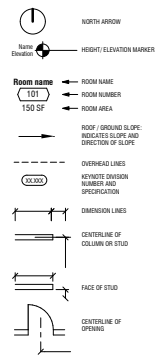


10 HIGUERA

10 HIGUERA ST., SAN LUIS OBISPO, CA 93401



DRAWING SYMBOLS



PARKING CALCULATIONS

PARKING REQUIRED FOR PROPOSED USE:	AREA SF	PARKING FACTOR	SPACES REQUIRED
WAREHOUSE	7570 SF	1 / 1500 SF	5
DISTILLERY	8038 SF	1 / 1500 SF	6
STILLS	514 SF	1 / 1500 SF	1
RESTAURANT	3804 SF	1 / 100 SF	38
RESIDENTIAL UNIT	848 SF	25 / 1,000	1
TACTING ROOMS	2438 SF	1 / 100 SF	24
TOTAL REQUIRED			75
TOTAL NEW SPACES PROVIDED FOR PROJECT			75
TOTAL EXISTING SPACES FOR EXISTING USES			35
TOTAL FUTURE SPACES ON PROPERTY			113

ADA SPACES

USE	# OF SPACES	ADA FACTOR	ADA REQUIRED
COMMERCIAL	75	4 @ 100-150 SPACES	4
PROVIDED TOTAL			1 MAX. 3 STD.

EV REQUIRED

USE	# OF RECS SPACES	EV FACTOR	EV REQUIRED
COMMERCIAL	75	1% OF SPACES	8
COMMERCIAL	75	25% OF SPACES	19
PROVIDED TOTAL			EV READY: 1 MAX. 1 STD. EV CAPABLE: 19 STD.

MOTORCYCLE

USE	# OF SPACES	PARKING FACTOR	MOTORCYCLE REQUIRED
COMMERCIAL	75	1 / 25 @ 10-15 SPACES	4
PROVIDED TOTAL			4

BICYCLE PARKING CALCULATIONS

BICYCLE PARKING REQUIRED	UNIT COUNT (OR SF)	TOTAL BICYCLE	SHORT TERM	LONG TERM	
WAREHOUSE	7570 SF	1 / 2000 SF	4 25%	1 75%	3
DISTILLERY	8038 SF	1 / 2000 SF	4 25%	1 75%	3
STILLS	514 SF	1 / 2000 SF	1 25%	0 75%	1
RESTAURANT	3804 SF	1 / 500 SF	8 75%	6 25%	2
RESIDENTIAL UNIT	1 UNIT	2 / UNIT	0 GUEST	2	2
TASTING ROOM	2438 SF	1 / 150 SF	16 75%	12 25%	4
REQUIRED TOTAL			22		15
PROVIDED TOTAL			22		15

SUMMARY OF CONTEXT

Our site is primarily surrounded by C-5 AND C-7 zones. The site is situated between 101 and Higuera street. Directly to the south is a cemetery and southeast of the property is the South Hills Open Space nature conservation. To the east of the site there are 1-story retail buildings and to the north there are 1-story commercial buildings.



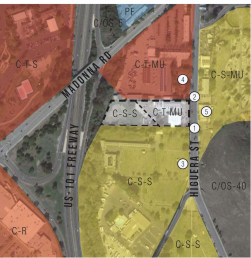
1 EXISTING BREWERY FROM HIGUERA



2 EXISTING BREWERY AND DISTILLERY FROM HIGUERA



3 CEMETARY TO THE SOUTH OF SITE



CONTEXTUAL SITE PLAN SCALE: 1/8"=1'-0"



4 1-STORY BUSINESS NORTH OF THE SITE



5 1-STORY RETAIL STORE EAST OF THE SITE

PROJECT DESCRIPTION

THE PROPOSED PROJECT INVOLVES THE SITE DEVELOPMENT OF AN EXISTING 2.86 ACRE LOT IN TWO SEPARATE PHASES WITHIN THE COMMERCIAL, TOURISM AND COMMERCIAL SERVICES ZONES. THE PRIMARY GOAL OF THE PROJECT IS TO CREATE A DESTINATION THAT ALLOWS LOCAL, GUESTS AND VISITORS TO HAVE AN IMMERSIVE EDUCATIONAL EXPERIENCE WHILE PROMOTING THE LOCAL BUSINESS ON SITE.

PHASE ONE INCLUDES OVERALL SITE IMPROVEMENTS, GRADING AND DRAINAGE, UTILITY UPGRADES, VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS, SITE PARKING, LANDSCAPING, A TROUGH ENCLOSURE, AND A NEW TWO STORY 21,600 SF PRE-ENGINEERED METAL SHELL BUILDING WITH RESIDENTIAL USE PROVIDED PER MIXED USE ZONING OVERLAY.

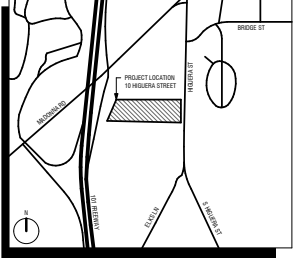
PHASE TWO (UNDER SEPARATE PERMIT) WILL INCLUDE THE TENANT IMPROVEMENTS WITHIN THE NEW 21,600 SF SHELL BUILDING TO BE A NEW RESTAURANT, BAR, DISTILLERY, AND DISTILLERY WAREHOUSE.

THE PROPOSED USES ARE ALLOWABLE ON SITE PER THE CITY OF SAN LUIS OBISPO MUNICIPAL CODE, SECTION 17.10.020, TABLE 2.1.1 COMMERCIAL, LINKAGE FEE (PER SLO MUNI CODE CHAPTER 4.60) WILL BE PAID PRIOR TO BUILDING PERMIT ISSUANCE.

LAND USE REQUIREMENTS

ADDRESS	10 HIGUERA ST. SAN LUIS OBISPO, CA
APN	004-511-015 & 004-511-022
ZONING	C-5, C-7
OVERLAY ZONES	S-300
CURRENT USE	VACANT; DISTILLERY; BREWERY
PROPOSED USE	RESTAURANT; DISTILLERY; WAREHOUSE
ALLOWED USE IN ZONE	RESTAURANT; YES; BAR/CLUB; WAREHOUSE; YES
ENVIRONMENTAL USE PERMIT REQUIRED	Y
LOT SIZE	12808 SF 2.86 ACRE
C-5 TOURIST	ALLOWABLE 75% PROPOSED 20% FAR ALLOWABLE 2.5 PROPOSED 0.30 HEIGHT LIMIT ALLOWABLE 40'-0" PROPOSED 40'-0"
C-6 SERVICE COMMERCIAL	ALLOWABLE 75% PROPOSED 10% FAR ALLOWABLE 1.5 PROPOSED 0.14 HEIGHT LIMIT ALLOWABLE 35'-0" PROPOSED 35'-0"
MAX SITE COVERAGE	ALLOWABLE 75% PROPOSED 10% FAR ALLOWABLE 2.5 PROPOSED 0.30 HEIGHT LIMIT ALLOWABLE 40'-0" PROPOSED 40'-0"
MAX SITE COVERAGE	ALLOWABLE 75% PROPOSED 10% FAR ALLOWABLE 1.5 PROPOSED 0.14 HEIGHT LIMIT ALLOWABLE 35'-0" PROPOSED 35'-0"
ADJACENT ZONES	NORTH C-1 MAX EAST C-5 MAX SOUTH C-5 MAX WEST C-5 MAX
SETBACKS	FRONT 10' MIN. SIDE-NORTH NONE SIDE-SOUTH NONE REAR NONE EAST 10' MIN. SIDE-NORTH 10' MIN. (C-5 MAX) SIDE-EAST NONE REAR 10' MIN. (C-5 MAX)
CREEK SETBACKS	SLO CREEK 20' MIN. EXPOSITION CREEK 20' MIN.
DRIVE AISLE MIN. WIDTH	23.0

VICINITY MAP



SHEET INDEX (ARC)

GENERAL	TITLE SHEET
C-1.1	EXISTING CONDITIONS
C-2.0	SITE DEVELOPMENT PLAN
C-2.1	EXISTING PLAN
C-4.1	GRADING AND DRAINAGE PLAN
C-4.2	USE SECTION
C-5.1	UTILITY PLAN
C-6.1	STORMWATER CONTROL PLAN
C-7.1	CONSTRUCTION DETAILS
L-1.0	LANDSCAPE PLAN
L-2.0	LANDSCAPE PLAN
L-3.0	LANDSCAPE CUT SHEET

PROJECT DIRECTORY

OWNER	KATHY DOWNEY 228 HANCOCK LANE SLO, CA 93401	CONTACT:	PHONE: 407.746.4884 EMAIL: kathy@tenoverstudio.com
ARCHITECT	TEN OVER STUDIO 328 MARION ST. SLO, CA 93401	CONTACT:	PHONE: 805.541.1010 EMAIL: jordan@tenoverstudio.com
CIVIL ENGINEER	BOB ANDERSON 200 10TH STREET, SUITE 300 SAN LUIS OBISPO, CA 93401	CONTACT:	PHONE: 805.461.1545 EMAIL: jordan@tenoverstudio.com
LANDSCAPE ARCHITECT	TEN OVER STUDIO 328 MARION ST. SLO, CA 93401	CONTACT:	PHONE: 805.541.1010 EMAIL: jordan@tenoverstudio.com

AGENCIES & UTILITIES

CITY OF SAN LUIS OBISPO - COMMUNITY DEVELOPMENT DEPARTMENT	815 PALM STREET SAN LUIS OBISPO, CA 93401	PH: 805.781.7100
CITY OF SAN LUIS OBISPO - BUILDING DEPARTMENT	815 PALM STREET SAN LUIS OBISPO, CA 93401	PH: 805.781.7100
CITY OF SAN LUIS OBISPO - PLANNING DEPARTMENT	815 PALM STREET SAN LUIS OBISPO, CA 93401	PH: 805.781.7170
CITY OF SAN LUIS OBISPO - PUBLIC WORKS DEPARTMENT	815 PALM STREET SAN LUIS OBISPO, CA 93401	PH: 805.781.7220
CITY OF SAN LUIS OBISPO - FIRE DEPARTMENT	2180 SANTA BARBARA AVENUE SAN LUIS OBISPO, CA 93401	PH: 805.781.7380
PG & E	408 HIGUERA STREET SAN LUIS OBISPO, CA 93401	PH: 805.403.5000
SOUTHERN CALIFORNIA GAS COMPANY	1314 BRIDGE STREET SAN LUIS OBISPO, CA 93401	PH: 1.800.427.2200

CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA HISTORICAL BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA EXISTING BUILDING STANDARDS CODE
- 2022 CALIFORNIA PERFORMANCE STANDARDS CODE
- CITY OF SAN LUIS OBISPO MUNICIPAL CODE, TITLE 15 BUILDINGS AND CONSTRUCTION
- CITY OF SAN LUIS OBISPO TITLE 17 ZONING REGULATIONS

NOT FOR CONSTRUCTION

10 HIGUERA

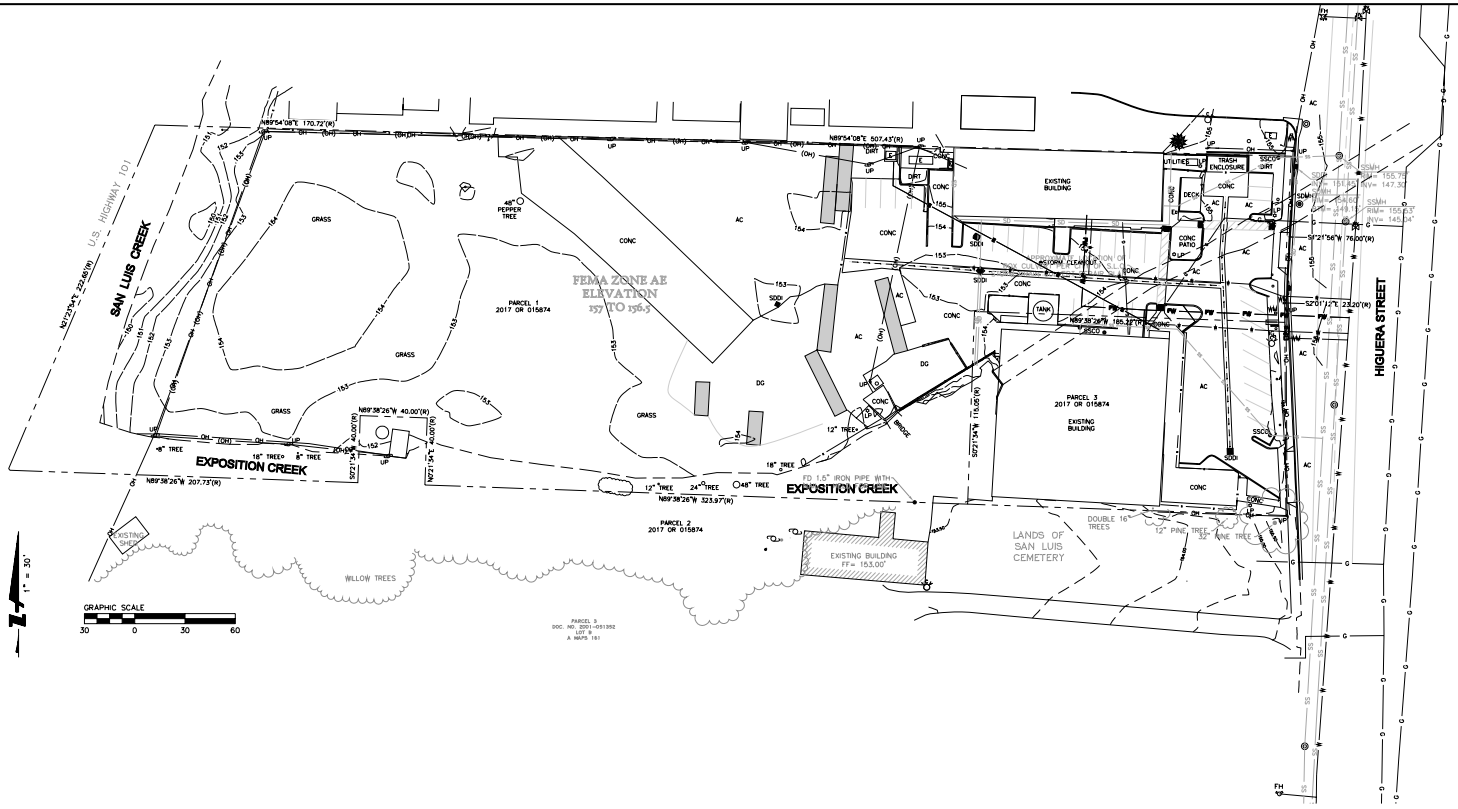
10 HIGUERA ST.,
SAN LUIS OBISPO, CA

PROJ. # 2023-030
SHEET 01 OF 04
CNSD BY: NMA

NO. DATE SUBMITTAL
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2 24/02/24 ARC REVIEW SUBMITTAL
3 24/02/24 ARC REVIEW SUBMITTAL
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100 24/02/24 ARC REVIEW SUBMITTAL

T1.0

TITLE SHEET



Scale: 0.31-18-24

Scale: 1" = 30'

Design: MB

Drawn: MB

Approved: JH

Job: 240235-10

Revisions

No.	

Drawing Number:

C1.0

1 of 8

BKF ENGINEERS

1000 HIGHER STREET

SAN LUIS OBISPO, CA 95071

408.255.1234

www.bkf.com

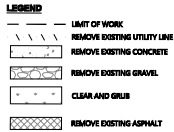
10 HIGUERA STREET

EXISTING CONDITIONS

CITY OF SAN LUIS OBISPO

SAN LUIS OBISPO COUNTY

CALIFORNIA



REMOVE

101 EXSTI

- 102 EXISTING TREE
- 103 EXISTING STORM DRAIN STRUCTURE
- 104 EXISTING STORAGE UNITS (TYPICAL)
- 105 REMOVE EXISTING SEWER LATERAL

PROTECT

- 201 EXISTING FIRE HYDRANT**

1. ITEMS SHOWN TO BE REMOVED ARE INDICATED PER INFORMATION AVAILABLE TO THE ENGINEER. IT IS THE INTENTION OF THESE PLANS TO REMOVE ALL EXISTING STRUCTURES AND UTILITIES NOT SHOWN OTHERWISE NOTED TO ALLOW CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. WHETHER DELAYED OR NOT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPROVEMENTS TO OCCUR. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT AND THE PROJECT SURROUNDING PUBLIC RIGHT OF WAY.

2. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED ON THE PLAN.

3. THE CONTRACTOR SHALL OBTAIN THE SUBCONTRACT UTILITIES OTHERWISE NOTED ON THE PLAN.

4. THE SUBCONTRACTOR IS RESPONSIBLE TO LEGALLY DEPOSED OF ALL NON HAZARDOUS MATERIALS AND UTILITIES. THE SUBCONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THE NECESSARY PERMITS TO REMOVE THE UTILITIES.

5. THE SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL THE WORK PERFORMED BY HIS SUBCONTRACTORS WITHOUT EXCEPTION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO REMAIN, REPAIR, AND DAMAGE RESULT FROM SUBCONTRACTOR OPERATIONS AS DIRECTED BY OWNER.

7. THE CONTRACTOR SHALL PROTECT, IDENTIFY AND LOCATE ALL UTILITIES IN PROJECT AREA PRIOR TO CONSTRUCTION.

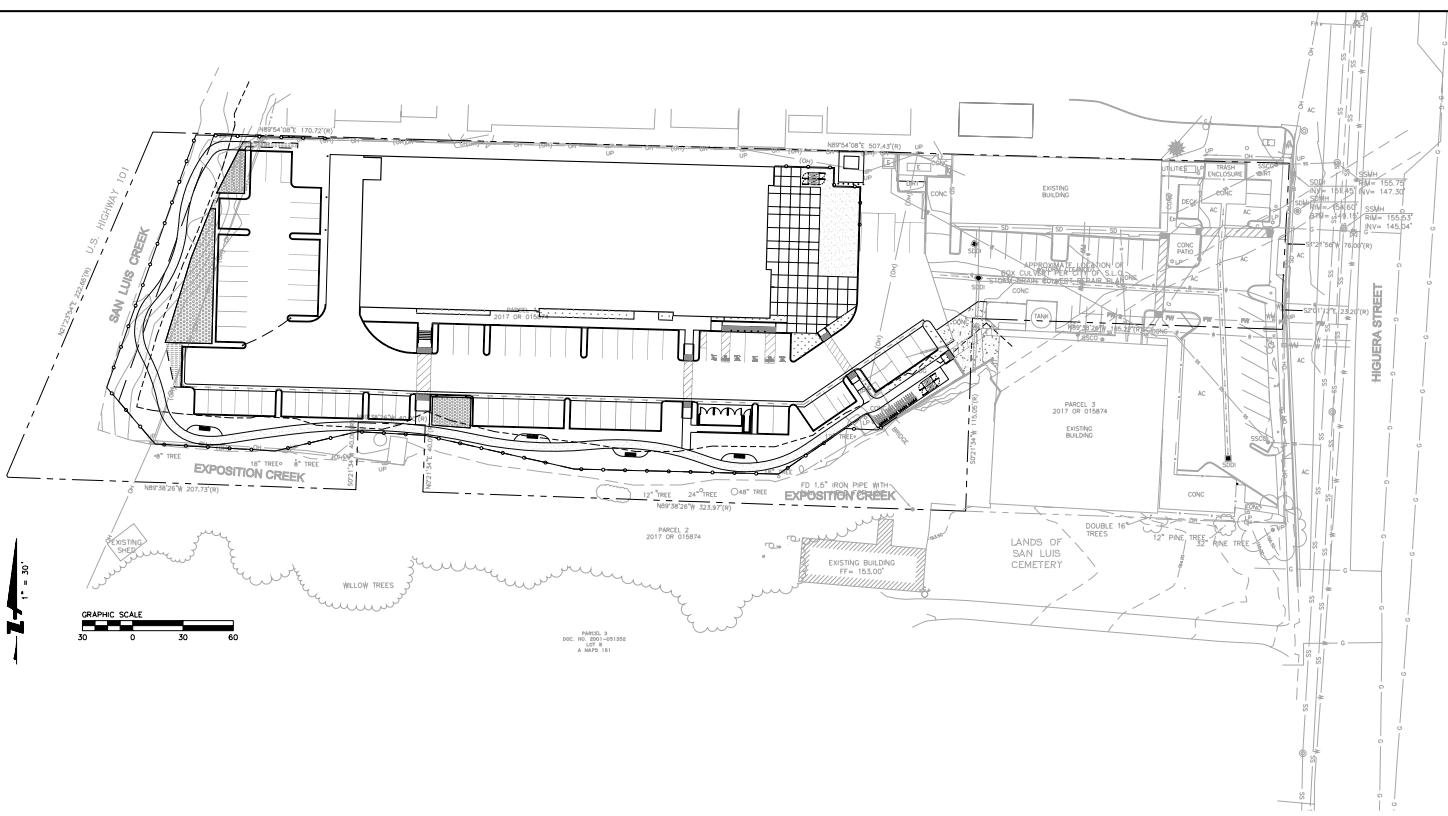
1. ADJUST ALL EXIST UTILITIES, GUTTERS, STRUCTURES, MANHOLES, AND VALVES WITHIN LIMIT OF WORK TO FINAL GRADE UNLESS OTHERWISE NOTED ON THE PLANS.
2. PROTECT ALL EXISTING UTILITY LINES, STRUCTURES, VAULTS AND BURGLES, UNLESS OTHERWISE NOTED ON THE PLANS.
3. THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT: " " BY: DATED: 11/1/2011
4. COORDINATE WITH ALL SITE WORK WITH ALL DISCIPLINES, CIVIL DRAWINGS, SURVEY, AND ALL OTHER PROJECTS.
5. SUBMITTER TO COORDINATE ALL TIESHOWN AND ASSOCIATED PAVEMENT RESTORATION WITH UTILITY PLAN.
6. REFER TO UTILITY PLAN FOR PROPOSED PIPE LOCATIONS AND ALIGNMENT. TIESHOWN MUST BE PROVIDED FOR INSTALLATION, IN ACCORDANCE WITH ALL APPLICABLE CONSTRUCTION SURETY REQUIREMENTS NOT ELICITED ON THE PLAN.
7. CONTRACTOR TO PROVIDE ALL PIPE AND SUBMIT RFI IF DITCH DEPTH PROPOSED SHALL EXCEED THE REQUIREMENTS IN THE PORE DESIGN DRAWINGS AND REQUIREMENTS.
8. VOICES CREATED BY THE REMOVAL OF MATERIALS ON UTILITIES DESCRIBED ABOVE

SHOULD BE CALLED TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER. NO FILL SHOULD BE PLACED UNLESS THE UNDERLYING SOIL HAS BEEN OBSERVED BY THE GEOTECHNICAL ENGINEER.

5 16. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY FOR WORK IN RIGHT OF WAY.

Date	03-18-24	No.	Revisions
Scale	1" = 30'		
Drawing	MB		
Drawn	MB		
Approved	JM		
Drawing Number:			
C2.0			
2	OF 8		

DRAWING NAME: K:\2023\240235-10-Highway-10-Exposition-Creek-Bike-Trail-Plan.dwg
PLOT DATE: 03-18-24 PLOTTED BY: BAK



Revisions	
No.	Revisions
1	03-18-24
2	Scale 1" = 30'
3	Design MB
4	Draw MB
5	Approved JH
6	Job No. 240235

Drawing Number:
3
C3.0
8



BKF ENGINEERS
3000 HIGUERA STREET
SUITE 200
SAN LUIS OBISPO, CA 94901
TEL: 805.781.1111
WWW.BKF.COM

10 HIGUERA STREET
SITE PLAN
SAN LUIS OBISPO

CALIFORNIA

DRAWING NAME: K:\2023\240235-10-Higueras-Sub-Grading-Plan-1.dwg
PLOT DATE: 03-19-24
PLOT BY: ACOTED BY: BAK

LEGEND

- GRADE BREAK LINE
--- SURFACE SLOPE
--- SPOT ELEVATION

EARTHWORK SUMMARY

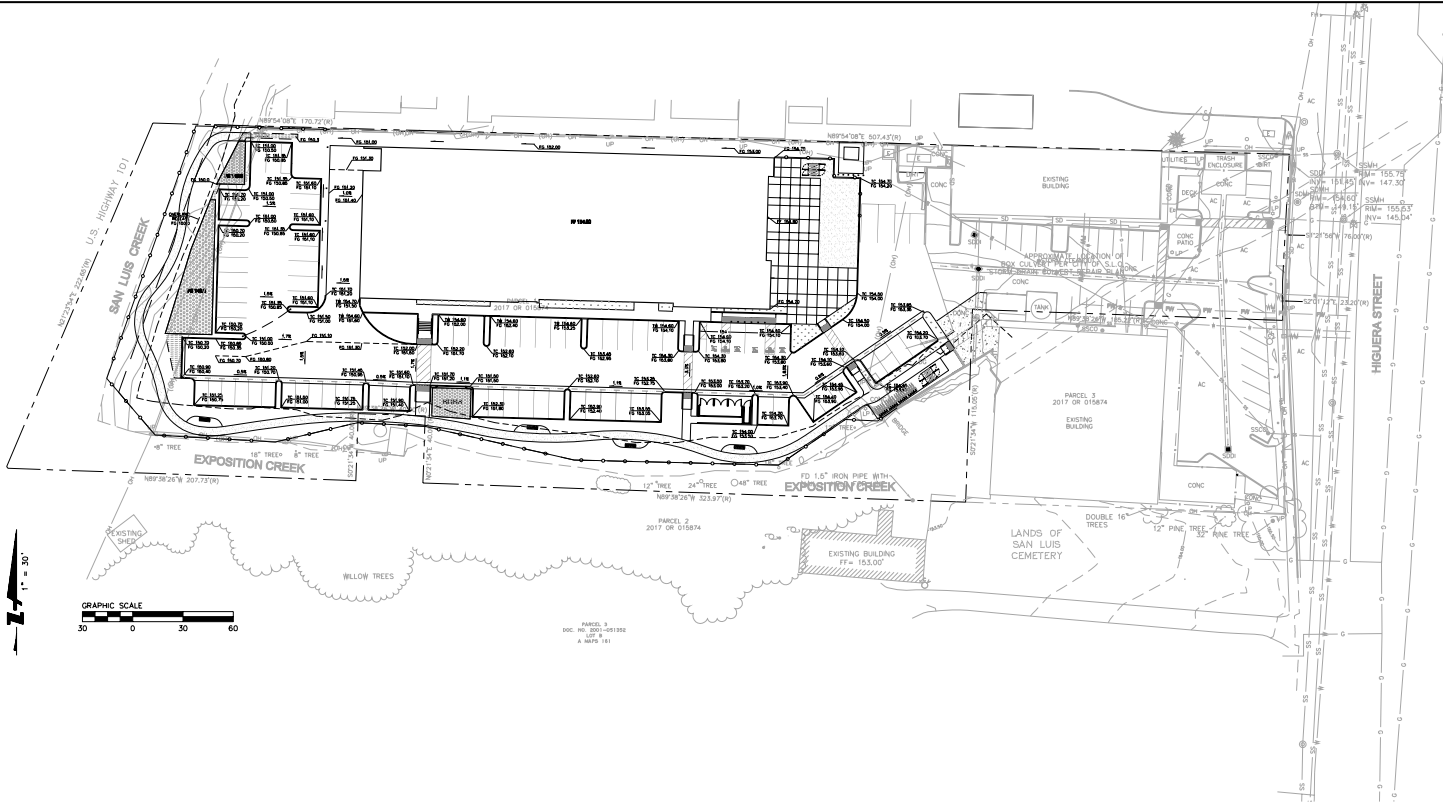
TOTAL CUT = 4,450 CUBIC YARDS
TOTAL FILL = 890 CUBIC YARDS
TOTAL EXPORT = 3,600 CUBIC YARDS
EXPORT ENSURES ZERO-NET FILL GRADING PLAN

ABBREVIATIONS

- BS BOTTOM OF STAIRS
BW BACK OF WALL
EG EXISTING GRADE
FF FINISH FLOOR
FG FINISH GRADE
RL ROWLINE
MA MATCH
TC TOP OF CURB
TS TOP OF SEWER
TTS TOP OF TREATMENT SOIL

NOTES

1. ALL GRADING EARTHWORK AND SITE PREPARATION OPERATIONS ARE TO CONFORM WITH GUIDELINES AND REQUIREMENTS FOR THE GEOTECHNICAL REPORT.
2. PROVIDE ACCESSIBLE LANDINGS AT ALL DOORS AS FOLLOWS:
2.1. WIDTH = 8'-0" MIN.
2.2. DEPTH = 8'-0" MIN.
2.3. CROSS SLOPE = 0.2% MAX, 2.0% MAX
3. ALL ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL HAVE A CROSS SLOPE AT A MINIMUM OF 1.0% AND MAXIMUM 2.0% IN ALL DIRECTIONS.
4. MAXIMUM SLOPE IN DEFINED DIRECTION OF TRAVEL SHALL NOT EXCEED 4.0% FOR ACCESSIBLE PORTS OF TRAVEL. THE MAXIMUM 4.0% SLOPE IS NOT AN AVERAGE, BUT RATHER A MAXIMUM FOR THE ENTIRE LENGTH OF TRAVEL.
5. ALL MANHOLES, GRATES, CLEANOUTS, AND VALVES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED TO FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
6. FOR DRAINAGE LAYOUT AND DESIGN WITHIN BUILDING LIMITS, SEE PLUMBING PLANS.
7. THE SITE SHALL BE GRADED SO THAT NO ADDITIONAL RUNOFF IS DIRECTED TO AND SO AS NOT TO IMPROVE RUNOFF FROM ADJACENT PROPERTIES.
8. ALL BUILDING SITES SHALL BE GRADED TO SLOPE AWAY FROM THE BUILDING AND BUILDING FOUNDATIONS WITH A MAXIMUM SLOPE OF 2% FOR 5 FEET MINIMUM IN LANDSCAPED AREAS AND A MINIMUM SLOPE OF 0% FOR 10 FEET MINIMUM IN LANDSCAPED AREAS, OR AS REQUIRED BY THE SOILS ENGINEER.
9. IF DURING CONSTRUCTION, ARCHAEOLOGICAL OR NATIVE REMAINS OR ARTIFACTS ARE ENCOUNTERED, THE CONTRACTOR SHALL HALT CONSTRUCTION IN THE VICINITY AND SHALL NOTIFY THE CITY OF SAN LUIS OBISPO.
10. SEE UTILITY PLAN FOR UTILITY GRATES, RIMS, AND LIDS. ALL GRATES, RIMS, AND LIDS SHALL BE ADA AND HIEL PROOF RATES, AS WELL AS NON-SLIP.



BKF ENGINEERS
3000 HIGUERA STREET
SUITE 200
SAN LUIS OBISPO, CA 94001
TEL: 805.749.1400
WWW.BKF.COM

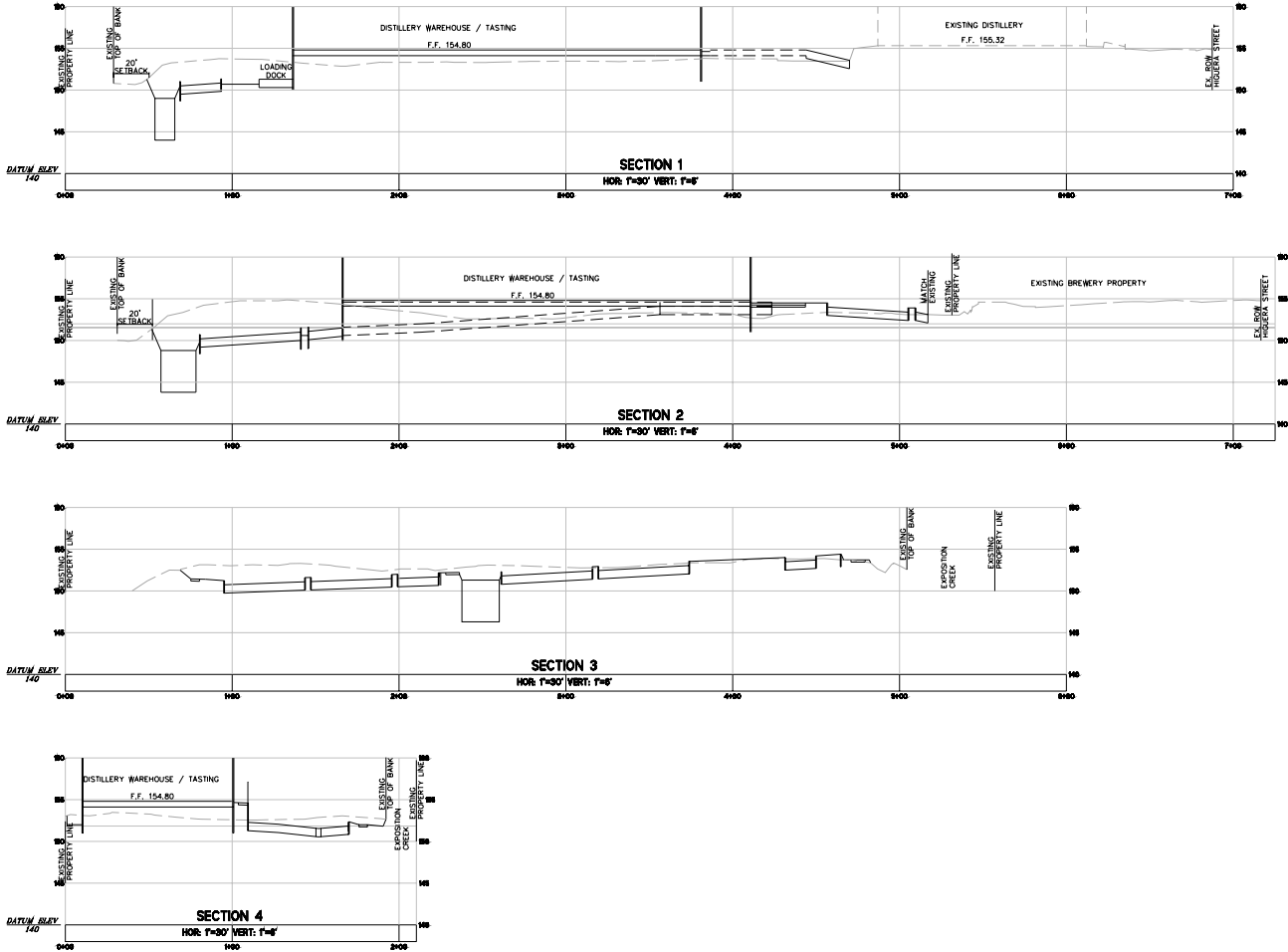
10 HIGUERA STREET
GRADING AND DRAINAGE PLAN

CALIFORNIA

SAN LUIS OBISPO

Revisions		No.	Date
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Scale	1" = 30'		
Design	MB		
Drawn	MB		
Approved	JM		
Job	240224233		
Drawing Number:		C4.1	
		4 of 8	

DRAWING NAME: K:\2023\240235\01\Higueras\Bases\1\1eq\VA P1000.dwg
PLOT DATE: 03-18-24 ACUTED BY: BAK



10 HIGUERA STREET
SITE SECTIONS
SAN LUIS OBISPO

CALIFORNIA

SAN LUIS OBISPO

Revisions	
No.	Revisions
1	Date: 03-18-24
2	Scale: AS SHOWN
3	Design: MB
4	Drawn: MB
5	Approved: JAL
6	Job: 240235235
Drawing Number:	
5	C4.2
OF	8



10 HIGUERA STREET
UTILITY PLAN
SAN LUIS OBISPO

SAN LUIS OBISPO

Date	03-18-24	No.		Revisions
Scale	1" = 30'			
Design	MB			
Drawn	MB			
Approved	JM			
Drawing Number:				
Job No: 20230233				

Drawing Number:
C5.1
6 OF **8**



GRAPHIC SCALE



30 0 30 60

DW	DOMESTIC WATER
EX	EXITING
E	ELECTRIC
FDC	FIRE DEPARTMENT CONNECTION
FL	FLOWLINE
PW	FIRE WATER
INV	INVERT
GRT	GRATE
PERF	PERFORATED PIPE
PIV	PISTON INDICATOR VALVE
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
PSB	REDUCED PRESSURE BACKFLOW
SD	STORM DRAIN
SDAD	STORM DRAIN AREA DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDID	STORM DRAIN DROP INLET
SDMHS	STORM DRAIN MANHOLE
SO	SOIL OPENING
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
WM	WATER METER

—+— DOMESTIC WATER LINE [PVC CROSS]
 F8 FINE WATER LINE [PVC CROSS/CROSS]
 — STORM DRAIN LINE [PVC SDR 35]
 — STORM DRAIN PERFORATED PIPE (PP)
 □ STORM DRAIN INLET WITH FLOODGATE
 STANDARD CATCH BASIN INSERT FILL
 * STORM DRAIN CLEANOUT
 • STORM DRAIN AREA DRAIN
 — SANITARY SEWER LINE [PVC SDR 35]
 — SANITARY SEWER CLEANOUT
 ⊕ SANITARY SEWER MANHOLE
 — GATE VALVE
 —T— JOINT TRENCH, SEE POBIE DRAWING

- FIRE HYDRANT
- ▼ THRUST BLOCK
- ⇒ FIRE DEPARTMENT CONNECTION (FDC)
- ◆ POST INDICATOR VALVE (PIV)

WM WATER METER (WM) BOX
RPB REDUCED PRESSURE BACKFLOW (RPB)

DRAWING NAME: K:\2023\240223\10-Higueras\DWG\ENR-1\Bore_1_Ten_VIA_Plane.dwg
PLOT DATE: 03-18-24 ACUTED BY: BAK

LEGEND:

- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
- INFILTRATION TRENCH
- AGGREGATE DRAINAGE SHALE

STORMWATER CONTROL MEASURE – SIZING CALCULATIONS
(PER APPENDIX C OF THE COUNTY OF SLO POST CONSTRUCTION REQUIREMENTS HANDBOOK)

PROJECT DATA:

- 1.33 ACRE SITE
- 83.6% IMPERVIOUS
- REQUIRED TO INFILTRATE THE 85% PERCENTILE STORM (1.2 INCHES)

IMPERVIOUS AREA = 70,243 SF
PERVIOUS AREA = 13,801 SF

1. CALCULATE REQUIRED RETENTION VOLUME

- FRACTION OF IMPERVIOUS, $I = 0.836$
- $C = 0.858(1 - I) + 0.78(2 - I) + 0.774I + 0.4 = 0.64$
- TOTAL AREA = 84,044 SF
- RAINFALL DEPTH = 1.2 IN (0.10 FT)
- VOLUME = $C \times \text{DEPTH} \times \text{AREA} = 0.64 \times 84,044 \times 0.10 = 5,380 \text{ CU. FT.}$

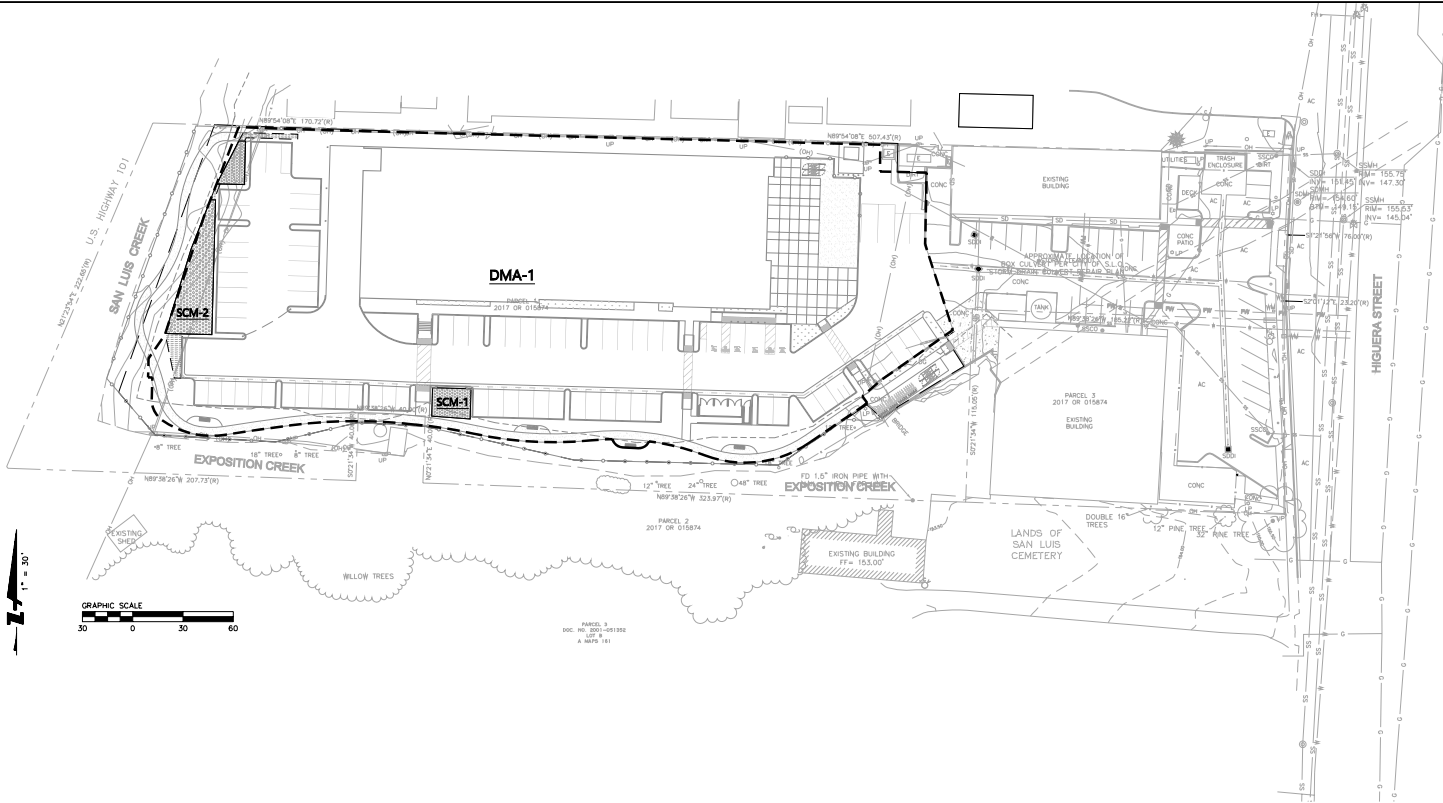
2. CALCULATE REQUIRED SCM STORAGE CAPACITY BY SIMPLE METHOD

- ASSUMED WATER DEPTH = 33" (2.75 FT)
- REQUIRED SURFACE AREA = $\text{RET. VOLUME} / \text{WATER DEPTH} = 5,380 / 2.75 = 1,960 \text{ SF}$
- APPROACH: STORE VOLUME IN PONDING AREA AND GRAVEL (NO UNDERDRAIN)
- SURFACE PONDING DEPTH = 12"
- REMAINING WATER DEPTH = 33"-12" = 21"

GRAVEL DEPTH REQUIRED (POROSITY 0.35): $21" / 0.35 = 60"$

SUMMARY: INFILTRATION AREA HAS:

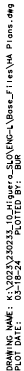
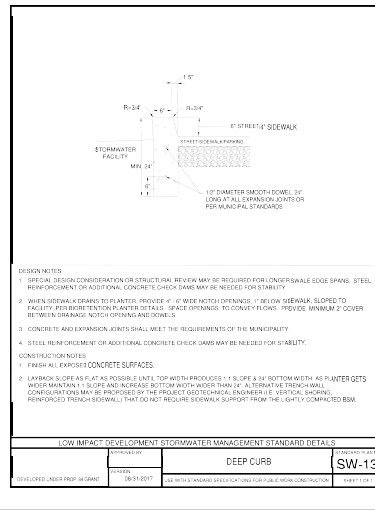
- PONDING DEPTH = 12 INCHES
- GRAVEL DEPTH = 60 INCHES

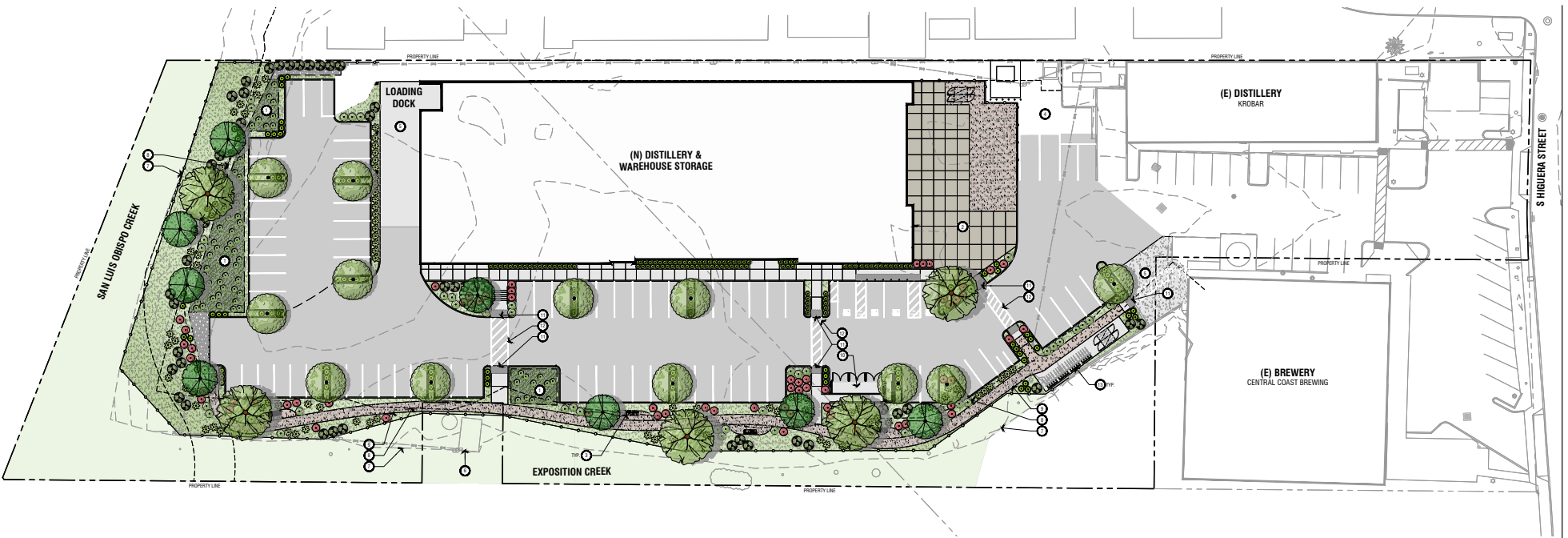


BKF ENGINEERS
20110 HIGUERA STREET
SANTA ROSA, CA 94001
(707) 534-1100
www.bkf.com

10 HIGUERA STREET
STORMWATER CONTROL PLAN
SAN LUIS OBISPO
CALIFORNIA

Revisions		No.	Date
		1	03-18-24
Scale	1" = 30'		
Design	MB		
Drawn	MB		
Approved	JM		
Job	102022023		
Drawing Number:		C6.1	
		7 of 8	





1 LANDSCAPE PLAN

MWEO IRRIGATION CALCULATION

Maximum Applied Water Allowance Calculations			
Enter Values in Blue Cells			
San Luis Obispo			
San Luis Obispo			
Type of Project (ETAP) and Water Source			
ETAP of City from MWEOLO Data			
Non-Residential Potable Water			
65.40 (ETAP) (gpm)			
14348 (Avg Landscape Area (ft²))			
14.348 (ft²)			
Total Landscape Area (A.L.A.)			
14.348 (ft²)			
Residential projects will have an			
ETAP of 0.55 for non-residential projects			
and Values in ETAP of 0.55			
Results:			
(ETAP) x (6.40) x (ETAP) x (A.L.A.) + (1.0) x (ETAP) x (A.L.A.)			
179.562 (Gallons per year)			
280 (ETAP) (Gallons per year)			
0.686 (Gallons per year)			

Estimated Total Water Use			
Enter Values in Blue Cells			
San Luis Obispo			
San Luis Obispo			
Type of Project (ETAP) and Water Source			
ETAP of City from MWEOLO Data			
Non-Residential Potable Water			
65.40 (ETAP) (gpm)			
14348 (Avg Landscape Area (ft²))			
14.348 (ft²)			
Total Landscape Area (A.L.A.)			
14.348 (ft²)			
Residential projects will have an			
ETAP of 0.55 for non-residential projects			
and Values in ETAP of 0.55			
Results:			
(ETAP) x (6.40) x (ETAP) x (A.L.A.) + (1.0) x (ETAP) x (A.L.A.)			
179.562 (Gallons per year)			
280 (ETAP) (Gallons per year)			
0.686 (Gallons per year)			

PLANT SCHEDULE

SYMBOL

TREES

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
	8	Aesculus californica / California Buckeye	15 gal
	12	Arbutus x 'Marina' / Marina Strawberry Tree	24"box
	5	Quercus rubra / Red Oak	24"box

PLANT SCHEDULE

	BIORETENTION SHRUBS Carex praegracilis / California Field Sedge Chondropetalum tectorum 'El Campo' / El Campo Cape Rush Juncus effusus 'Carmen's Japanese' / Carmen's Japanese Soft Rush Juncus patens / California Gray Rush
	ORNAMENTAL GRASSES Lomandra longifolia 'Roma 13' / Platinum Beauty® Variegated Mat Rush Pennisetum spathiolatum / Slender Veldt Grass Sesleria autumnalis 'Campo Verde' / Campo Verde Autumn Moor Grass
	GROUNDCOVER PLANTING Ceanothus griseus horizontalis 'Diamond Heights' / Diamond Heights Variegated Carmel Creeper Verbena ilacina 'De la Mina' / De la Mina Lilac Verbena
	NATIVE SHRUBS Eriogonum giganteum / St. Catherine's Lace Frangula californica / California Coffeeberry Rhus integrifolia / Lemonade Berry
	FLOWERING SHRUBS Epilobium canum 'Catalina' / Catalina California Fuchsia Kniphofia x 'Gladness' / Gladness Red Hot Poker
	FOUNDATION SHRUBS Pennisetum spathiolatum / Slender Veldt Grass
	NATIVE GRASSES Calamagrostis foliosa / Reed Grass Festuca idahoensis / Idaho Fescue Muhlenbergia rigens / Deer Grass

SHRUB AREAS
See above.

STORMWATER TREATMENT PLANTERS
Carex divisa / European Grey Sedge
Chondropetalum tectorum 'El Campo' / El Campo Cape Rush
Juncus effusus 'Carmen's Japanese' / Carmen's Japanese Soft Rush
Juncus patens / California Gray Rush

LANDSCAPE PLAN LEGEND

	ASPHALT PAVING
	CONCRETE PAVING
	ACCENT CONCRETE PAVING
	GR/ OR GRAVEL
	PROPOSED 8" TALL HORIZONTAL WOOD FENCE

KEYNOTES

- REFER TO CIVIL PLANS FOR MORE INFORMATION REGARDING STORMWATER TREATMENT & DRAINAGE.
- BENCH, REFER TO 6" / 1.0.
- MECHANICAL / CHILLER PAD.
- (E) LOADING / DELIVERY BAY FOR CENTRAL COAST BREWING.
- (E) PUMP HOUSE (NOT A PART).
- TOP OF BANK.
- 20' SETBACK FROM TOP OF CREEK BANK.
- DE PATH.
- TRASH ENCLOSURE.
- ACCESSIBLE PEDESTRIAN RAMP.
- CROSSWALK.
- BIKE RACK - PEAK RACK, SINGLE SEED RACK - REFER TO 5' / 1.0.

LANDSCAPE NOTES

- THIS PLAN IS SCHEMATIC IN NATURE AND INTENDED TO SHOW COMPLIANCE WITH LOCAL ZONING AND DEVELOPMENT CODES.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A PERMANENT UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED TO ADEQUATELY AND EFFICIENTLY WATER ALL PLANTING AREAS AND TREES.
- IRRIGATION CONTROLLER SHALL BE PROGRAMMABLE AND HAVE WEATHER-BASED CAPABILITIES.
- SOIL SHALL BE AMENDED PRIOR TO PLANTING FOR OPTIMAL HEALTH OF ALL PLANT MATERIAL. SOIL AMENDMENT SPECIFICATIONS SHALL BE DETERMINED BASED ON A SOIL TEST ANALYSIS.

NOT FOR CONSTRUCTION

10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

PROJ # 2023-020
OWNER: JG
DATE: 04/25/23

NO. DATE SUBMITTAL
1 04/25/23 JG AND JG RE SUBMITTAL 1
2 04/25/23 JG AND JG RE SUBMITTAL 2
3 04/25/23 JG AND JG RE SUBMITTAL 3
4 04/25/23 JG AND JG RE SUBMITTAL 4

LANDSCAPE PLAN

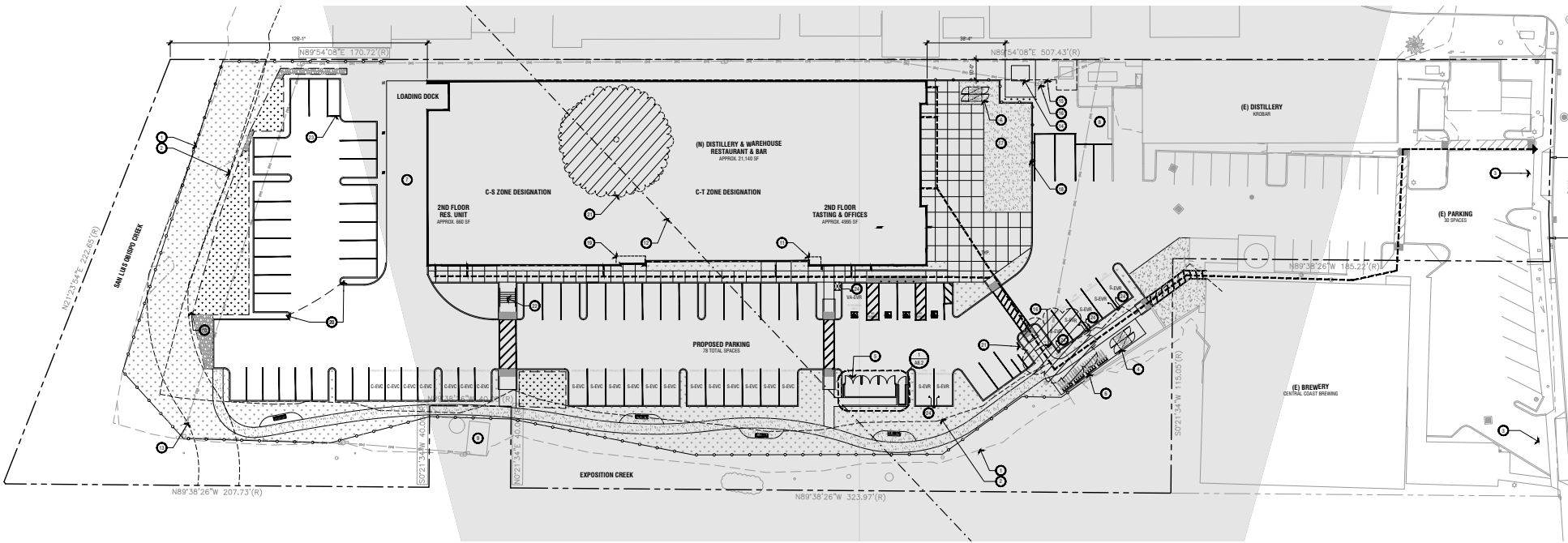
L1.0



ITEM#	QTY	DESCRIPTION	MODEL
10	14	LITHONIA LIGHTING	D-SERIES SIZE 8 AREA ILLUMINATE P9 PERFORMANCE PACKAGE TYPE 3 EXTENDED MOUNT/CLAMP CONTROL
10	3	LITHONIA LIGHTING	D-SERIES SIZE 8 AREA ILLUMINATE P9 PERFORMANCE PACKAGE 4000K CCT 80 OR TYPE 3 MEDIAN
10	6	LITHONIA LIGHTING	W05Z LED WITH P25W - PERFORMANCE PACKAGE, 4000K, BICOI, VISUAL COMFORT FORWARD OPTIC
10	4	BEGA	SURFACE MOUNTED CYLINDER
10	13	BEGA	LOW LEVEL BALLARD

1. REFER TO SHEET L3.0 FOR LIGHTING PRODUCT CUT SHEETS.
2. REFER TO PHOTOMETRIC LIGHTING PLAN PROVIDED BY MVS FOR MORE INFORMATION REGARDING PHOTOMETRIC VALUES AND PRODUCT INFORMATION.

NOT FOR CONSTRUCTION



1 SITE PLAN

KEYNOTES

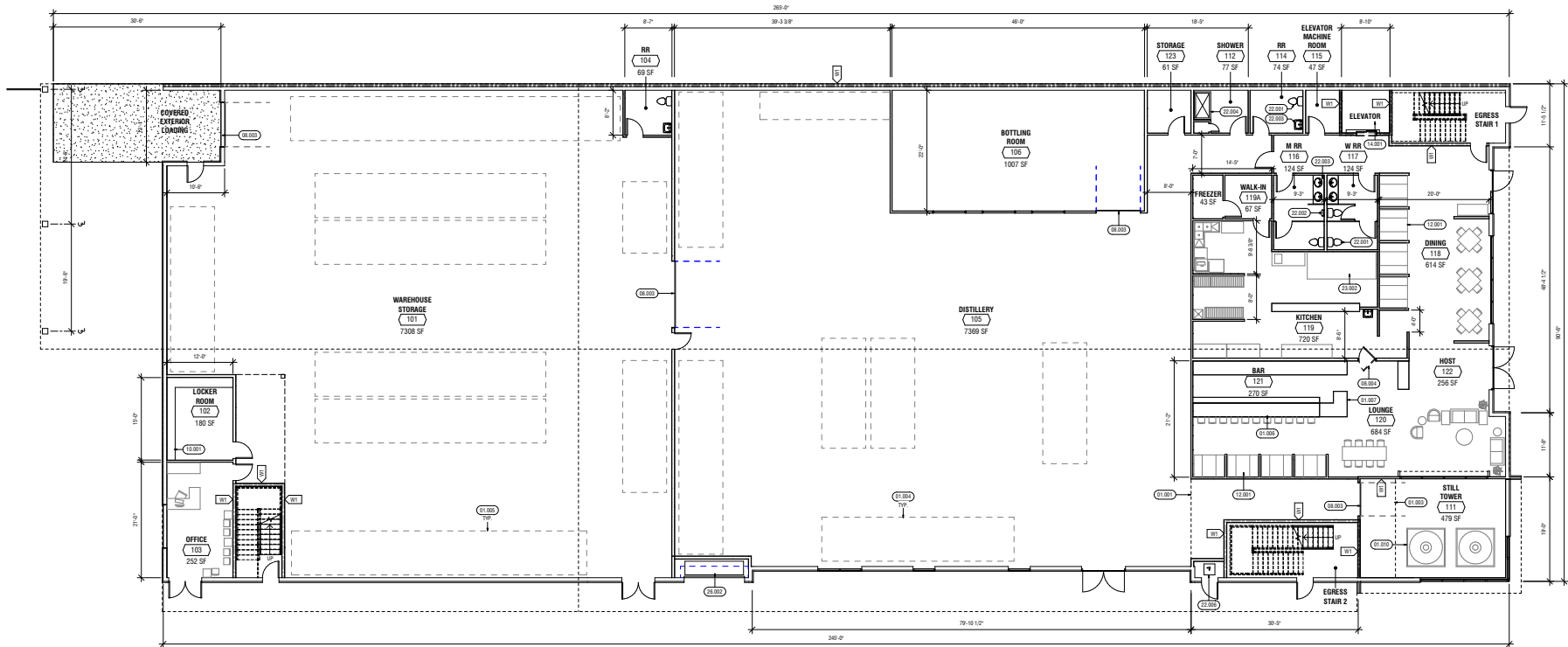
- 1 TOP OF CREEK BANK LINE
- 2 20' DETRACK LINE FROM TOP OF CREEK BANK
- 3 (E) DRIVEWAY, NOT A PART OF THIS PROJECT
- 4 LONG TERM BIKE PARKING (8 TOTAL), 2 EA
- 5 TRASH ENCLOSURE TO COMPLY WITH CITY OF SAN LUIS OBISPO CITY ENGINEERING STANDARDS BY PROVIDING ADEQUATE ROOM TO STORE REQUIRED CONTAINERS FOR WASTE, RECYCLING, ORGANICS, AND FOL. PER CITY BIN ENCLOSURE DRAWINGS AND SLD MUNICIPAL CODE 17.70.000 TRASH ENCLOSURE STANDARDS.
- 6 SHORT TERM BIKE PARKING, PEAK RACK OR SIMILAR 1" STYLE RACK, (20), 5 EA
- 7 BACK-IN RAMP TO LOADING DOCK
- 8 MECHANICAL PAUL UNDER FUTURE TENANT IMPROVEMENT PERMIT
- 9 (E) PUMP HOUSE TO REMAIN, NOT IN SCOPE
- 10 FLAG POLE
- 11 FIRE RISER PRELIMINARY LOCATION; FINAL ROOM LOCATION AND RISER SHALL BE LOCATED FOR BUILDING PERMIT APPLICATION SUBMITTAL.
- 12 (E) ZONE BOUNDARY, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- 13 EXTENT OF FUTURE BOB JONES TRAIL EASEMENT THROUGH SITE
- 14 (N) TRANSFORMER
- 15 PG&E EASEMENT
- 16 UTILITY POLE TO REMAIN, PROTECT IN PLACE
- 17 DECOMPOSED GRANITE
- 18 6' FOOT TALL DECORATIVE LANDSCAPE FENCING AT OUT DOOR AREA
- 19 SWITCHGEAR LOCATION
- 20 BOLLARD AND CHAIN LOCATION AT OVERFLOW PARKING; OVERFLOW PARKING SHALL REMAIN CLOSED WITH CHAIN/LOCKED DURING STORM EVENTS
- 21 (E) PERMANENT PEPPER TREE TO BE REMOVED, PLEASE SEE ARBORIST REPORT FOR TREE REMOVAL AND TREE PROTECTION INFORMATION
- 22 CONCRETE STAIRS WITH HANDRAIL
- 23 ACCESS TO PG&E EASEMENT ON NORTHERN PROPERTY LINE
- 24 (N) LOCATION OF FUTURE ELECTRICAL VEHICLE CHARGING STATION (EVS)

ARCHITECTURAL SITE PLAN LEGEND

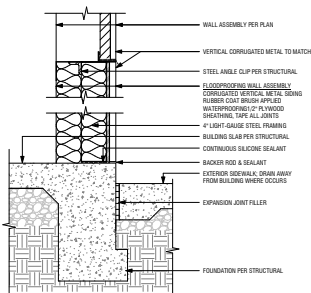
- 1 FLOODED SHADOW
- 2 LANDSCAPE AREA
- 3 STORMWATER TREATMENT LANDSCAPE AREA
- 4 CONCRETE AT ENTRY PLAZA
- 5 (E) PROPERTY LINE, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- 6 (E) ZONE BOUNDARY, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- 7 (E) CREEK / BUILDING SETBACK LINE
- 8 (N) FENCE - 6' TALL, COATED CHAIN LINK, COLOR: BLACK
- 9 SITE ARRIVAL POINT PATCH OF TRAVEL FROM SIDEWALK AND DET DISCHARGE REDUCE PATCH OF TRAVEL

ARCHITECTURAL SITE PLAN GENERAL NOTES

1. REFER TO SHEET 1.1 FOR PRELIMINARY REGULATORY AND REGULATORY.
2. REFER TO CIVIL ENGINEERING PLANS FOR EXISTING CONCRETE AND OVERFLOW PARKING.
3. REFER TO LANDSCAPE PLANS FOR BIKE REPAIR/STATION, PLANTING, DET, LIGHTING, AND HARDWARE.



1 FLOOR PLAN
1/8" = 1'-0"



2 FLOODPROOFING @ EXTERIOR WALL
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- TOILET ROOMS SHALL HAVE EXHAUST RATE OF 50 CFM MINIMUM.
- ELECTRICAL OUTLETS TO BE PLACED AT 18" TO CENTERLINE ABOVE FINISH FLOOR U.N.O.
- ELECTRICAL SWITCHES TO BE PLACED AT 48" TO CENTERLINE FROM FINISH FLOOR U.N.O.
- DOORS HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MINIMUM 34" AND A MAXIMUM 48" A.F.F.
- ALL EXTERIOR WALLS SHALL BE 2X FRAMING WITH R-13 MINIMUM INSULATION OR PER TITLE 24, U.N.O. REFER TO WALL LEGEND.
- ALL INTERIOR WALLS SHALL BE 2X4 FRAMING, TYPICAL U.N.O. REFER TO WALL LEGEND.
- ALL PLUMBING WALLS SHALL BE 2X4 MINIMUM FRAMING. REFER TO WALL LEGEND.
- PROVIDE R-13 MINIMUM INSULATION AT PLUMBING WALLS AND WALLS OF LAUNDRY ROOM.
- PROVIDE 1" MINIMUM AIR SPACE BETWEEN WOOD STRUCTURES AND RETAINING WALLS.
- PROVIDE 1 WINDOW, 1 TOILET PAPER HOLDER, 1 HAND TOWEL BAR, AND 2 BATH TOWEL BARS PER BATHROOM.
- THRESHOLD AND LANDINGS
 - THRESHOLDS AT EXTERIOR WALLS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLAB DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE FIELDED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). THE THRESHOLD HEIGHT SHALL BE LIMITED TO 1/4" AND THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS. THE DOOR DOES NOT OPEN OVER THE LANDING OR STAIR AND THE DOORWAY IS NOT ON AN ACCESSIBLE ROUTE AND IS NOT PART OF AN ADAPTABLE OR ACCESSIBLE DWELLING UNIT. [REFER TO CAL. JLCB.2](#)

- THRESHOLD AND LANDINGS
 - THRESHOLDS AT EXTERIOR WALLS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLAB DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE FIELDED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). THE THRESHOLD HEIGHT SHALL BE LIMITED TO 1/4" AND THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS. THE DOOR DOES NOT OPEN OVER THE LANDING OR STAIR AND THE DOORWAY IS NOT ON AN ACCESSIBLE ROUTE AND IS NOT PART OF AN ADAPTABLE OR ACCESSIBLE DWELLING UNIT. [REFER TO CAL. JLCB.2](#)
- DOORS OTHER THAN THE REQUIRED EXTERIOR DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7/8" BELOW THE TOP OF THE THRESHOLD. A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRWAY.
- STORM AND SCREEN DOORS SHALL BE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS.
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF STUD (F.D.S.).
- ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION IS FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT / DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ARCHITECT / DESIGNER PRIOR TO PROCEEDING WITH ANY WORK.

KEYNOTES

- 01.001 DASHED OVERHEAD LINE INDICATES EXTENT OF SECOND FLOOR
- 01.003 DASHED LINE INDICATES GUTTERLINE OVERLAPPING THE STILL TOWER
- 01.004 DASHED LINE INDICATES PALETTE STORAGE, SPIRIT HOLDING TANKS AND FERMENTING TANKS
- 01.005 DASHED LINE INDICATES PALETTE STORAGE
- 01.006 BAR AND BAR BEATERS
- 01.007 ASH BAR MAXIMUM HEIGHT OF 34"
- 01.010 LIGNON STILL
- 08.003 OVERHEAD ROLL-UP DOOR
- 08.004 DOUBLE SWINGING KITCHEN DOOR
- 10.001 METAL LOCKERS, TYPE AND MANUFACTURER TBD
- 10.002 BUILT-IN BENCH SEATING
- 14.001 ELEVATOR, TYPE AND MANUFACTURER TBD
- 22.001 ACCESSIBLE ROOM-MOUNTED TUB/SHOWER WITH SHOWER BARS
- 22.002 WALL-MOUNTED URINAL
- 22.003 COUNTER-MOUNTED LAVATORY WITH REQUIRED KNEE AND TOE CLEARANCES PROVIDED
- 22.004 ACCESSIBLE ROLL-IN SHOWER WITH FOLDING SEAT AND TRANSFER AND CLEAR SPACE PROVIDED
- 22.006 FIVE RISER PRELIMINARY LOCATION, FINAL ROOM LOCATION AND RISER SHALL BE LOCATED FOR BUILDING PERMIT APPLICATION SUBMITTAL
- 23.002 TYPE 1 WOOD OVERHEAD
- 26.002 ELECTRICAL SWITCHGEAR, SEE ELECTRICAL DRAWINGS

EXTERIOR WALL ASSEMBLY SCHEDULE

TYPE	DESCRIPTION
101	FINISH RATED WALL

NOT FOR CONSTRUCTION

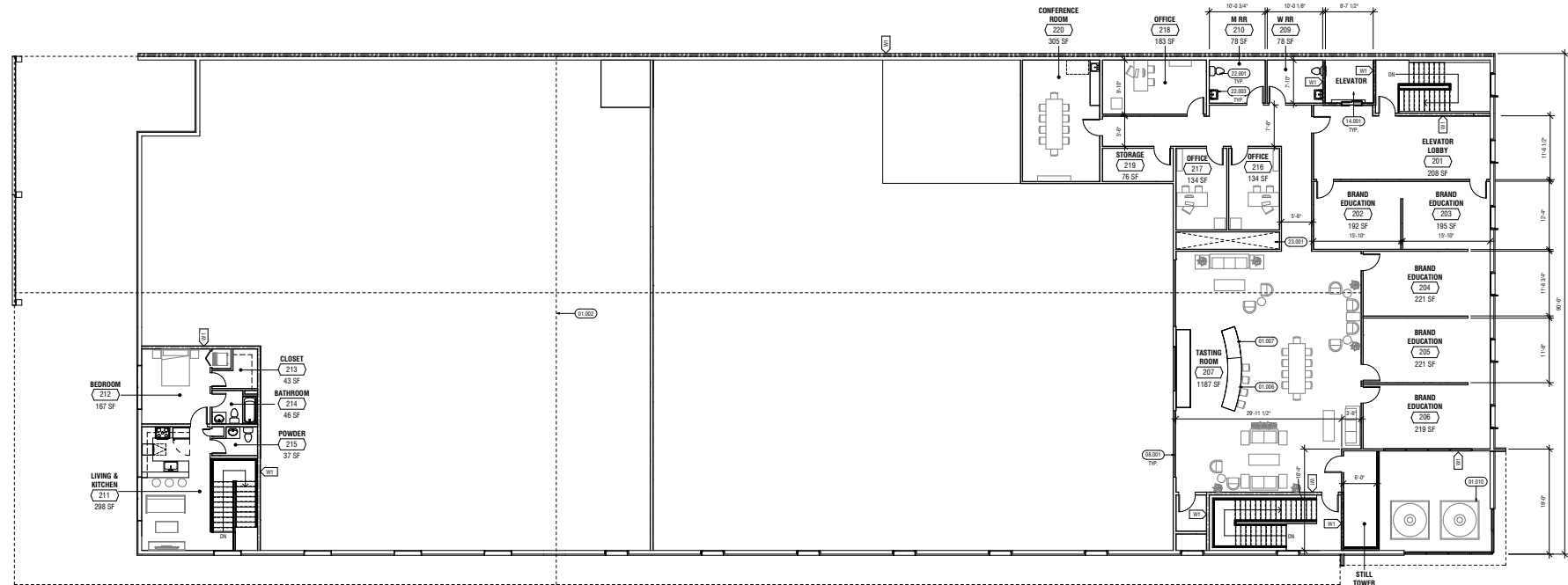
10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

PROJ. # 2023-030
SHEET # 08
CNSYS BY: NMA

NO.	DATE	SUBMITTAL
1	2/26/23	ARCH. DESIGN SUBMITTAL
2	2/26/23	ARCH. DESIGN SUBMITTAL 1
3	2/26/23	ARCH. DESIGN SUBMITTAL 2
4	2/26/23	PLANNING & DESIGN

FIRST FLOOR PLAN

A2.0



1 SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- TOILET ROOMS SHALL HAVE EXHAUST RATE OF 50 CFM MINIMUM.
- ELECTRICAL OUTLETS TO BE PLACED AT 40" TO CENTERLINE ABOVE FINISH FLOOR U.N.O.
- ELECTRICAL SWITCHES TO BE PLACED AT 40" TO CENTERLINE FROM FINISH FLOOR U.N.O.
- DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MINIMUM 34" AND A MAXIMUM 40" A.F.F.
- ALL EXTERIOR WALLS SHALL BE 2X FRAMING WITH R-13 MINIMUM INSULATION PER TITLE 24, U.N.O. REFER TO WALL LEGEND.
- ALL INTERIOR WALLS SHALL BE 2X FRAMING, TYPICAL U.N.O. REFER TO WALL LEGEND.
- ALL PLUMBING WALLS SHALL BE 2X4 MINIMUM FRAMING. REFER TO WALL LEGEND.
- PROVIDE R-13 MINIMUM INSULATION AT PLUMBING WALLS AND WALLS OF LAUNDRY ROOM.
- PROVIDE 1 MINIMUM AIR SPACE BETWEEN WOOD STRUCTURES AND RETAINING WALLS.
- PROVIDE 1 MIRROR, 1 TOILET PAPER HOLDER, 1 HAND TOWEL BAR, AND 2 BATH TOWEL BARS FOR BATHROOM.
- THRESHOLD AND LANDINGS
A. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVELS, CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE FINISHED WITH A SLIP RESISTANT MATERIAL. THE THRESHOLD HEIGHT SHALL BE LIMITED TO 1/4" AND THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS. THE DOOR DOES NOT SWING OVER THE LANDING OR STAIR AND THE DOORWAY IS NOT ON AN ACCESSIBLE ROUTE AND IS NOT PART OF AN ADAPTABLE OR ACCESSIBLE DWELLING UNIT. **REFER TO THE WALL LEGEND.**

- THERE SHALL BE A LANDING ON FLOOR OR EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVICE. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 5'0" MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR BALCONIES LESS THAN 10' L AND ONE ACCESSIBLE FROM A DOOR ARE PERMITTED TO HAVE A LANDING LESS THAN 3'0" DEEP. **REFER TO THE WALL LEGEND.**
- LANDINGS ON FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1'-10" LOWER THAN THE TOP OF THE THRESHOLD. THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7'-0" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHEN EXTERIOR LANDING OR FLOOR SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R011.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R011.7.
- DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 1'-0" BELOW THE TOP OF THE THRESHOLD. A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRWAY.
- STORM AND SCREEN DOORS SHALL BE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS.

- DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF STUD (P.D.S.).
- ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION IS FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT (DESIGNER) IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ARCHITECT (DESIGNER) PRIOR TO PROCEEDING WITH ANY WORK.

KEYNOTES

- | KEYNOTE | DESCRIPTION |
|---------|--|
| 01.002 | DASHED OVERHEAD LINE INDICATES ROOF LINE ABOVE |
| 01.006 | BAR AND BAR SEATING |
| 01.007 | ADA BAR, MAXIMUM HEIGHT OF 34" |
| 01.010 | LAGOON FILL |
| 08.001 | ALUMINUM EXTERIOR SYSTEM |
| 14.001 | ELEVATOR, TYPE AND MANUFACTURER TBD |
| 22.001 | ACCESSIBLE 4'0" CORNERED TOILET WITH GRAB BARS |
| 22.003 | COUNTER-ADJUSTED LAVATORY WITH REQUIRED KNEE AND CLEARANCES PROVIDED |
| 22.001 | CHASE PROVIDED FOR VENTING AND HVAC |

EXTERIOR WALL ASSEMBLY SCHEDULE

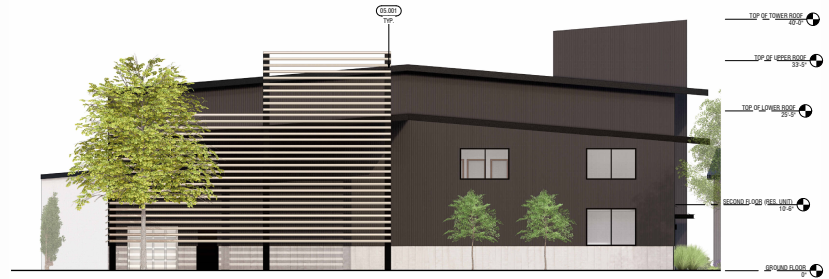
TYPE	DESCRIPTION
1W	FIRE RATED WALL



1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- EXTERIOR FINISHES AND COLORS SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION. WEATHER UPDATES ON THE PLANS OR NOT.
- PROVIDE FLASHING AND COUNTERFLASHING PER CBC 1707 AT CHIMNEYS, PARAPETS, BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS TO MAINTAIN A WEATHER AND WATER TIGHT ENVELOPE. FLASHING AND COUNTERFLASHING SHALL BE MAX 26 GA DAILY METAL. PAINT ALL GALV. METAL MATERIAL TO MATCH ADJACENT MATERIAL.
- GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS AND ALL GUTTERS SHALL BE GALVANIZED METAL OR ALUMINUM PAINTED TO MATCH ADJACENT. DOWNSPOUTS SHALL BE PAINTED TO MATCH ADJACENT WALL FINISH AND TIED INTO UNDERGROUND DRAINAGE. REFER TO DRAINAGE/CHARGE PLAN IF PROVIDED FOR ADDITIONAL INFORMATION.
- GUTTERS SHALL INCLUDE AN INTERNAL MEANS OF PREVENTING ACCUMULATION OF LEAVES AND DEBRIS.

EXTERIOR ELEVATION LEGEND

	VERTICAL BOX RIB METAL SIDING: KEP SPAN, COOL DURA TECH 1000 MATTE BLACK		VERTICAL WOOD SIDING: NATURAL STAIN		ALUMINUM STOREFRONT WINDOW FRAMES, MULLIONS AND DOOR FRAMES: ANODIZED DARK BRONZE
	STANDING SEAM METAL ROOFING: KEP SPAN/SEAM, COOL DURA TECH 3000 SLATE GRAY		CONCRETE BASE, BOARD FINISHED		EXTERIOR DOWNLIFT WALL SOUNGE IN COMPLIANCE WITH DARK SKY REQUIREMENTS; DARK BRONZE

KEYNOTES

05.001	EXTERIOR STEEL COLUMN, PAINTED BLACK
05.002	EXTERIOR STEEL BRACING
05.003	EXTERIOR STEEL SCREENING
05.004	ALUMINUM EXTERIOR ENTRANCE DOORS
05.005	OVERHEAD ROLL-UP DOOR



01 - VIEW FROM ENTRY



02 - VIEW FROM PLAZA



03 - VIEW FROM PARKING AREA



04 - VIEW FROM LOADING AREA

10

TEN OVER
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10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

PROJ. # : 2023-020
DESIGN BY : TB
CHECKED BY : MM

NO.	DATE	SUBMITTAL
1	2/28/23	ARCHITECTURAL SUBMITTAL
2	2/28/23	ARCHITECTURAL SUBMITTAL 1
3	2/28/23	ARCHITECTURAL SUBMITTAL 2
4	2/28/23	PLANNING MEETING

PERSPECTIVE
IMAGES

A4.0

NOT FOR CONSTRUCTION