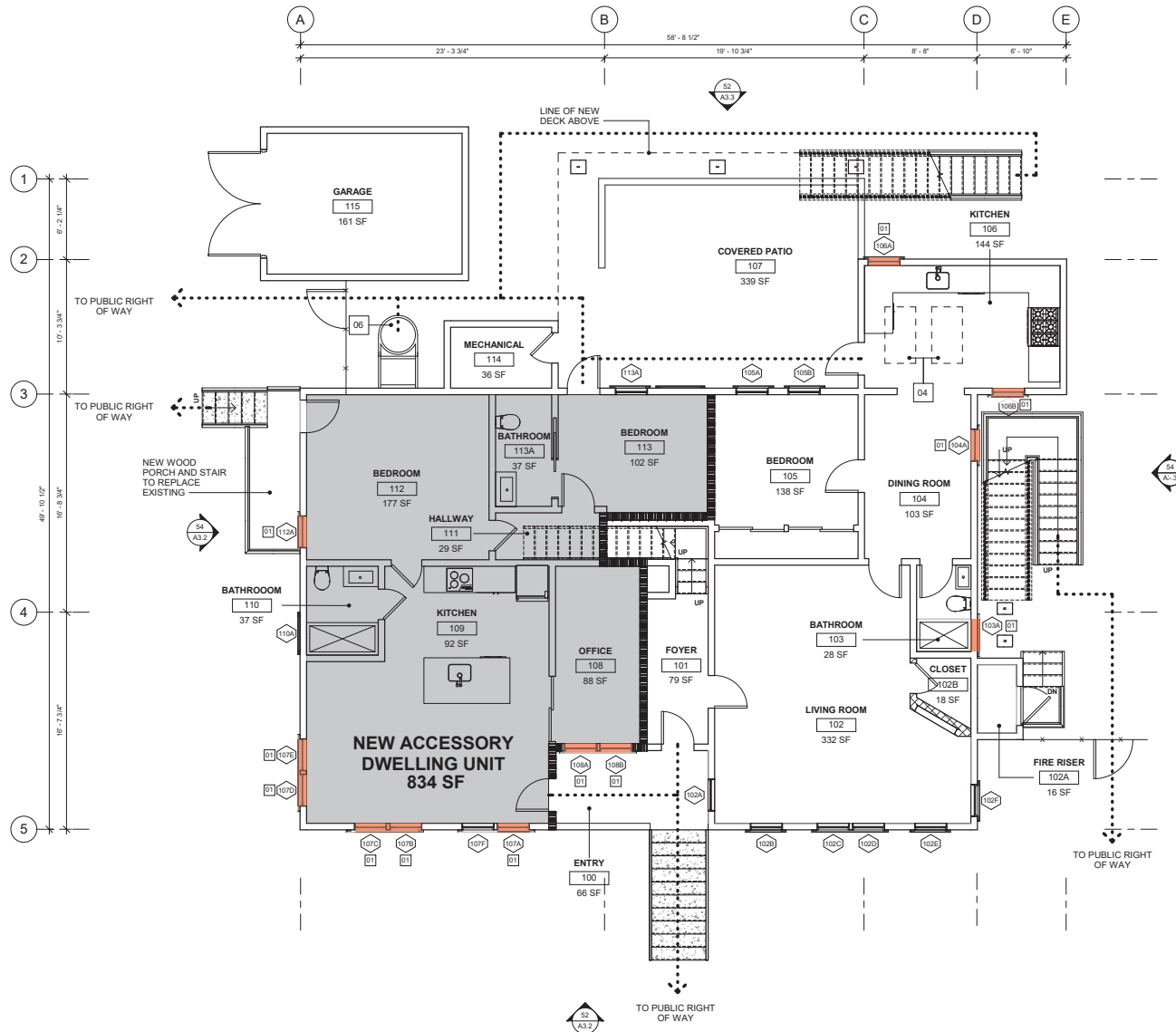
TECHNICIAN: NGB

PROJECT MANAGER: ACG

JOB NUMBER: 448

SHEET NUMBER

A2.04



- GENERAL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR AS-BUILT CONDITION. INTERIOR WALLS ARE DIAGRAMMATIC ONLY.
 - PLANS NOT TO BE SCALE FOR CONSTRUCTION

11 GENERAL NOTES - PLANS

- KEYNOTES**
- WINDOW TO BE REPLACED LIKE FOR LIKE. SEE SHEET AS.1 FOR WINDOW SCHEDULE.
 - OMIT
 - (N) EGRESS SKYLIGHT, VELUX GPU MKK6. EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1.
 - (N) FIXED VELUX SKYLIGHTS. EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: DARK GREY.
 - (N) EGRESS SKYLIGHT, VELUX GXU FK66. EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1.
 - (E) FIRE ESCAPE LADDER AND LANDING TO BE REPLACED TO MEET CURRENT CODE STANDARDS.

12 KEYNOTES - PLANS

LEGEND	
.....	EGRESS PATH
	(N) 12 HOUR FIRE PARTITION

13 LEGEND - PLANS

WINDOWS TO BE REPLACED



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PROJECT
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APN: 003-554-001

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KARL_LEE@YAHOO.COM

SHEET TITLE
FLOOR PLAN - LEVEL 1

DATE: 08/05/2021

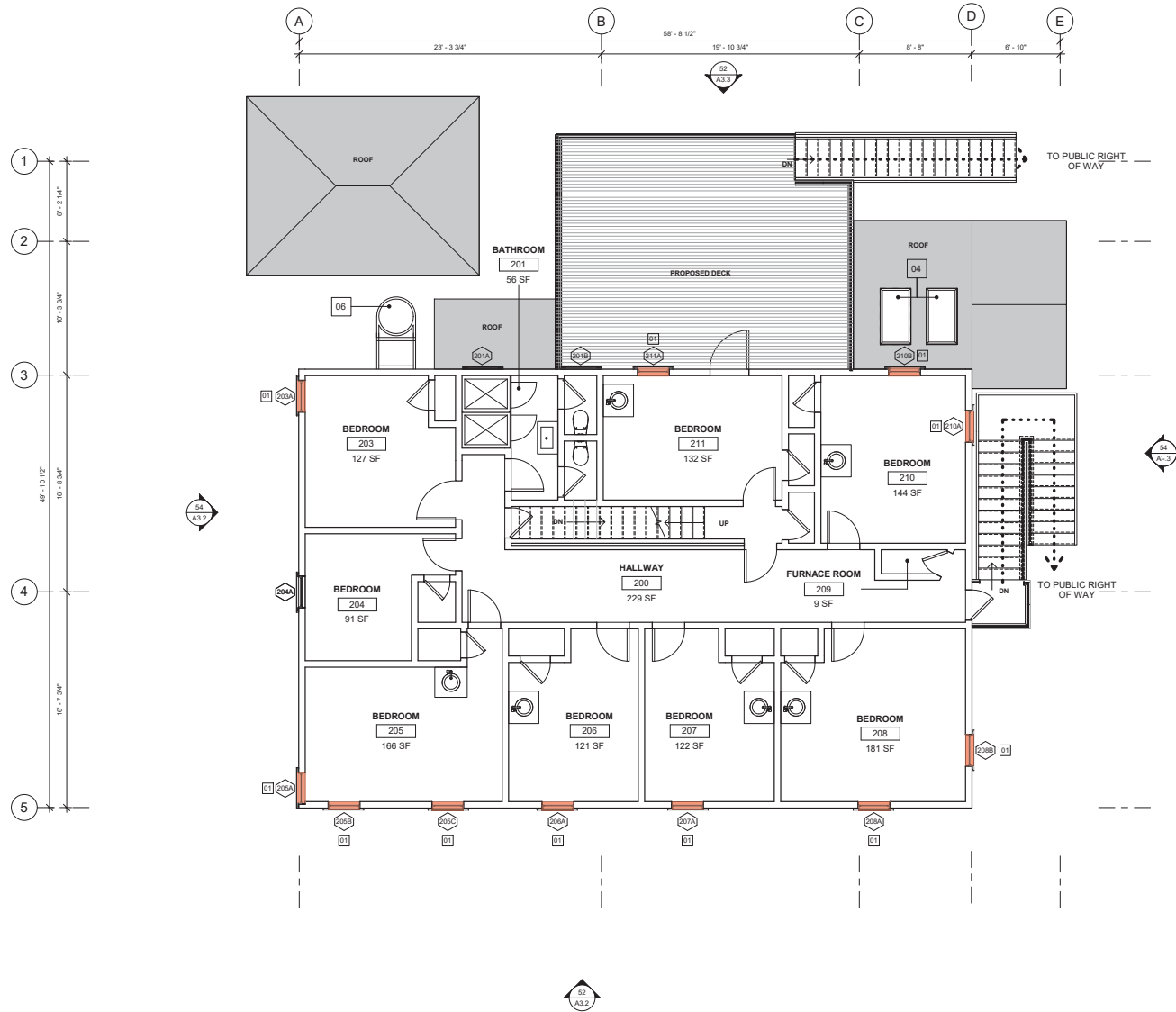
TECHNICIAN: NGB

PROJECT MANAGER: ACG

JOB NUMBER: 448

SHEET NUMBER

A2.11



- GENERAL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR AS-BUILT CONDITION. INTERIOR WALLS ARE DIAGRAMMATIC ONLY.
 - PLANS NOT TO BE SCALE FOR CONSTRUCTION

11 GENERAL NOTES - PLANS

- KEYNOTES**
- WINDOW TO BE REPLACED LIKE FOR LIKE. SEE SHEET A5.1 FOR WINDOW SCHEDULE.
 - OMIT
 - (N) EGRESS SKYLIGHT, VELUX GPU MK96. EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1.
 - (N) FIXED VELUX SKYLIGHTS. EXTERIOR COLOR: DARK GREY, INTERIOR COLOR
 - (N) EGRESS SKYLIGHT, VELUX GXU FK96. EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1.
 - (E) FIRE ESCAPE LADDER AND LANDING TO BE REPLACED TO MEET CURRENT CODE STANDARDS.

12 KEYNOTES - PLANS

LEGEND	
.....	EGRESS PATH
	(N) 1/2 HOUR FIRE PARTITION

13 LEGEND - PLANS

WINDOWS TO BE REPLACED



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APN: 003-554-001

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237 BLUEBONNET LN., UNIT 404
SCOTTS VALLEY, CA 95066
KARL_LEE@YAHOO.COM

SHEET TITLE

FLOOR PLAN - LEVEL 2

DATE: 08/05/2021

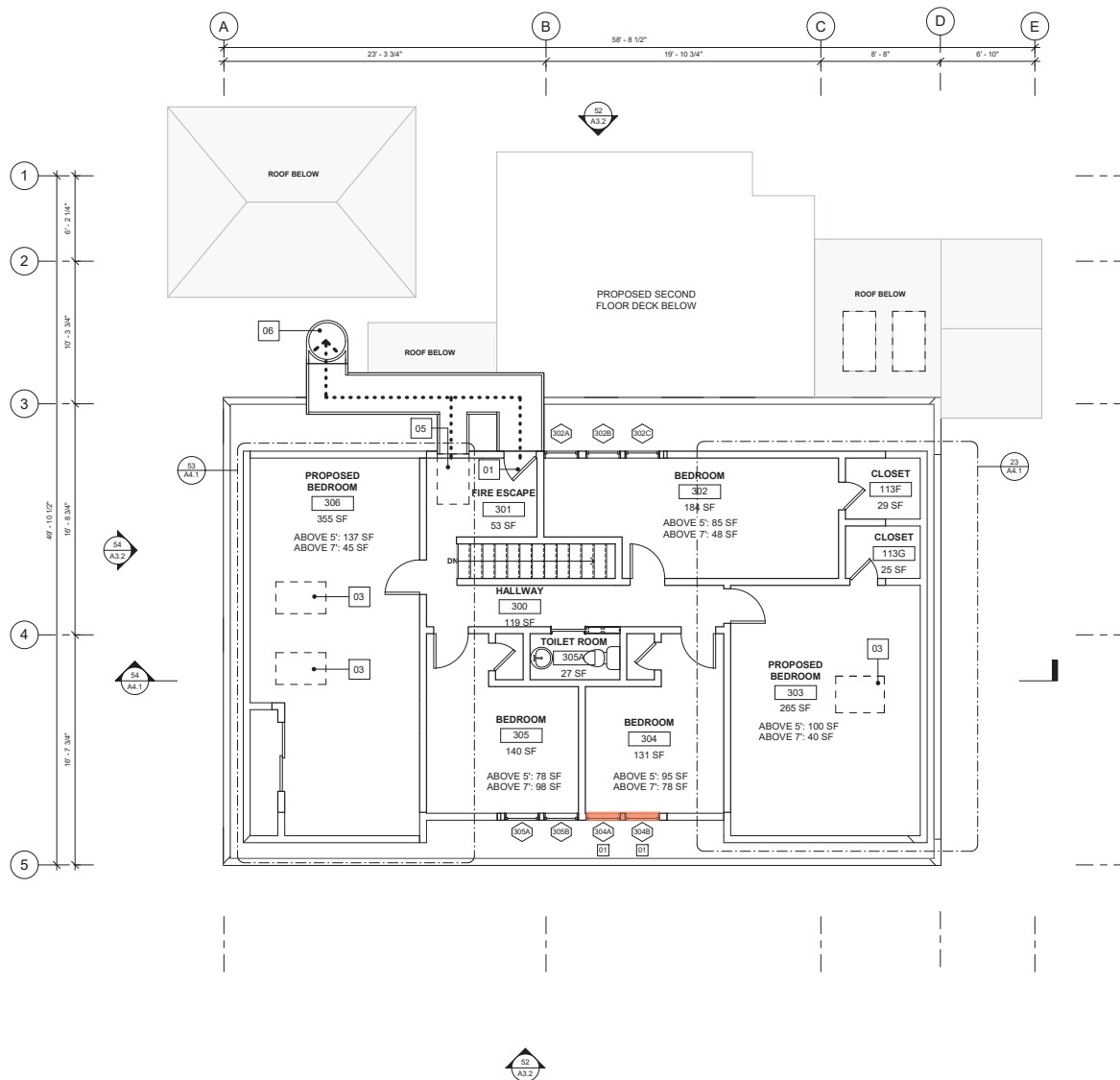
TECHNICIAN: NGB

PROJECT MANAGER: ACG

JOB NUMBER: 448

SHEET NUMBER

A2.12



GENERAL NOTES	
1.	CONTRACTOR IS RESPONSIBLE FOR AS-BUILT CONDITION. INTERIOR WALLS ARE DIAGRAMMATIC ONLY.
2.	PLANS NOT TO BE SCALE FOR CONSTRUCTION

11 GENERAL NOTES - PLANS

KEYNOTES	
1.	WINDOW TO BE REPLACED LIKE FOR LIKE. SEE SHEET A5.1 FOR WINDOW SCHEDULE.
2.	OMIT
3.	(N) EGRESS SKYLIGHT - VELUX GPU MK06. EXTERIOR COLOR: DARK GREY. INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1.
4.	(N) FIXED VELUX SKYLIGHTS. EXTERIOR COLOR: DARK GREY. INTERIOR COLOR
5.	(N) EGRESS SKYLIGHT - VELUX GXU PK06. EXTERIOR COLOR: DARK GREY. INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1.
6.	(E) FIRE ESCAPE LADDER AND LANDING TO BE REPLACED TO MEET CURRENT CODE STANDARDS.

12 KEYNOTES - PLANS

LEGEND	
.....	EGRESS PATH
	(N) 1/2 HOUR FIRE PARTITION

13 LEGEND - PLANS

WINDOWS TO BE REPLACED



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95066
KARL_LEE@YAHOO.COM

SHEET TITLE

FLOOR PLAN - LEVEL 3

DATE:

08/05/2021

TECHNICIAN:

NGB

PROJECT MANAGER:

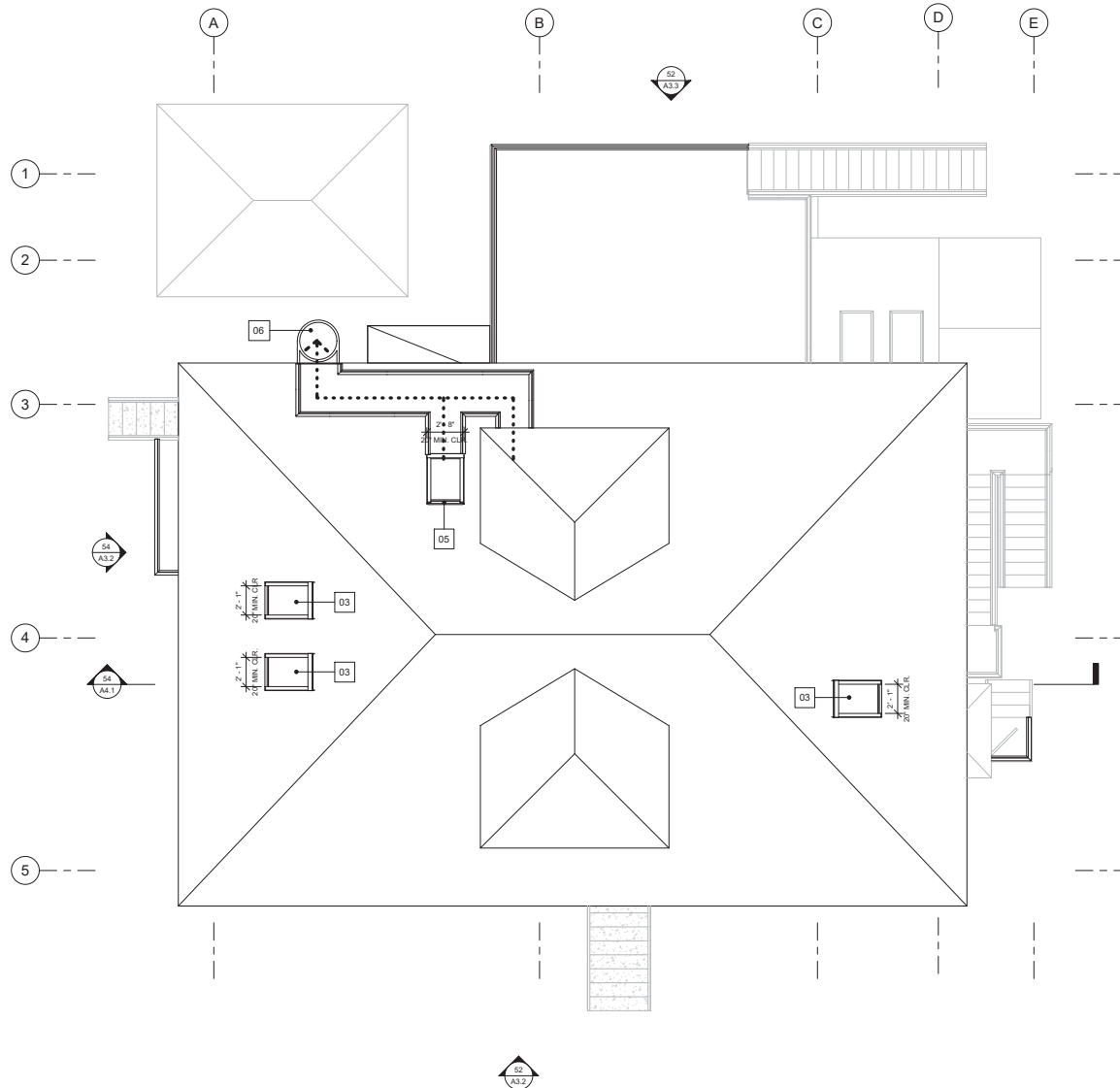
ACG

JOB NUMBER:

448

SHEET NUMBER

A2.13



GENERAL NOTES	
1.	CONTRACTOR IS RESPONSIBLE FOR AS-BUILT CONDITION. INTERIOR WALLS ARE DIAGRAMMATIC ONLY.
2.	PLANS NOT TO BE SCALE FOR CONSTRUCTION

11 GENERAL NOTES - PLANS

KEYNOTES	
1.	WINDOW TO BE REPLACED LIKE FOR LIKE. SEE WINDOW SCHEDULE, EXHIBIT A-1
2.	OMIT
3.	(N) EGRESS SKYLIGHT, VELUX GPU MK06, EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1
4.	(N) FIXED VELUX SKYLIGHTS. EXTERIOR COLOR: DARK GREY, INTERIOR COLOR
5.	(N) EGRESS SKYLIGHT, VELUX GXU FK06, EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1
6.	(E) FIRE ESCAPE LADDER AND LANDING TO BE REPLACED TO MEET CURRENT CODE STANDARDS.
7.	(N) EXTERIOR EGRESS STAIR.

12 KEYNOTES - PLANS

LEGEND	
.....	EGRESS PATH
	(N) 1/2 HOUR FIRE PARTITION

13 LEGEND - PLANS

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SHEET TITLE
ROOF PLAN

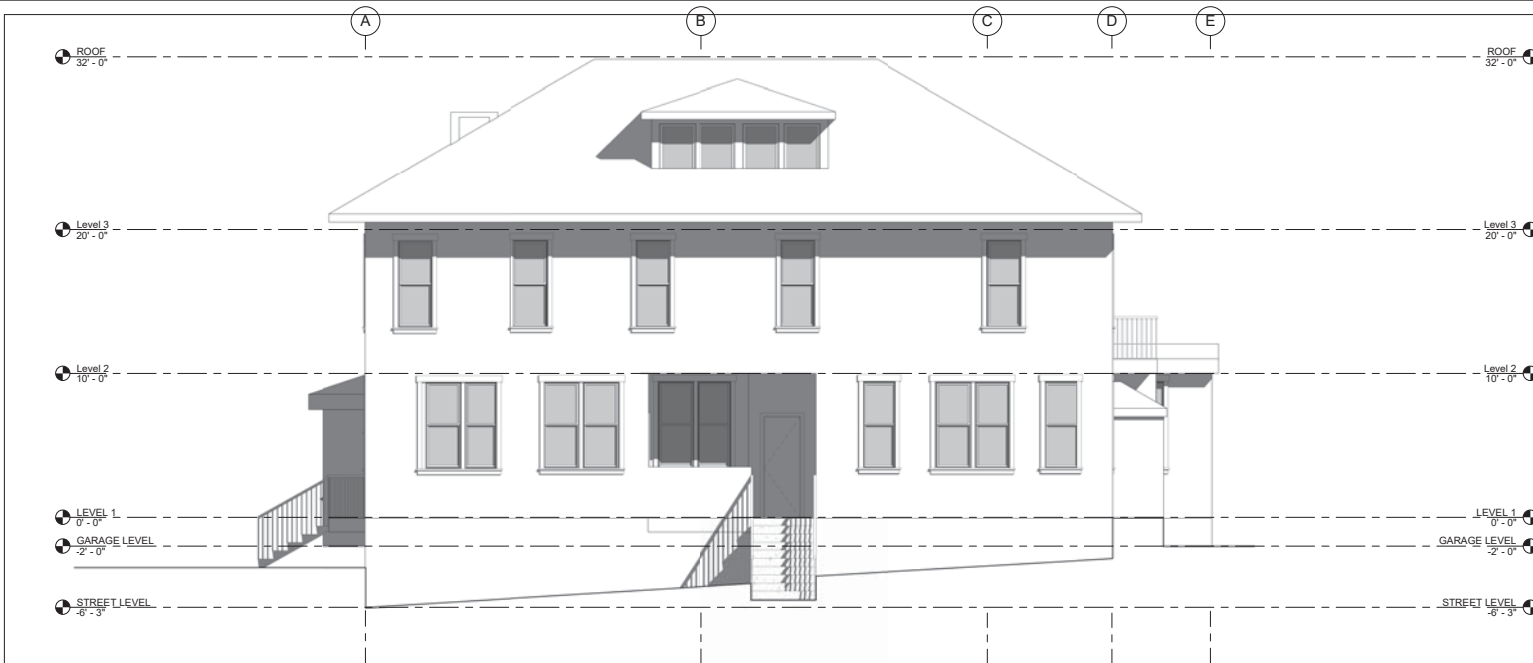
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TECHNICIAN: NGB

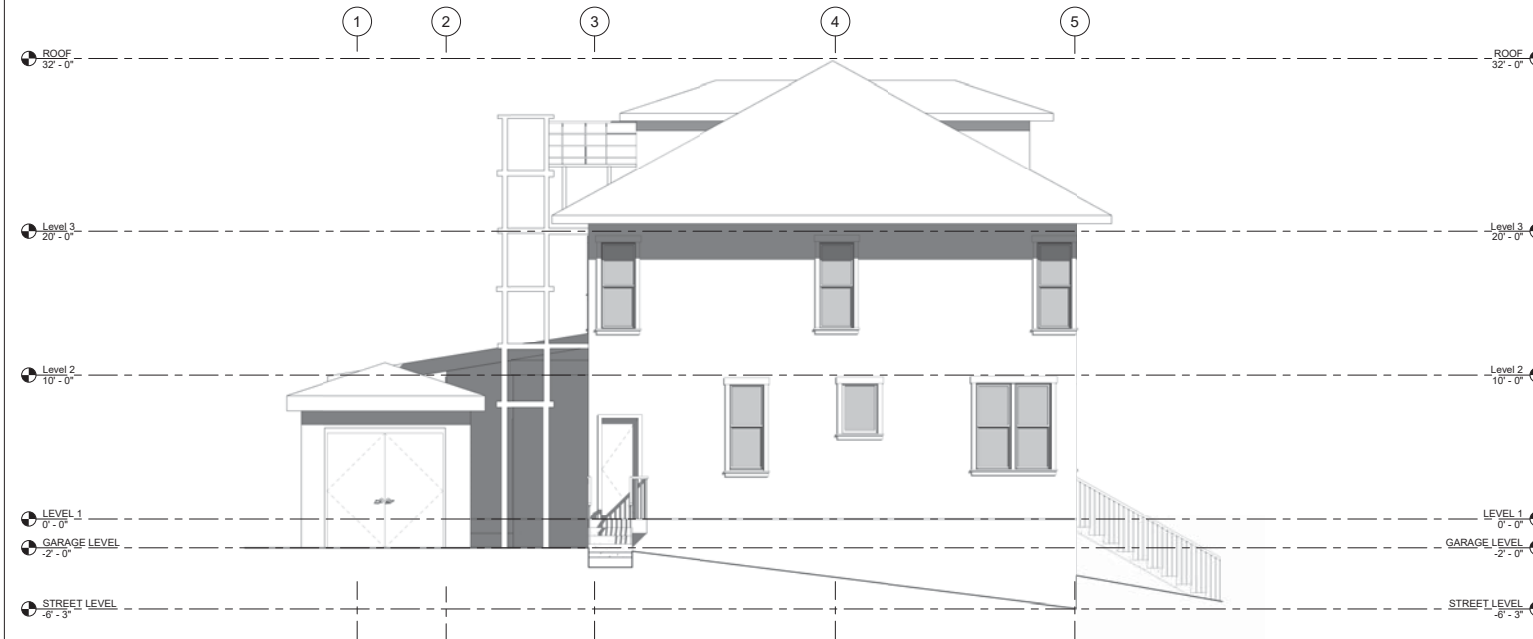
PROJECT MANAGER: ACG

JOB NUMBER: 448

SHEET NUMBER
A2.20



52 EXISTING ELEVATION - SOUTH
1/4" = 1'-0"



54 EXISTING ELEVATION - WEST
1/4" = 1'-0"

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SHEET TITLE
EXISTING ELEVATIONS

DATE: 08/05/2021

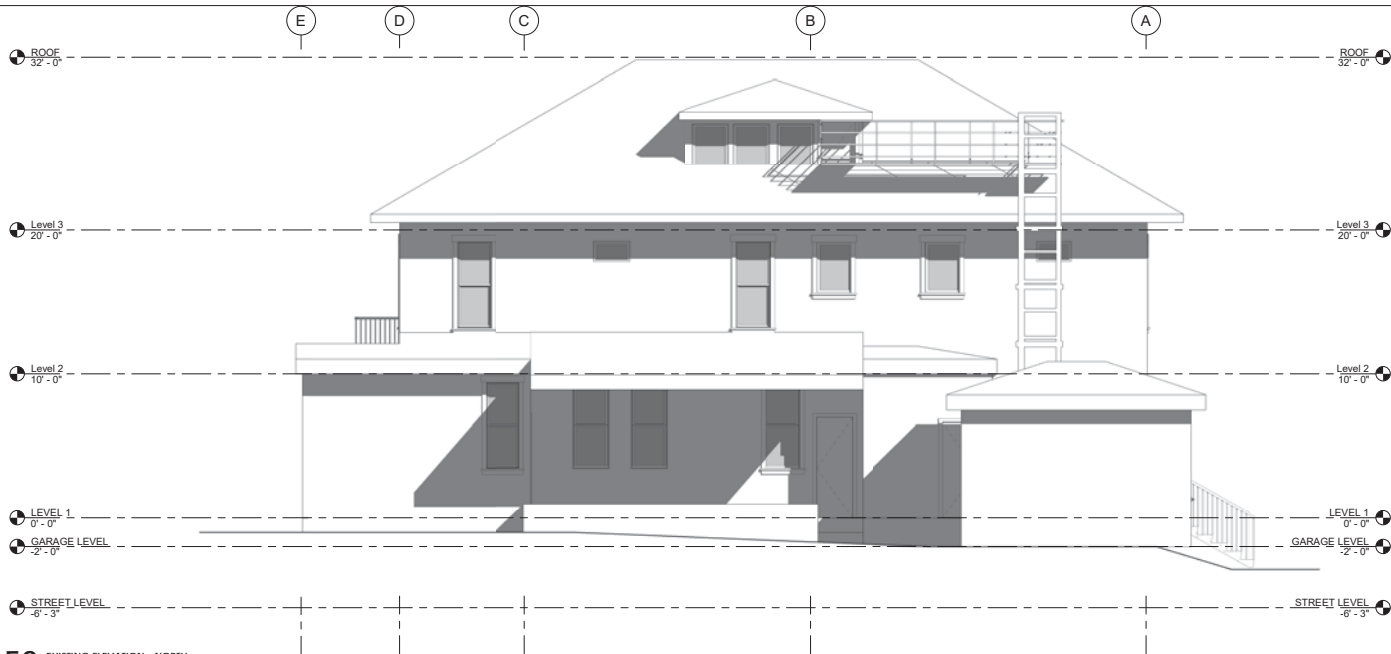
TECHNICIAN: Author

PROJECT MANAGER/Designer:

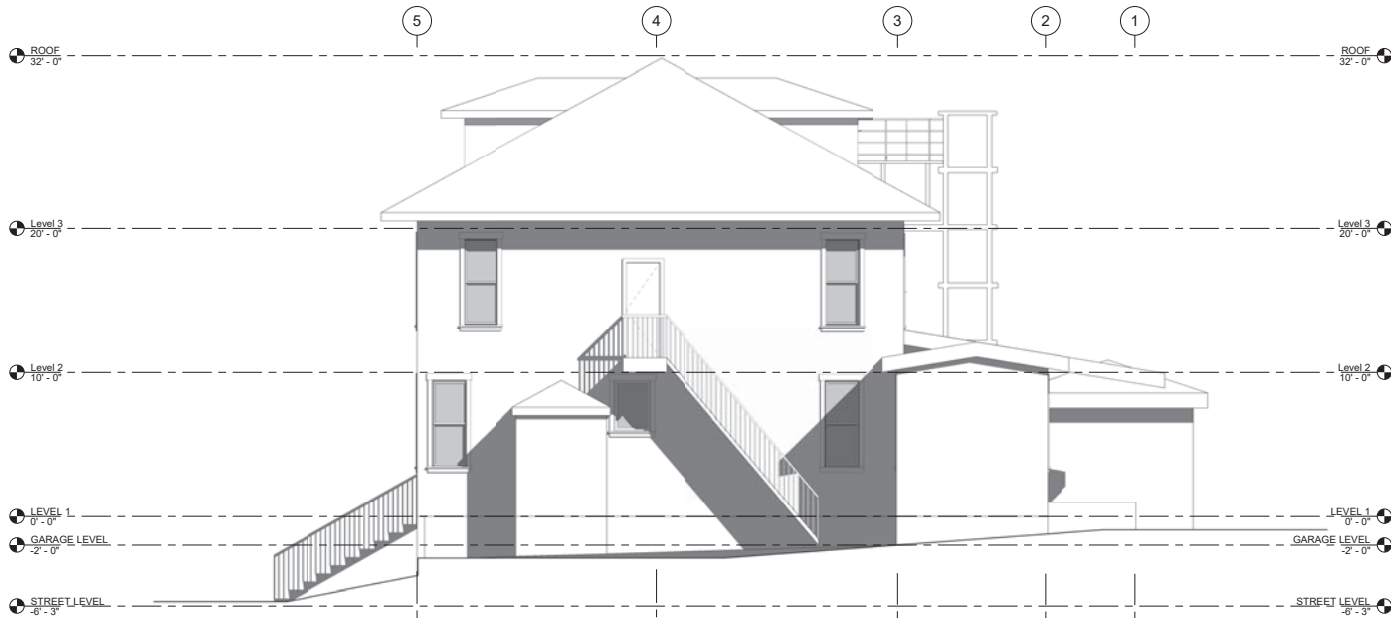
JOB NUMBER: 448

SHEET NUMBER

A3.0



52 EXISTING ELEVATION - NORTH
1/4" = 1'-0"



54 EXISTING ELEVATION - EAST
1/4" = 1'-0"

AGD
ARCHITECTURE | DESIGN

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REV # | REV DATE | REV DESCRIPTION

SEAL

PROJECT
ALLEN HOUSE RETROFIT
1700 OSOS ST.
SAN LUIS OBISPO, CA
93401
APN: 003-554-001
CLIENT
OSOS STREET
HOLDING LLC
237 BLUEBONNET LN.,
UNIT 404
SCOTTS VALLEY, CA
95066
KARL_LEE@YAHOO.COM

SHEET TITLE
EXISTING ELEVATIONS

DATE: 08/05/2021

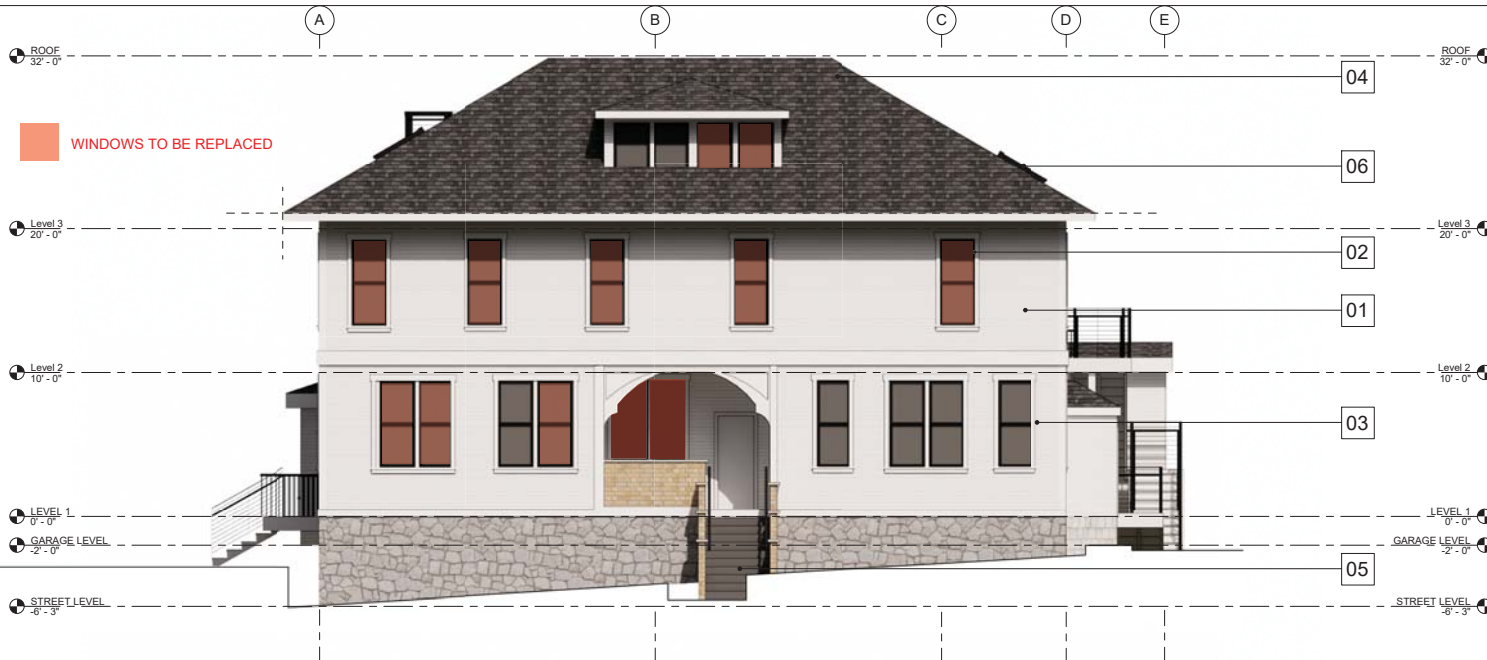
TECHNICIAN: Author

PROJECT MANAGER/Designer

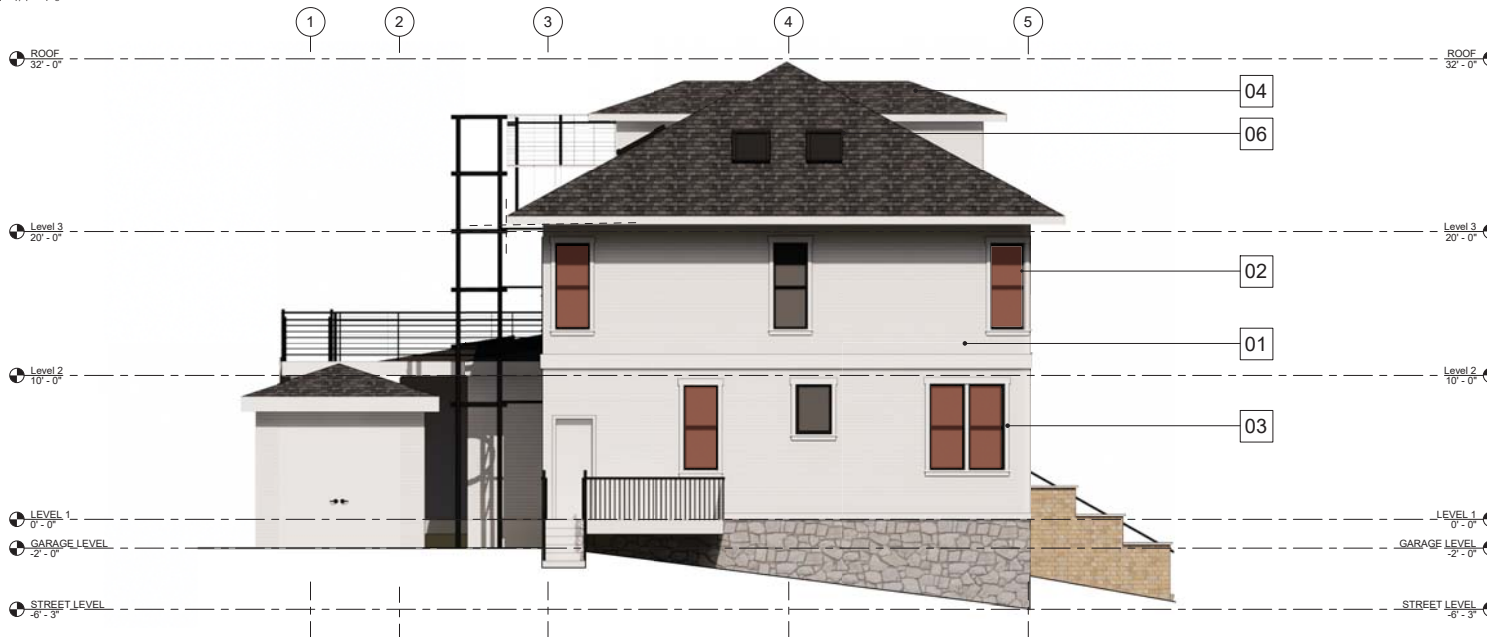
JOB NUMBER: 448

SHEET NUMBER

A3.1



52 PROPOSED ELEVATION - SOUTH
1/4" = 1'-0"



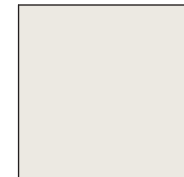
54 PROPOSED ELEVATION - WEST
1/4" = 1'-0"



1. EXISTING EXTERIOR WALLS TO BE PAINTED SHERWIN WILLIAMS SW 7008, ALABASTER OR EQUIVALENT



2. NOTED WINDOWS TO BE REPLACED FOR LIKE. WINDOW FRAMES TO BE SOLID WOOD WITH ALUMINUM CLAD EXTERIOR, PAINTED SW 6891, BLACK MAGIC OR EQUIVALENT. SASHES THAT WILL NOT BE REPLACED TO ALSO BE PAINTED SW 6891, BLACK MAGIC OR EQUIVALENT



3. EXISTING WINDOW TRIM TO BE PAINTED SHERWIN WILLIAMS SW 7008, ALABASTER OR EQUIVALENT



4. REPLACE EXISTING ROOF SHINGLES WITH SIMILAR 3-TAB COMPOSITION ASPHALT BY LANDMARK, MOIRE BLACK COLOR OR EQUIVALENT



5. EXISTING CONCRETE STEPS TO BE PAINTED SW 7045, INTELLECTUAL GRAY OR EQUIVALENT.

6. (N) EGRESS SKYLIGHT, VELUX GPU MK06, EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: WHITE. SEE EXHIBITS: B.1, B.2, AND C.1

15 KEYNOTES - ELEVATIONS

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ARCHITECTURE | DESIGN

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SHEET TITLE

PROPOSED EXTERIOR
ELEVATIONS

DATE: 08/05/2021

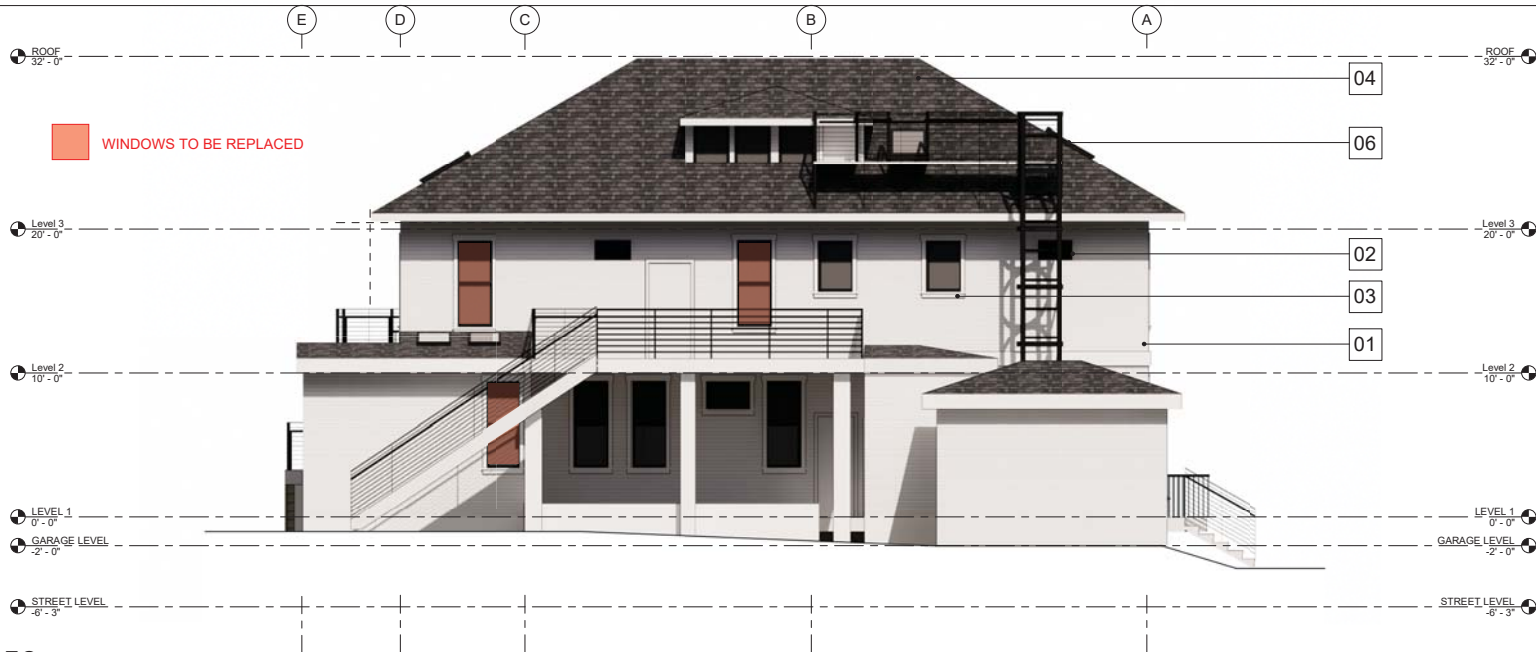
TECHNICIAN: NGB

PROJECT MANAGER: ACG

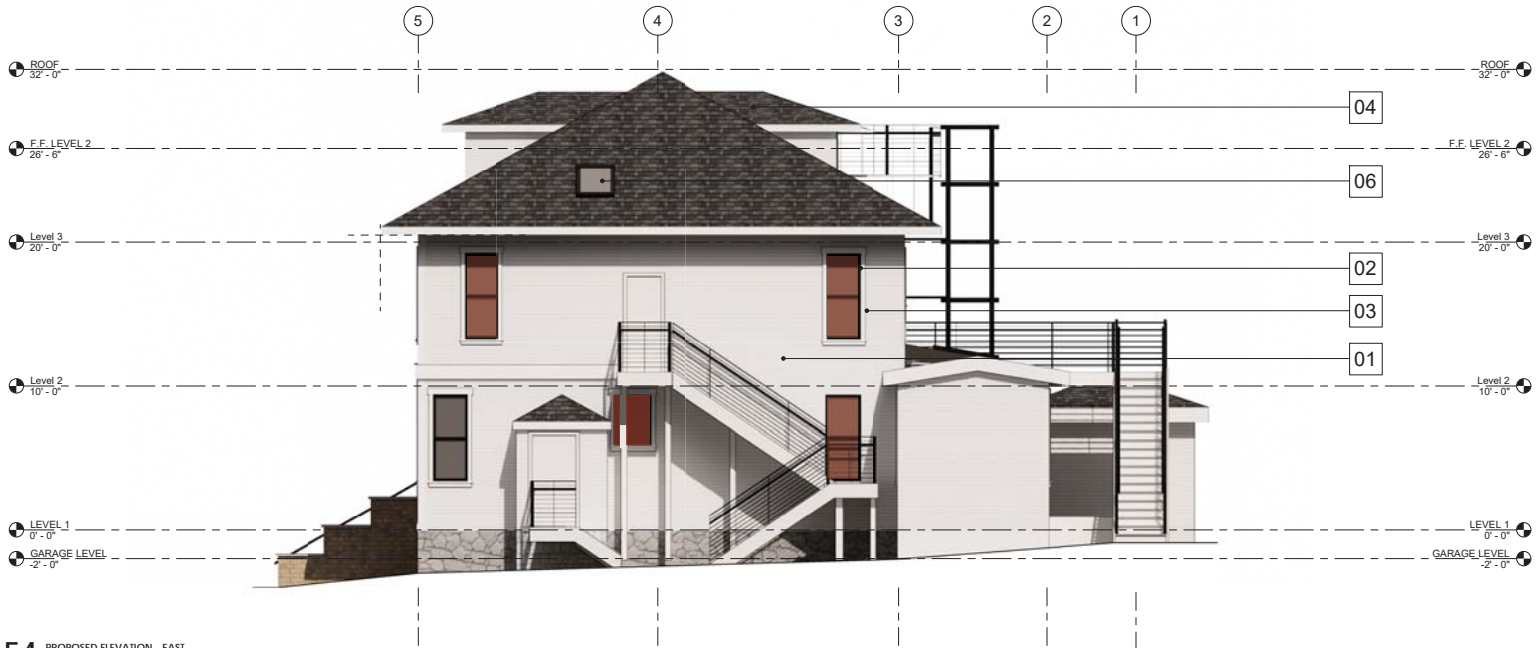
JOB NUMBER: 448

SHEET NUMBER

A3.2



52 PROPOSED ELEVATION - NORTH
1/4" = 1'-0"



54 PROPOSED ELEVATION - EAST
1/4" = 1'-0"



1. EXISTING EXTERIOR WALLS TO BE PAINTED SHERWIN WILLIAMS SW 7008, ALABASTER OR EQUIVALENT



2. NOTED WINDOWS TO BE REPLACED FOR LIKE WINDOW FRAMES TO BE SOLID WOOD WITH ALUMINUM CLAD EXTERIOR, PAINTED SW 6991, BLACK MAGIC OR EQUIVALENT. SASHES THAT WILL NOT BE REPLACED TO ALSO BE PAINTED SW 6991, BLACK MAGIC OR EQUIVALENT



3. EXISTING WINDOW TRIM TO BE PAINTED SHERWIN WILLIAMS SW 7008, ALABASTER OR EQUIVALENT



4. REPLACE EXISTING ROOF SHINGLES WITH SIMILAR 3-TAB COMPOSITION ASPHALT BY LANDMARK, MOIRE BLACK COLOR OR EQUIVALENT



5. EXISTING CONCRETE STEPS TO BE PAINTED SW 7045, INTELLECTUAL GRAY OR EQUIVALENT.

6. (N) EGRESS SKYLIGHT, VELUX GPU MK06, EXTERIOR COLOR: DARK GREY, INTERIOR COLOR: WHITE. SEE EXHIBITS B.1, B.2, AND C.1

15 KEYNOTES - ELEVATIONS

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SHEET TITLE
PROPOSED EXTERIOR
ELEVATIONS

DATE: 08/05/2021

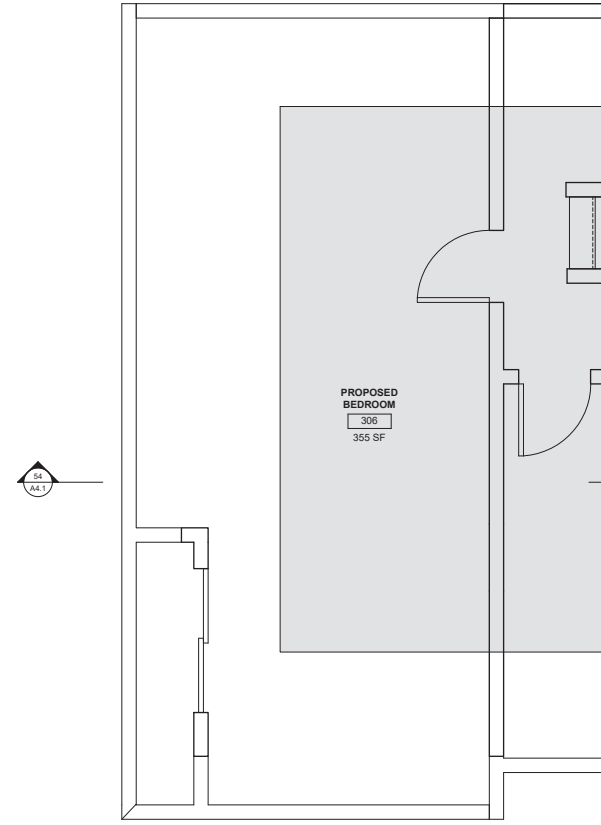
TECHNICIAN: NGB

PROJECT MANAGER: AGD

JOB NUMBER: 448

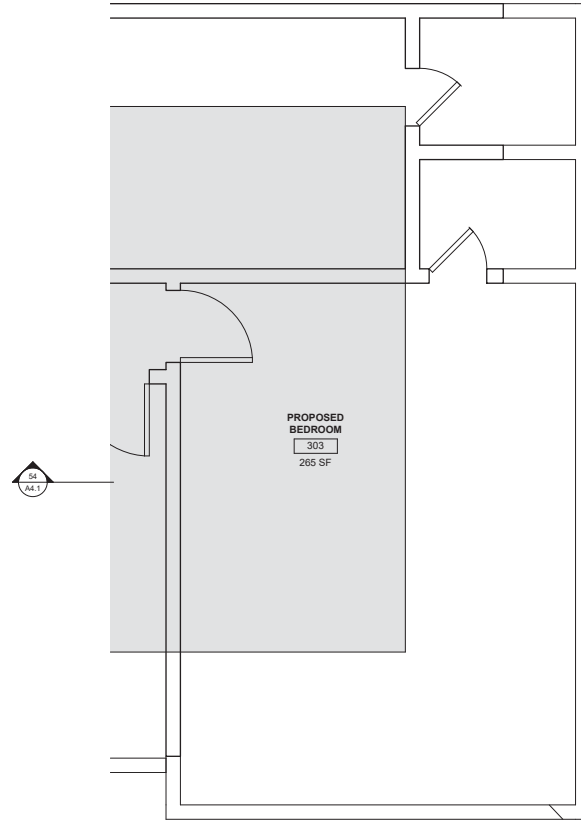
SHEET NUMBER

A3.3



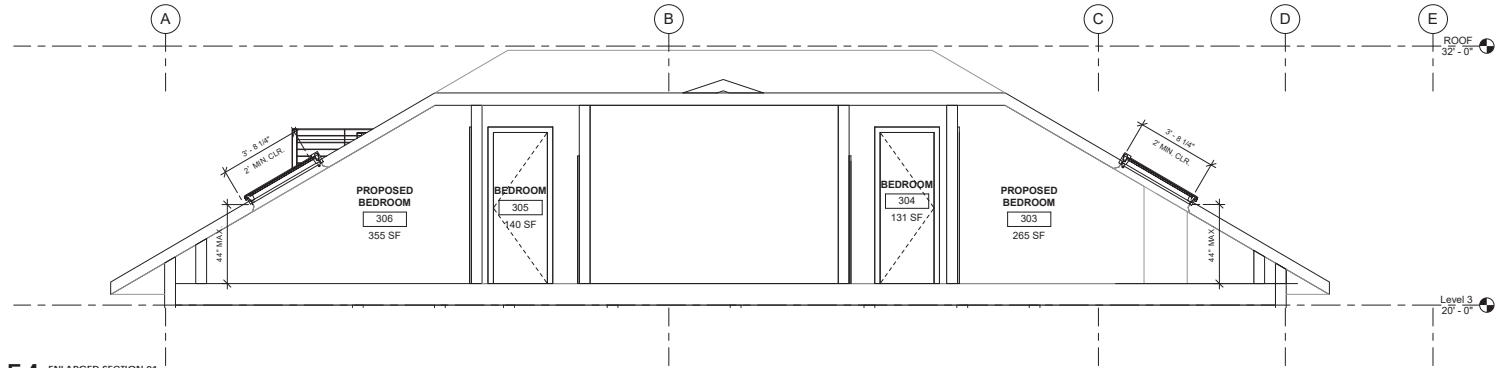
AREA OF HABITABLE SPACE, PER CRC 2019 MUST BE 70 SF OR LARGER WITH SLOPED CEILING OVER 5' - 0". PROPOSED BEDROOM HAS 160 SF WITH A CEILING HIGHER THAN 5' - 0" AND MORE THAN 35 SF WITH A CEILING HIGHER THAN 7' - 0"

53 ENLARGED PLAN
1/2" = 1'-0"



AREA OF HABITABLE SPACE, PER CRC 2019 MUST BE 70 SF OR LARGER WITH SLOPED CEILING OVER 5' - 0". PROPOSED BEDROOM HAS 155 SF WITH A CEILING HIGHER THAN 5' - 0" AND MORE THAN 35 SF WITH A CEILING HIGHER THAN 7' - 0"

23 ENLARGED PLAN
1/2" = 1'-0"



54 ENLARGED SECTION 01
3/8" = 1'-0"

Proposed replacement window:

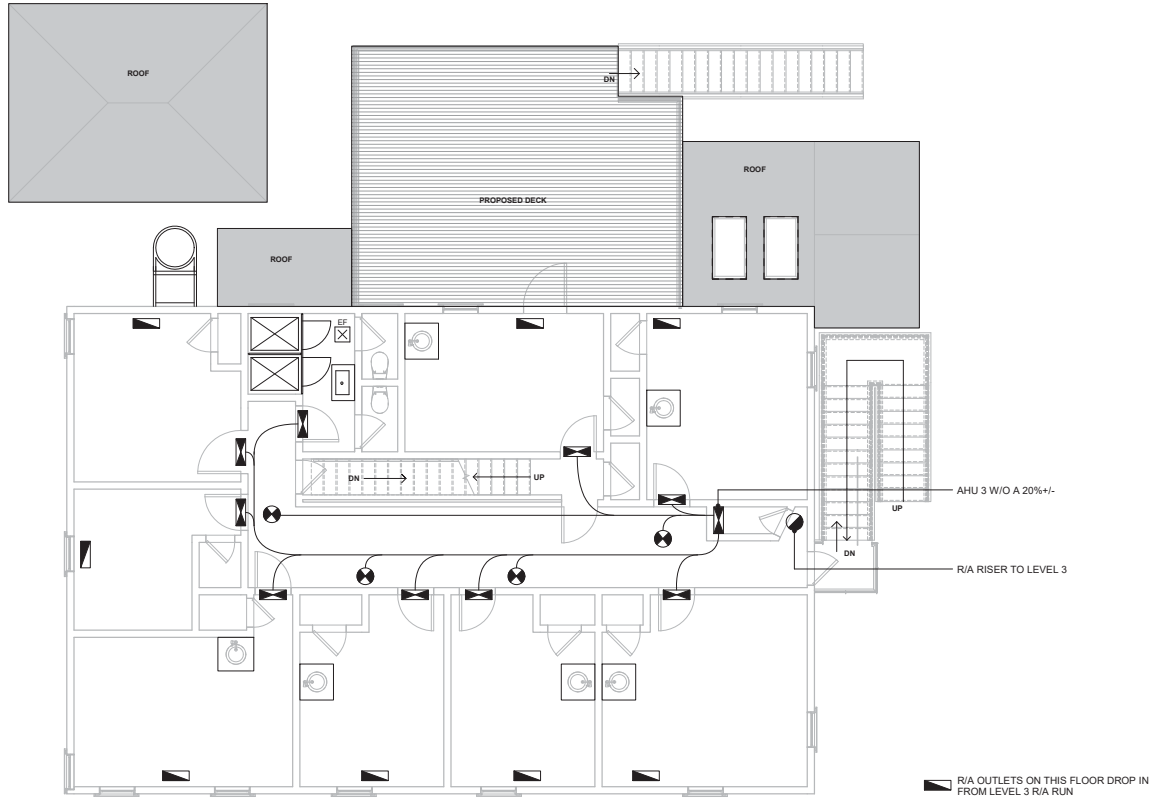
Type 1 = From Lincoln Wincoln Windows, Revitalize product line, Lincoln Fit Double Hung Insert Window or equivalent. This is a full wood frame with aluminum clad exterior factory finished in standard "Classic Black" color.

Type 2 = Pella® Lifestyle Series Wood Casement Window or equivalent. This is an all-wood frame with aluminum-clad exterior factory finished in black.

Type 3 = Manufacturer to be determined. These need to be custom made wood framed inswing casement windows.

Type 4 = Slider type window replacing existing aluminum frames with all-wood frame with aluminum-clad exterior factory finished in black with manufacturer to be determined.

Room #	Room # aka	Location	Window ID	Type	"Horn" architectural feature on upper sash	Width (in)	Height (in)	Square?	Muntins?	Upper sash moveable?	Lower sash moveable?	Condition of sash	Condition of stool	Replace?	Proposed replacement window	Comments
102		Main living room	102A	Double hung	Y	30	76	Y	No	Y	Y	fair	fair	N		
102		Main living room	102B	Double hung	Y	30	76	Y	No	N	Y	fair	fair	N		
102		Main living room	102C	Double hung	Y	30	76	Y	No	N	Y	fair	fair	N		
102		Main living room	102D	Double hung	Y	30	76	Y	No	N	Y	good	fair	N		
102		Main living room	102E	Double hung	Y	30	76	Y	No	N	Y	good	fair	N		
102		Main living room	102F	Double hung	Y	30	76	Y	No	N	Y	good	fair	N		
103		Breakfast nook bathroom	103A	louvered	N	19	41 1/2	Y	No	n/a	n/a	n/a	n/a	Y	Type 2, Pella casement window	
104		Breakfast nook bathroom	104A	Double hung	Y	36	76	Y	No	N	Y	poor	fair	Y	Type 1, Lincoln Revitalize Series	needs to be tempered glass
105		Breakfast nook bedroom	105A	Double hung	N	30	35	Y	No	N	Y	fair	fair	N		
105		Breakfast nook bedroom	105B	Double hung	N	35	56 1/2	Y	No	Y	Y	good	fair	N		
106		kitchen window facing yard	106A	slider	N	46 1/4	27 3/4	Y	No	n/a	n/a	n/a	n/a	Y	Type 4, slider type window	existing aluminum frame
106		kitchen window facing stairs	106B	slider	N	59 1/4	35	Y	No	n/a	n/a	n/a	n/a	Y	Type 4, slider type window	existing aluminum frame
107		Apartment Unit Living room	107A	Double hung	Y	30	76	Y	No	N	Y	poor	fair	Y	Type 1, Lincoln Revitalize Series	
107		Apartment Unit Living room	107B	Double hung	Y	30	76	Y	No	N	Y	poor	fair	Y	Type 1, Lincoln Revitalize Series	
107		Apartment Unit Living room	107C	Double hung	Y	30	76	Y	No	N	Y	poor	fair	Y	Type 1, Lincoln Revitalize Series	
107		Apartment Unit Living room	107D	Double hung	Y	30	76	Y	No	N	Y	poor	fair	Y	Type 1, Lincoln Revitalize Series	
107		Apartment Unit Living room	107E	Double hung	Y	30	76	Y	No	N	Y	poor	fair	Y	Type 1, Lincoln Revitalize Series	
107		Apartment Unit Living room	107F	Double hung	Y	30	76	Y	No	N	Y	poor	fair	Y	Type 1, Lincoln Revitalize Series	
108		Apartment Unit Front Bedroom	108A	Double hung	N	34 1/4	68 1/2	Y	No	Y	Y	good	good	N		
108		Apartment Unit Front Bedroom	108B	Double hung	N	34.25	68.5	Y	No	Y	Y	good	good	N		
110		Apartment Unit front bathroom	110A	Double hung	Y	30 1/2	51	Y	No	N	Y	fair	fair	N		
112		Apartment Unit Left St side bedroom	112A	Double hung	Y	30	76	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
113		Apartment Unit back bedroom	113A	Double hung	Y	30	76	Y	No	N	Y	fair	fair	N		
201		2nd fl bathroom	201A	Double hung	Y	30 1/4	36	Y	No	N	Y	fair	fair	N		
201		2nd fl bathroom	201B	Double hung	Y	30 1/2	36	Y	No	N	Y	fair	fair	N		
203 2A		2nd fl bedroom	203A	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
204 2B		2nd fl bedroom	204A	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	N		
205 2C		2nd fl bedroom	205A	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
205 2C		2nd fl bedroom	205B	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
205 2C		2nd fl bedroom	205C	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
206 2D		2nd fl bedroom	206A	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
207 2E		2nd fl bedroom	207A	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
208 2F		2nd fl bedroom	208A	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
208 2F		2nd fl bedroom	208B	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
210 2G		2nd fl bedroom	210A	Double hung	Y	36	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
210 2G		2nd fl bedroom	210B	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
211 2H		2nd fl bedroom	211A	Double hung	Y	30	68 1/4	Y	No	N	Y	poor	poor	Y	Type 1, Lincoln Revitalize Series	
301 fire escape		fire escape	301A	inswing casem	N	30	35	Y	No	n/a	n/a	n/a	n/a	Y	Type 2, Pella casement window	
302 3C		3rd fl bedroom	302A	inswing casem	N	29 7/8	35 1/4	Y	Yes	N	Y	good	good	N		
302 3C		3rd fl bedroom	302B	inswing casem	N	29 3/4	35 1/4	Y	Yes	N	Y	fair	fair	N		
302 3C		3rd fl bedroom	302C	inswing casem	N	29 1/2	35 1/4	Y	Yes	N	Y	fair	fair	N		
304 3B		3rd fl bedroom	304A	inswing casem	N	30	35 1/4	Y	No	n/a	n/a	n/a	n/a	Y	Type 3, custom inswing casement window	
304 3B		3rd fl bedroom	304B	inswing casem	N	30	35 1/4	Y	No	n/a	n/a	n/a	n/a	Y	Type 3, custom inswing casement window	
305 3A		3rd fl bedroom	305A	inswing casem	N	30	35 1/2	Y	No	N	Y	good	good	N		
305 3A		3rd fl bedroom	305B	inswing casem	N	30	35 1/2	Y	No	N	Y	good	good	N		



MECHANICAL SYMBOLS:	
	S/A RISER
	S/A OUTLET
	RIA OUTLET
	THERMOSTAT
	RIA RISER
	EXHAUST FAN

11 SYMBOLS - MECHANICAL

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SHEET TITLE

MECHANICAL PLAN - LEVEL 2

DATE: 08/05/2021

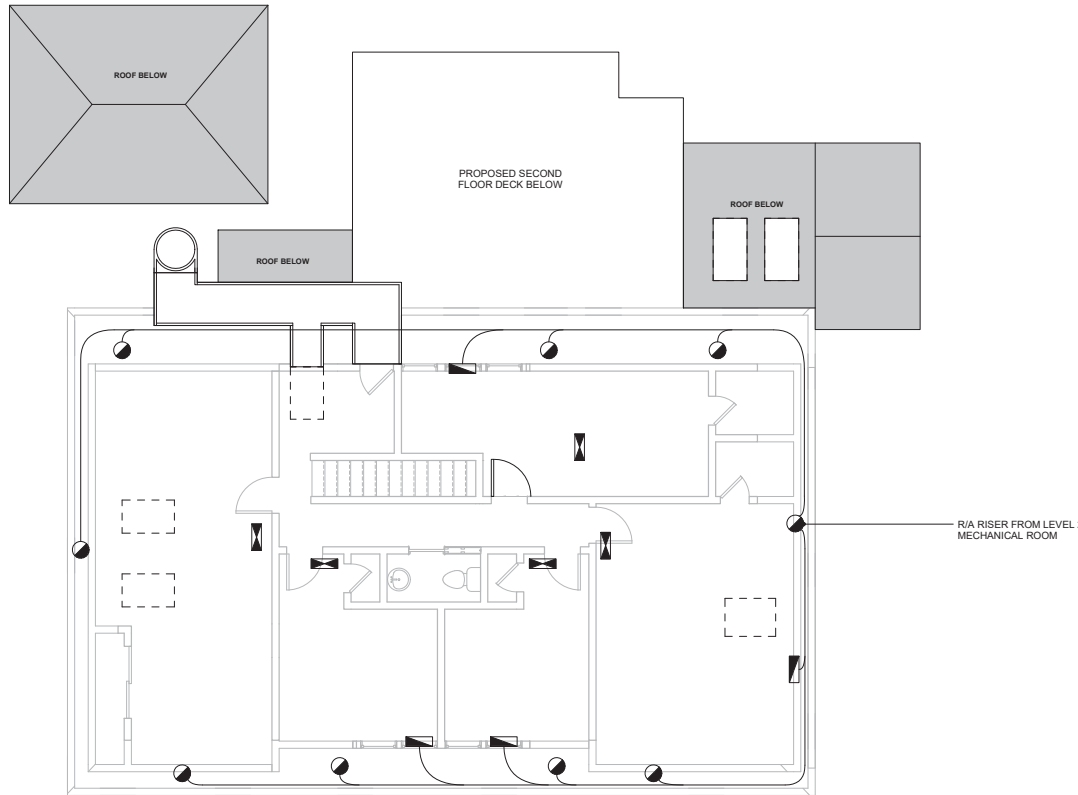
TECHNICIAN: NGB

PROJECT MANAGER: ACG

JOB NUMBER: 448

SHEET NUMBER

M1.1



MECHANICAL SYMBOLS:	
	SIA RISER
	SIA OUTLET
	RIA OUTLET
	THERMOSTAT
	RIA RISER
	EXHAUST FAN

11 SYMBOLS - MECHANICAL



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SHEET TITLE
MECHANICAL PLAN - LEVEL 3

DATE: 08/05/2021

TECHNICIAN: NGB

PROJECT MANAGER: ACG

JOB NUMBER: 448

SHEET NUMBER
M1.2