



PERSPECTIVE FROM SANTA BARBARA AVENUE



EXISTING VIEW FROM SANTA BARBARA AVE.

CODE ANALYSIS																	
SB-; LIVE WORK MIXED USE						BLWA# 2203											
SPRINKLED: yes NFPA 13						JAN 15, 2022											
Allowable Area and Height Calculations																	
Occupancy Group	Description	Const. Type	Table 502.2	Allowable area	Actual area	Allowable Height	Actual Height	Allowable Stories	Actual Stories								
R-2	RESIDENTIAL	VB	21000(sfm)	3453	40	3											
B	BUSINESS	VB	27000(sfm)	483	60	3											
S-2	LOW HAZARD	HB	52500	3750	60	3											
Notes, all areas and heights are without increases																	
Area, Story and Height Modifications Note: See section 506.3																	
Non required																	
Mixed Use and Occupancy Calculation Section 508.3.3 & 510.3																	
Occupancy Group	Actual Area Per Story	Total Allowable Area Per Story		Ratio													
R-2	2040	21000		9.79%													
B	483	27000		1.8%													
S-2	3750	52500		7.1%													
				Sum of ratio's 17.69%													
Occupancy Separation Note: See Table 508.4 for occupancy separation																	
Occupancy Group	Occupancy Group	Required Separation of Occupancies		Notes													
R-2	S-2	1 HR															
S-2	B	1 HR		SEE 406.3.2													
R-2	B	1 HR															
Fire Resistance Rating for Building Elements Note: See Table 601 for rating requirements and Table 721 for rated construction																	
Building Element	Required Fire Rating	Rating Assembly		Notes													
Exterior walls - bearing	0	NA															
Interior walls - bearing	0	NA															
Ext. walls - non-bearing (Table 602)	0	NA															
Structural frame	0	NA															
Partitions - permanent	0	NA															
Self-enclosed (Section 707.4)	0	NA															
Floor & floor ceiling	0	NA															
Roof & roof ceiling	0	NA															
Notes:																	
Fire Resistance Rating For Exterior Walls Based on Fire Separation Distance (Table 602)																	
Occupancy Group	Const. Type	R < 6'		6 ≤ R < 10'		10' ≤ R < 15'		R ≥ 15'									
R-2	VB	1		1		0		0									
B	VB	1		1		0		0									
S-2	VB	1		1		0		0									
Notes: C: OPEN PARKING GARAGES COMPLIANT WITH THIS SHALL NOT BE REQUIRED TO HAVE A FIRE RESISTIVE RATING																	
Maximum Area of Exterior Wall Openings Section 708.6																	
Wall	Fire Resistance Distance	Area of wall	Allowable Protected %	Actual Protected %	Actual Un-Protected %	Actual Un-Protected %	Ratio										
North	13'-0"	162	N/A	75%	N/A	15	0.25%										
South	2'-0"	118	N/A	25%	N/A	24	21.1%										
East																	
West																	
NO OPENINGS																	
Notes: If sprinkled use allowable protected openings for unprotected openings																	
Notes: upper floor																	

CBC CODE ANALYSIS									
ZONE C-S-H									
LOT SIZE - 15.50 X 40.80 = 7257 SF OR 166 AC.									
MAX. DWELLING = 24 / AC. = 3,996 DWELLING UNITS									
PROPOSED 4-1 BEDROOM UNITS = 4 X 56 = 2,640 UNITS									
ADDITIONAL USAGE - COMMERCIAL SPACE, = 485 SF									
PARKING REQUIREMENT = 1 PER 1-BEDROOM UNIT = 4									
1 PER 300 SF OF COMMERCIAL = 2									
TOTAL REQD. = 6									
PARKING SPACES PROPOSED = 7									
(2 ACCESS, 5 STANDING)									
LOT COVERAGE = 75% MAX.									
PROPOSED LOT COVERAGE = UNITS W/ BALCONIES = 2630 SF									
ELEVATED WALKWAYS AND STAIRS = 420 SF									
COMMERCIAL & TRASH = 534 SF									
TOTAL = 3593 SF									
3344 / 7257 = 49.5% < 75%									
FAR 1.5 ALLOWED = 1.5 X 7257 = 10,885 SF									
3-1 BEDROOM UNITS @ 885 SF UNIT = 2655 SF									
1-1 BEDROOM UNIT @ 768 SF = 768									
COMMERCIAL @ 485 SF = 485 SF									
TOTAL = 3928 SF									
REQUIRED SETBACKS									
FRONT - 5' FOR PARKING AND SIGNS									
10' FOR BUILDINGS LESS THAN OR EQUAL TO 20' IN HEIGHT									
15' FOR BUILDINGS GREATER THAN 20'									
SIDE & REAR YARDS									
NO SETBACK REQUIRED UNLESS ADJACENT TO ZONE WITH MINIMUM SETBACK REQUIREMENT, IN WHICH CASE THE ADJACING SETBACK SHALL BE PROVIDED IN ZONE OF ADJACENT LOT									
PROPERTIES TO THE NORTH AND SOUTH ARE IN THE C-S-H ZONE. PROPERTY TO THE WEST IS IN THE R-2 ZONE.									
ADDITIONAL SETBACKS AS PER TITLE 17. SLO ZONING REGULATIONS C-S ZONE TABLE 2-20' HAVE BEEN ADHERED TO.									
SEE SHEETS 8									
MAX. HEIGHT - 35'									

SITE DEVELOPMENT SUMMARY

SB LIVE / WORK UNITS

1925 SANTA BARBARA AVENUE
SAN LUIS OBISPO, CA 93401

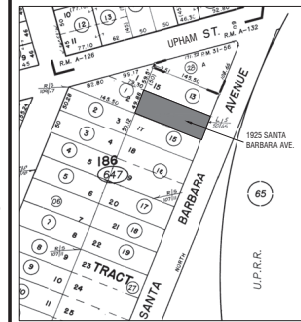
OWNER:
OBISPO INVESTMENTS LLC
1110 CALIFORNIA BLVD. STE C
SAN LUIS OBISPO
CURRENT USAGE:
COMMERCIAL
PROPOSED USAGE:
LIVE / WORK SPACES AND SMALL COMMERCIAL
ZONING: C-S-H

A.P.N.:
003-647-014
SITE AREA:
7257 SF = 166 AC

GENERAL INFORMATION

THIS MIXED-USE PROJECT PROPOSES 4-1-BEDROOM UNITS WITH A SMALL COMMERCIAL SPACE AT THE STREET FRONTAGE. ONE ACCESSIBLE UNIT AS PER C.B.C. SECTION 1102.A.3.1 IS PROVIDED AT GROUND LEVEL NEXT TO AN ACCESSIBLE PARKING SPACE. ALL 4 LIVING UNITS ARE DESIGNED AS LOFT STYLE UNITS. MATERIALS HAVE BEEN SELECTED TO HARMONIZE WITH THOSE OF THE IMMEDIATE AREA AND AS SUGGESTED IN THE GUIDELINES FOR THE HISTORICAL RAILROAD DISTRICT. DETAILS, WHEN PRACTICAL AND APPROPRIATE ALSO RESPECT THE GUIDELINES FOR THE DISTRICT.

PROJECT DESCRIPTION



VICINITY MAP

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA FIRE CODE
2019 CMC
2019 CBC
2019 DEC
SAN LUIS OBISPO MUNICIPAL CODE
SPECIFIC:
CLIMATE ZONE: C25
SEISMIC CATEGORY: E

APPLICABLE CODES

SHEET DESCRIPTION

1. PERSPECTIVE, PHOTO, AND STATISTICS
2. SITE SURVEY, DEMOLITION & GRADING PLANS
3. SITE IMPROVEMENT & GROUND LEVEL PLANS
4. 2ND & ROOF LEVEL PLANS
5. SOLID WASTE PLAN & DETAILS
6. ARCHITECTURAL EXTERIOR ELEVATIONS
7. PHOTO SURVEY OF SANTA BARBARA AVE.
8. ARCHITECTURAL EXTERIOR ELEVATIONS
9. STORM WATER CONTROL PLAN
10. LANDSCAPE PLAN



SB-MIXED USE
1925 SANTA BARBARA AVE., SLO CA 93401
PROPOSED PERSPECTIVE, EXISTING PHOTO, STATISTICS

CLIENT:
OBISPO INVESTMENTS, INC.
1110 CALIFORNIA BLVD. STE C
SAN LUIS OBISPO, CA 93401

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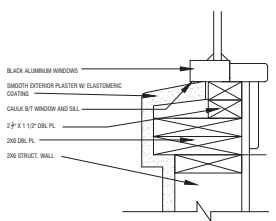


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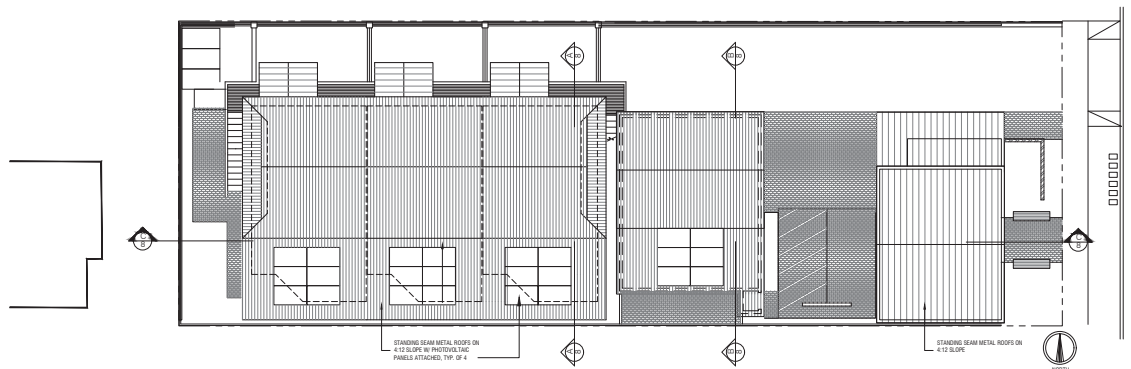


EXT. PLASTER SILL 3' = 1'-0" 3

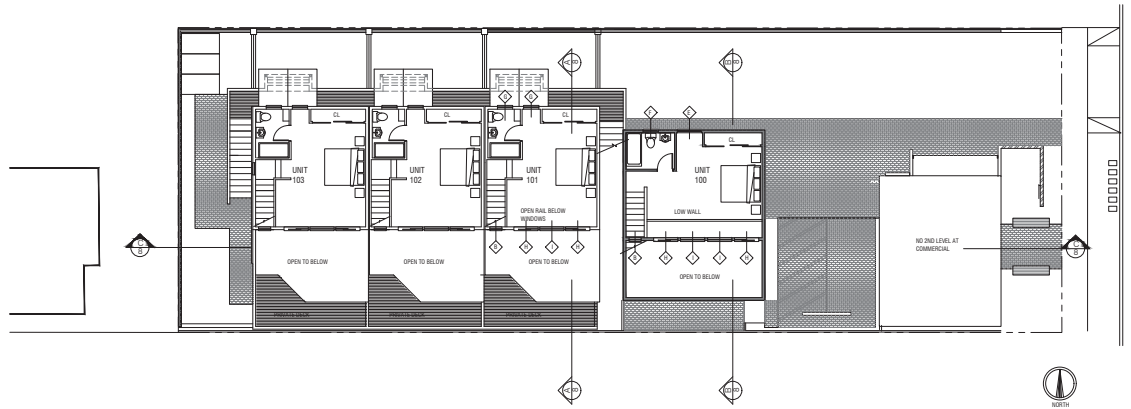


- EXPOSED RAFTER TAILS, PAINTED, CUT TO 2X6 DIMENSION W/ PAINTED FASCIA
- DOUBLE HUNG WINDOWS W/ 2" WOOD TRIM SURROUND
- HARDIE BOARD CEMENT SIDING, 6" EXPOSURE
- ENTRY PORTICO WITH RAILING PUSHED OUT FOR BENCH. CONCEPT - TO PROTECT ENTRY AND TO PROMOTED INFORMAL CONVERSATION AREAS
- HARDIE BOARD CEMENT SIDING, 6" EXPOSURE
- ALTERNATE - PLASTER LOWER FLOOR
- 2X10 BELLYBAND
- 2" STEEL PIPE RAILING
- CORRUGATED METAL SIDING WITH 6" CAP
- PARKING BELOW

PORTICO ENTRY AT TRIPLEX UNITS



ROOF PLAN



2ND LEVEL PLAN

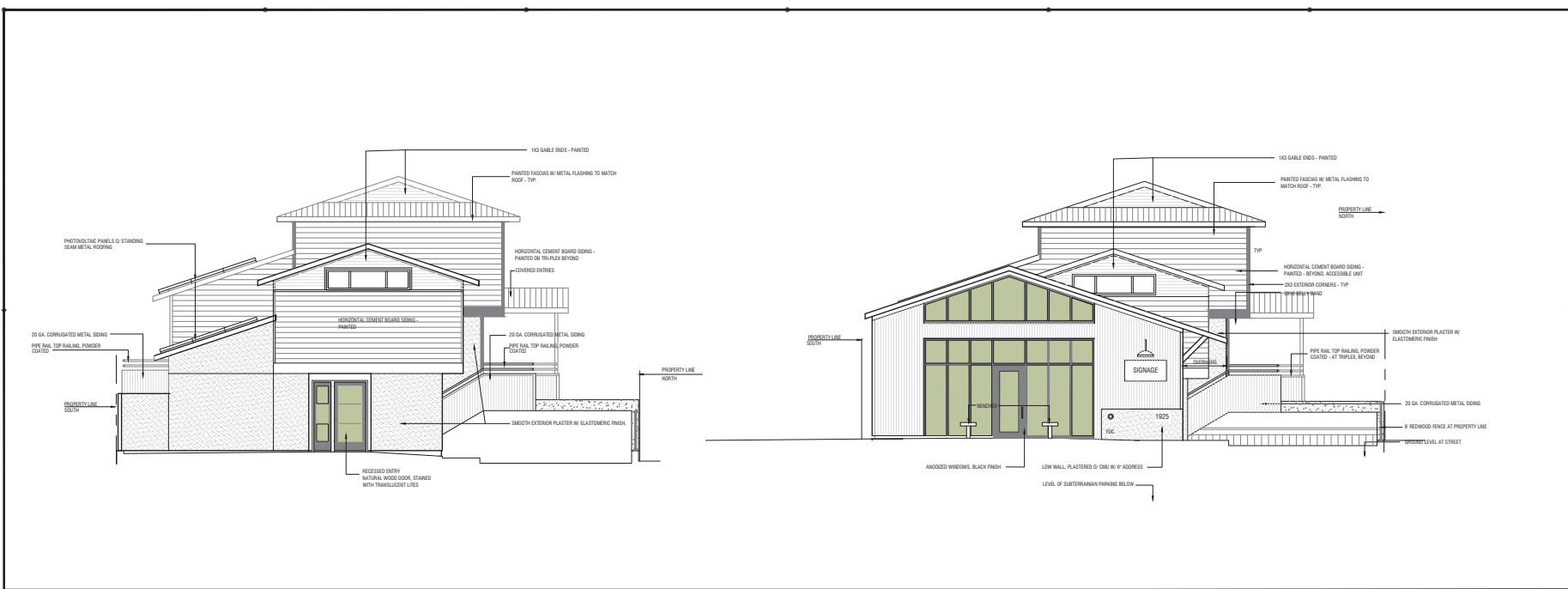
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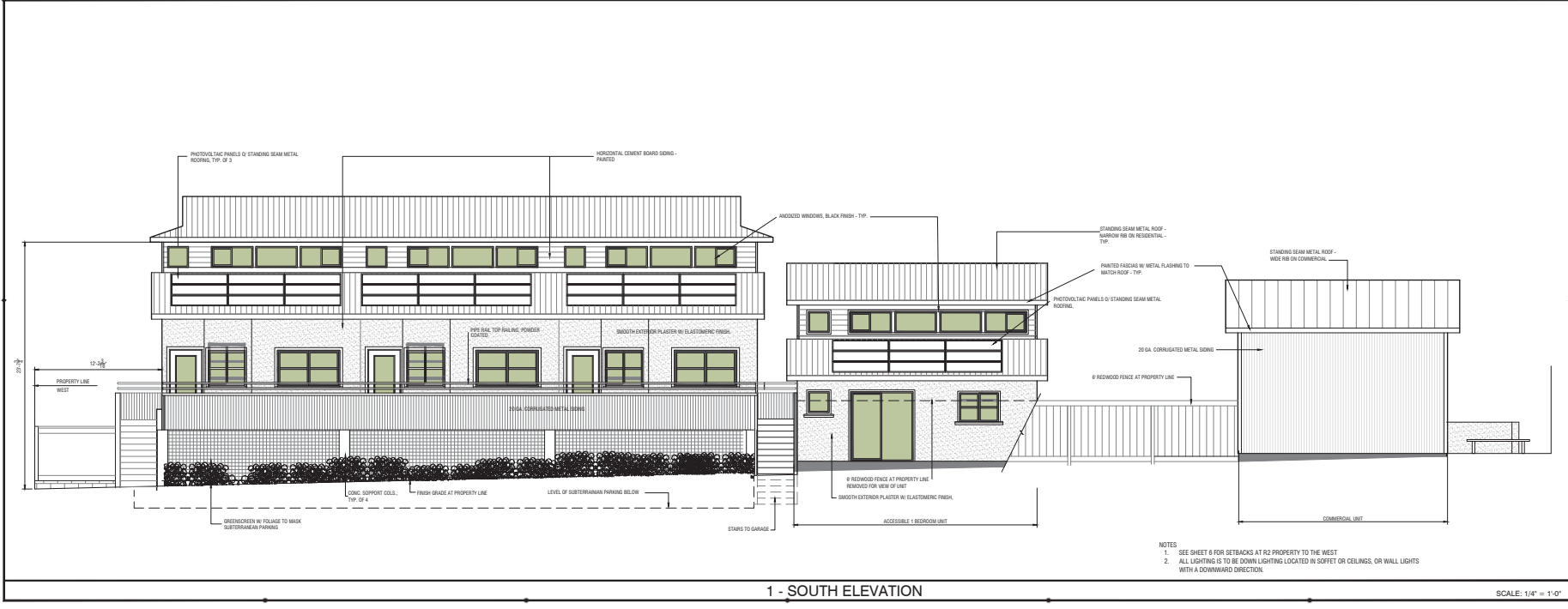


2 - EAST ELEVATION OF RESIDENCES BEHIND COMMERCIAL

SCALE: 1/4" = 1'-0"

3 - EAST ELEVATION - SANTA BARBARA STREET FRONTAGE

SCALE: 1/4" = 1'-0"



1 - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

- NOTES
- SEE SHEET 6 FOR SETBACKS AT RZ PROPERTY TO THE WEST
 - ALL LIGHTING IS TO BE DOWN LIGHTING LOCATED IN SOFFIT OR CEILINGS, OR WALL LIGHTS WITH A DOWNWARD DIRECTION.



SB-MIXED USE
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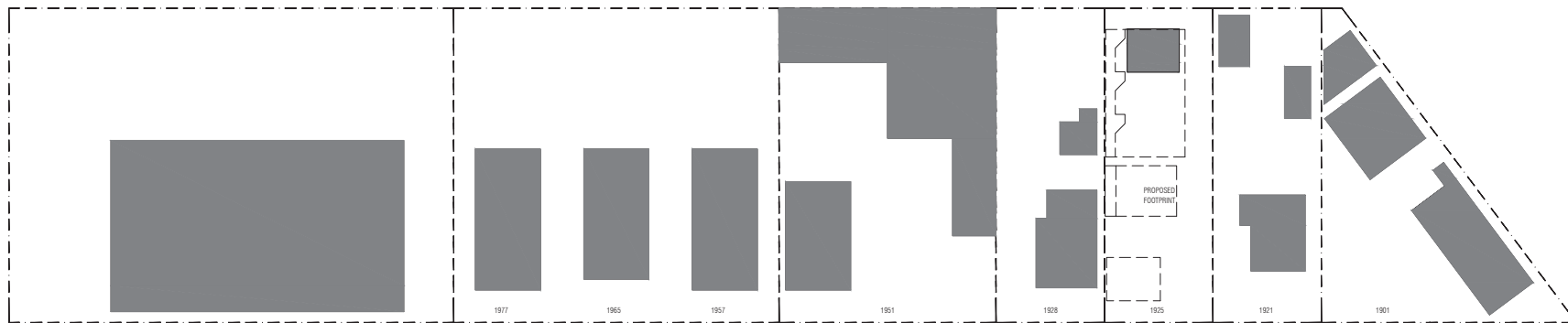
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SHEET DESCRIPTION:

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OF: 7



THIS ECLECTIC BUILDING HAS SERVED AS A HARDWARE STORE AND NOW A MENTAL HEALTH FACILITY.

IRON HORSE OFFICE BUILDING, BUILT IN 1995 DOES A GOOD JOB AT USING INDUSTRIAL MATERIALS THAT ONE MIGHT FIND ALONG A RAILROAD R.O.W.



1995



2120 SANTA BARBARA STREET



THE MOST RECENT PROJECT COMPLETED ON SANTA BARBARA AVE IS A MIX OF COMMERCIAL AND RESIDENTIAL. THE STREET FRONTAGE IS USING SHED ROOFS IN A SAW TOOTH ORIENTATION. THE MATERIALS ARE A COMBINATION OF CEMENT BOARD SIDING, EXTERIOR PLASTER AND VARIOUS PROFILES OF METAL PANELS.



THESE THREE PROJECTS WERE ALL BUILT AROUND 2008. THEY ARE COMMERCIAL RESIDENTIAL. THE ARCHITECTURE TAKES FROM THE FALSE FRONT OF THE DEL MONTE WITH SOME MORE CONTEMPORARY TOUCHES



THIS OLD CS PROPERTY HAS SERVED IN MANY CAPACITIES AS A COMMERCIAL SERVICE PROPERTY. IT ALONG WITH THE PROPERTIES TO THE NORTH ARE BOUND TO BE REDEVELOPED



THIS IS ONE OF THE LAST REMAINING SINGLE FAMILY RESIDENCES ON SANTA BARBARA AVE



THIS SITE WAS A VACANT LOT UNTIL 1983 WHEN THE ORIGINAL MCCARTHY'S USED CAR LOT WAS PLACED ON IT. SINCE IT HAS HAD A COUPLE OF OTHER COMMERCIAL USES



THIS SINGLE FAMILY RESIDENCES WITH A COUPLE OF OUTBUILDINGS HOUSING RESIDENCES HAS HAD A COUPLE OF REDEVELOPMENT PROPOSALS



THE DEL MONTE CAFE HAS BEEN A LANDMARK SINCE THE 70S WHEN THE OLD VACANT MARKET WAS TURNED INTO A RESTAURANT.



PROPOSED STREET ELEVATION

PARKING



1880 SANTA BARBARA AVE - RAILROAD SQUARE

THE ORIGINAL RAILROAD SQUARE BUILDING KNOWN AS THE CHANNEL BUILDING WAS BADLY DAMAGED IN A FIRE IN 2002. ALTHOUGH 1970S WOOD ADDITIONS WERE DESTROYED THE ORIGINAL BRICK BUILDING WAS ABLE TO BE SALVAGED. CONTEMPORARY ADDITIONS MOSTLY IN STEEL CLADDING ARE ADDED TO EACH END BROKENING THE ORIGINAL STRUCTURE AND ALLOWING IT TO STAND OUT. THIS IS A GREAT EXAMPLE OF A CONTEMPORARY ARCHITECTURAL INTERVENTION HARMONIZING, NOT TRYING TO REPLICATE OR COMPLETE WITH A WONDERFUL HISTORICAL STRUCTURE.

CIRCUMSTANCES UNIQUE TO THIS PROJECT (TAKEN FROM OASIS WEB PAGE)
REHABILITATION AND ADAPTIVE REUSE OF AN HISTORICAL STRUCTURE
SUBSTANTIAL PUBLIC OUTREACH AND COMMUNITY INVOLVEMENT
FIRE DAMAGE RESTORATION
UNREINFORCED MASONRY SEISMIC RETROFIT.





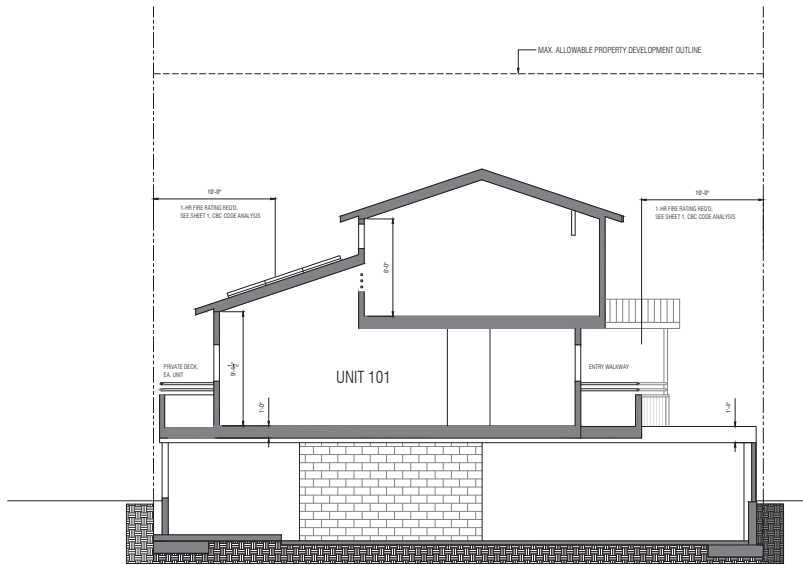
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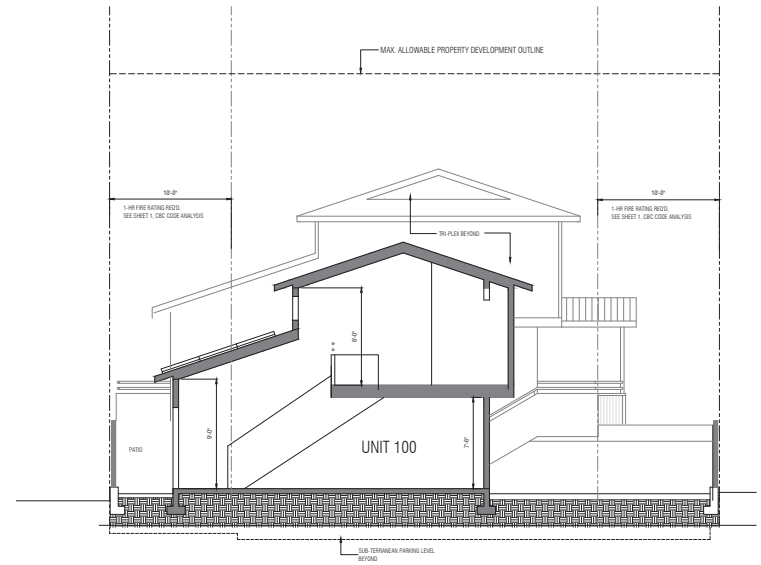
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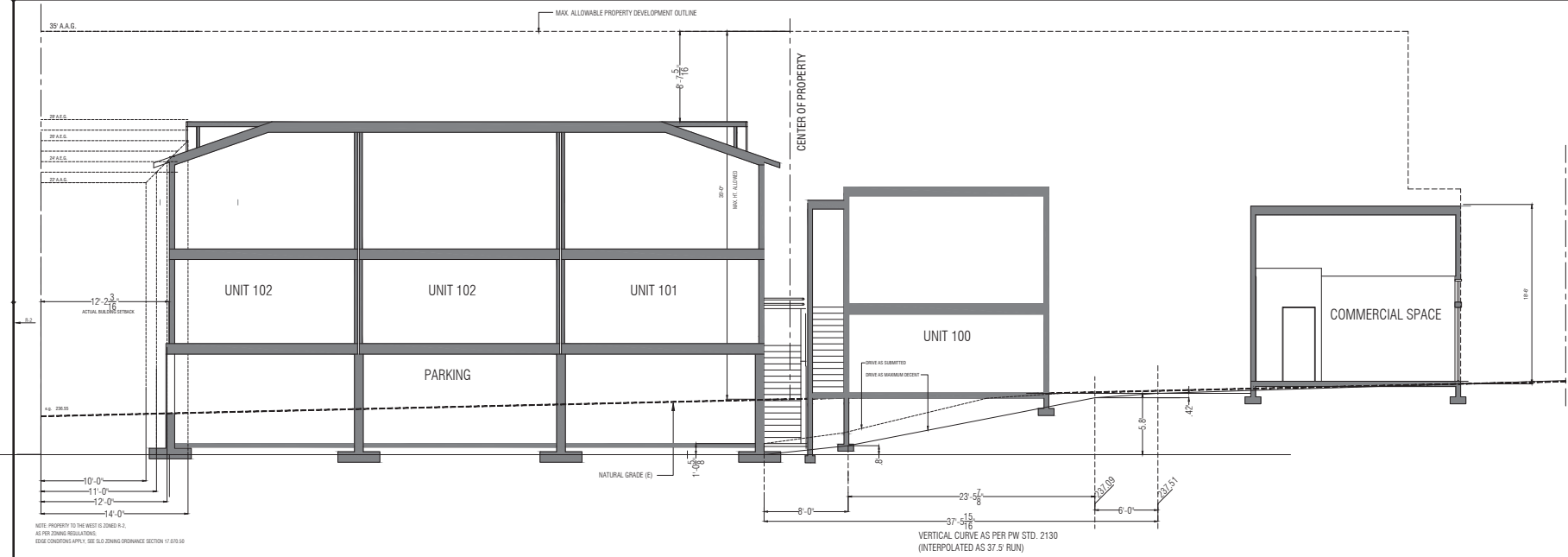


SECTION A-A



SECTION B-B

SCALE: 1/4" = 1'-0"

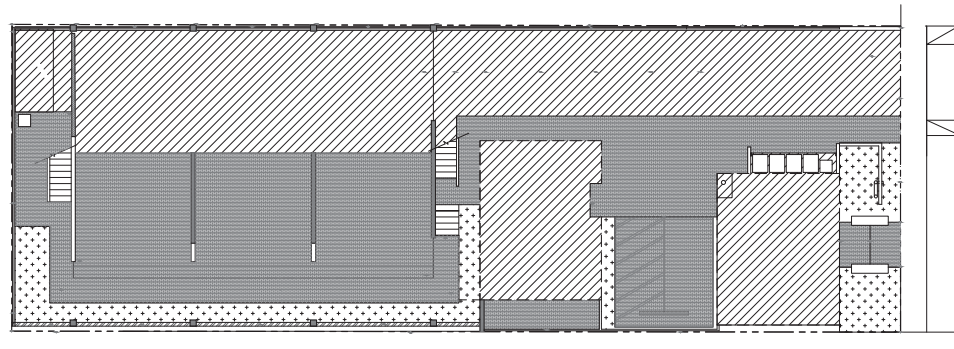





SECTION C-C

SCALE: 1/4" = 1'-0"

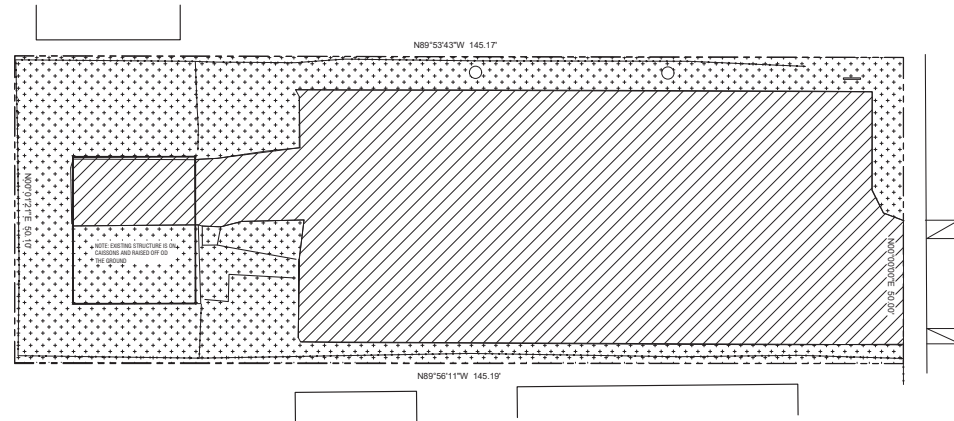
NOTE: PROPERTY TO THE WEST OF ZONING P-2.
AS PER ZONING REGULATIONS.
EDGE CONDITIONS APPLY. SEE S.D. ZONING ORDINANCE SECTION 17.070.00



VERTICAL CURVE AS PER PW STD. 2130
(INTERPOLATED AS 37.5' RUN)



-  IMPERVIOUS AREA 3388 SF
-  LANDSCAPE AREA 674 SF
-  PERVIOUS PAVERS & NATURAL AREA 3195 SF

PROPOSED SITE



-  IMPERVIOUS AREA 4383 SF
-  LANDSCAPE AND NATURAL AREA 2874 SF

EXISTING SITE
TOTAL AREA 7257



BARRY L. WILLIAMS
Architect/Developer
1010 ELCA STREET
SAN LUIS OBISPO, CA 93401
(805) 499-7323
WWW.BLWARCHITECT.COM



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