10 HIGUERA

10 HIGUERA ST., SAN LUIS OBISPO, CA 93401

SUMMARY OF CONTEXT

Our site is primarily surrounded by C-S AND C-T zones. The site is situated between 101 and Higuera street. Directly to the south is a cemetary and southeast of the property is the South Hills Open Space nature conservation. To the east of the site there are 1-story retail buildings and to the north there are 1-story commercial buildings.

① EXISTING BREWERY FROM HIGUERA

CONTEXTUAL SITE PLAN

SCALE: - N. T. S.

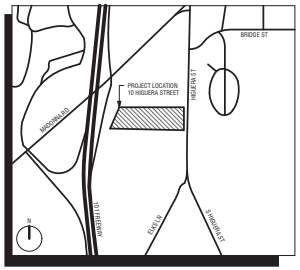
③ EXISTING BREWERY AND DISTILLERY FROM HIGUERA

④ 1-STORY BUSINESS NORTH OF THE SITE

② CEMETARY TO THE SOUTH OF SITE

⑤ 1-STORY RETAIL STORE EAST OF THE SITE

VICINITY MAP



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PROJECT DIRECTORY

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KEITH SWEENEY
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BKF ENGINEERS
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SANTA ROSA, CA 95401
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EMAIL: jmarello@bkf.com

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PHONE: 805.541.1010
EMAIL: julias@tenoverstudio.com

AGENCIES & UTILITIES

CITY OF SAN LUIS OBISPO - COMMUNITY DEVELOPMENT DEPARTMENT
919 PALM STREET
SAN LUIS OBISPO, CA 93401 PH: 805.781.7180

CITY OF SAN LUIS OBISPO - BUILDING DEPARTMENT
919 PALM STREET
SAN LUIS OBISPO, CA 93401 PH: 805.781.7180

CITY OF SAN LUIS OBISPO - PLANNING DEPARTMENT
919 PALM STREET
SAN LUIS OBISPO, CA 93401 PH: 805.781.7170

CITY OF SAN LUIS OBISPO - PUBLIC WORKS DEPARTMENT
919 PALM STREET
SAN LUIS OBISPO, CA 93401 PH: 805.781.7220

CITY OF SAN LUIS OBISPO - FIRE DEPARTMENT
2160 SANTA BARBARA AVENUE
SAN LUIS OBISPO, CA 93401 PH: 805.781.7380

PG & E
406 HIGUERA STREET
SAN LUIS OBISPO, CA 93401 PH: 800.743.5000

SOUTHERN CALIFORNIA GAS COMPANY
1314 BROAD STREET
SAN LUIS OBISPO, CA 93401 PH: 1.800.427.2200

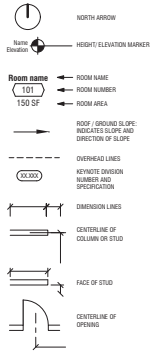
CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA HISTORICAL BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA EXISTING BUILDING STANDARDS CODE
2022 CALIFORNIA REFERENCE STANDARDS CODE

CITY OF SAN LUIS OBISPO MUNICIPAL CODE: TITLE 15 BUILDINGS AND CONSTRUCTION
CITY OF SAN LUIS OBISPO TITLE 17 ZONING REGULATIONS

DRAWING SYMBOLS



PARKING CALCULATIONS

PARKING REQUIRED FOR PROPOSED USES	AREA SF	PARKING FACTOR	SPACES REQUIRED
WAREHOUSE	7570 SF	1 / 1500 SF	5
DISTILLERY	8838 SF	1 / 1500 SF	6
STILLS	514 SF	1 / 1500 SF	1
RESTAURANT	3804 SF	1 / 100 SF	38
RESIDENTIAL UNIT	864 SF	.75 / 1 BR	1
TASTING ROOMS	2438 SF	1 / 100 SF	24
TOTAL REQUIRED			**75**
TOTAL NEW SPACES PROVIDED FOR PROJECT FOR PROPOSED NEW BUILDING			**70**
TOTAL EXISTING SPACES FOR EXISTING USES FOR EXISTING BREWERY & DISTILLERY			**35**
TOTAL FUTURE SPACES ON PROPERTY FOR ALL EXISTING AND PROPOSED BUILDINGS			**113**

ADA SPACES	USE	# OF SPACES	ADA FACTOR	ADA REQUIRED
	COMMERCIAL	76	4 @ 76-100 SPCS	4
	REQ'D TOTAL			**4**
	PROVIDED TOTAL			**1 VAN, 3 STD**

EV REQUIRED	USE	# OF REQ'D SPACES	EV FACTOR	EV REQUIRED
EV READY	COMMERCIAL	75	10% OF SPACES	8
EV CAPABLE	COMMERCIAL	75	25% OF SPACES	19
	PROVIDED TOTAL		**EV READY**	**1 VAN, 7 STD**
			EV CAPABLE	**19 STD**

MOTORCYCLE	USE	# OF SPACES	PARKING FACTOR	MOTORCYCLE REQ'D
	COMMERCIAL	76	1 / 20 @ 10+ SPCS	4
	REQ'D TOTAL			**4**
	PROVIDED TOTAL			**4**

BICYCLE PARKING CALCULATIONS

BICYCLE PARKING REQUIRED

	UNIT COUNT (OR SF)	TOTAL BICYCLE	SHORT TERM			LONG TERM		
WAREHOUSE	7570 SF	1 / 2000 SF	4	25%	1	75%	3	
DISTILLERY	8838 SF	1 / 2000 SF	4	25%	1	75%	3	
STILLS	514 SF	1 / 2000 SF	1	25%	0	75%	1	
RESTAURANT	3804 SF	1 / 500 SF	8	75%	6	25%	2	
RESIDENTIAL UNIT	1 UNIT	2 / UNIT	0	GUEST	2		2	
TASTING ROOM	2438 SF	1 / 150 SF	16	75%	12	25%	4	
REQUIRED TOTAL					**22**		**15**	
PROVIDED TOTAL					**22**		**15**	

BUILDING INFO

DISTILLERY, WAREHOUSE & RESTAURANT/BAR	
OCCUPANCY	A-2, A-3, F-1, H-3, R-3, S-1
CONSTRUCTION TYPE	VB
SPRINKLER SYSTEM	YES
STORIES PROPOSED	2 STORIES
HEIGHT PROPOSED	40'
BUILDING AREA SF	21,700 SF

ALLOWABLE BUILDING HEIGHT, STORIES & AREAS

	HEIGHT	STORIES	AREA FACTOR (Sprinklered SM)
A-2	60	3	18,000
A-3	60	2	18,000
F-1	60	3	25,500
H-3	40	1	5,000
R-3	60	4	UNLIMITED
S-1	60	2	37,000

SEPARATED OCCUPANCIES (SPRINKLERED, SM) - ALLOWABLE AREA

	USE	ACTUAL AREA	ALLOWABLE AREA	RATIO
FIRST FLOOR	A-2	3,940	18,000	0.22
	F-1	8,838	25,500	0.35
	H-3	514	5,000	0.10
	R-3	156	UNLIMITED	0.00
	S-1	7,570	37,000	0.20
	TOTAL			**0.95**
SECOND FLOOR	A-3	5,374	18,000	0.30
	R-3	708	UNLIMITED	0.00
	TOTAL			**0.30**
	REQ'D RATIO	<1/=1	LARGEST PROPOSED	**0.95**

SEPARATED OCCUPANCIES - ALLOWABLE HEIGHT

USE	HEIGHT: STORIES	HEIGHT PROVIDED	# OF STORIES
A-2	60 / 2	32'-0"	1
A-3	60 / 2	33'-0"	1
F-1	60 / 2	33'-0"	1
H-3	40 / 3	40'-0"	2
R-3	60 / 4	23'-0"	2
S-1	60 / 2	29'-0"	1

PROJECT DESCRIPTION

THE PROPOSED PROJECT INVOLVES THE SITE DEVELOPMENT OF AN EXISTING 2.96 ACRE LOT IN TWO SEPARATE PHASES WITHIN THE COMMERCIAL TOURISM AND COMMERCIAL SERVICES ZONES. THE PRIMARY GOAL OF THE PROJECT IS TO CREAT A DESTINATION THAT ALLOWS LOCAL GUESTS AND VISITORS TO HAVE AN IMMERSIVE EDUCATIONAL EXPERIENCE WHILE PROMOTING THE LOCAL BUSINESS ON SITE.

PHASE ONE INCLUDES OVERALL SITE IMPROVEMENTS, GRADING AND DRAINAGE, UTILITY UPGRADES, VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS, SITE PARKING, LANDSCAPING, A TRASH ENCLOSURE, AND A NEW TWO STORY 21,600 SF PRE-ENGINEERED METAL SHELL BUILDING WITH RESIDENTIAL USE PROVIDED PER MIXED USE ZONING OVERLAY.

PHASE TWO (UNDER SEPARATE PERMIT) WILL INCLUDE THE TENANT IMPROVEMENTS WITHIN THE NEW 21,600 SF SHELL BUILDING TO BE A NEW RESTAURANT, BAR, DISTILLERY, AND DISTILLERY WAREHOUSE.

THE PROPOSED USES ARE ALLOWABLE ON SITE PER THE CITY OF SAN LUIS OBISPO MUNICIPAL CODE, SECTION 17.10.020, TABLE 2-1. COMMERCIAL LINKAGE FEE (PER SLO MUNI CODE CHAPTER 4.60) WILL BE PAID PRIOR TO BUILDING PERMIT ISSUANCE.

LAND USE REQUIREMENTS

ADDRESS		10 HIGUERA ST. SAN LUIS OBISPO, CA		
APN		004-011-015 & 004-011-023		
ZONING		C-S, C-T		
OVERLAY ZONES		S, MU		
CURRENT USE		VACANT, DISTILLERY, BREWERY		
PROPOSED USE		RESTAURANT, DISTILLERY, WAREHOUSE		
ALLOWED USE IN ZONE		RESTAURANT: YES; BARS: MUP; WAREHOUSE: YES		
ENTITLEMENTS/USE PERMIT REQUIRED		Y		
LOT SIZE		129938 SF	2.96 ACRE	
C-T: TOURIST COMMERCIAL				
MAX SITE COVERAGE	ALLOWABLE	75%	PROPOSED	20%
FAR	ALLOWABLE	2.5	PROPOSED	0.29
HEIGHT LIMIT	ALLOWABLE	45'-0"	PROPOSED	40'-0"
C-S: SERVICE COMMERCIAL				
MAX SITE COVERAGE	ALLOWABLE	75%	PROPOSED	13%
FAR	ALLOWABLE	1.5	PROPOSED	0.14
HEIGHT LIMIT	ALLOWABLE	35'-0"	PROPOSED	33'-0"
ADJACENT ZONES	NORTH	C-T-MU		
	EAST	C-S-MU		
	SOUTH	C-S-S		
	WEST	C-OS-S		

		C-T		C-S
SETBACKS	FRONT	10' MIN.	FRONT	N/A
	SIDE - NORTH	NONE	SIDE - NORTH	20' MIN. @C/OS
	SIDE - SOUTH	NONE	SIDE - EAST	NONE
	REAR	N/A	REAR	20' MIN. @C/OS
CREEK SETBACKS	SLO CREEK: 20' MIN.		EXPOSITION CREEK: 20' MIN.	
DRIVE AISLE MIN. WIDTH:	23.3'			

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LICENSED ARCHITECT
JOEL R. SNYDER
NOT FOR CONSTRUCTION
C-28252
2.28.2023
RENEWAL
STATE OF CALIFORNIA

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10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

PROJ #: 2023-020
DRAWN BY: MF
CHK'D BY: NM

NO.	DATE	SUBMITTAL
1	23.07.14	ARC INITIAL SUBMITTAL
2	24.02.06	ARC RESUBMITTAL 1
3	24.03.19	ARC RESUBMITTAL 2

NOT FOR CONSTRUCTION

TITLE SHEET

T1.0

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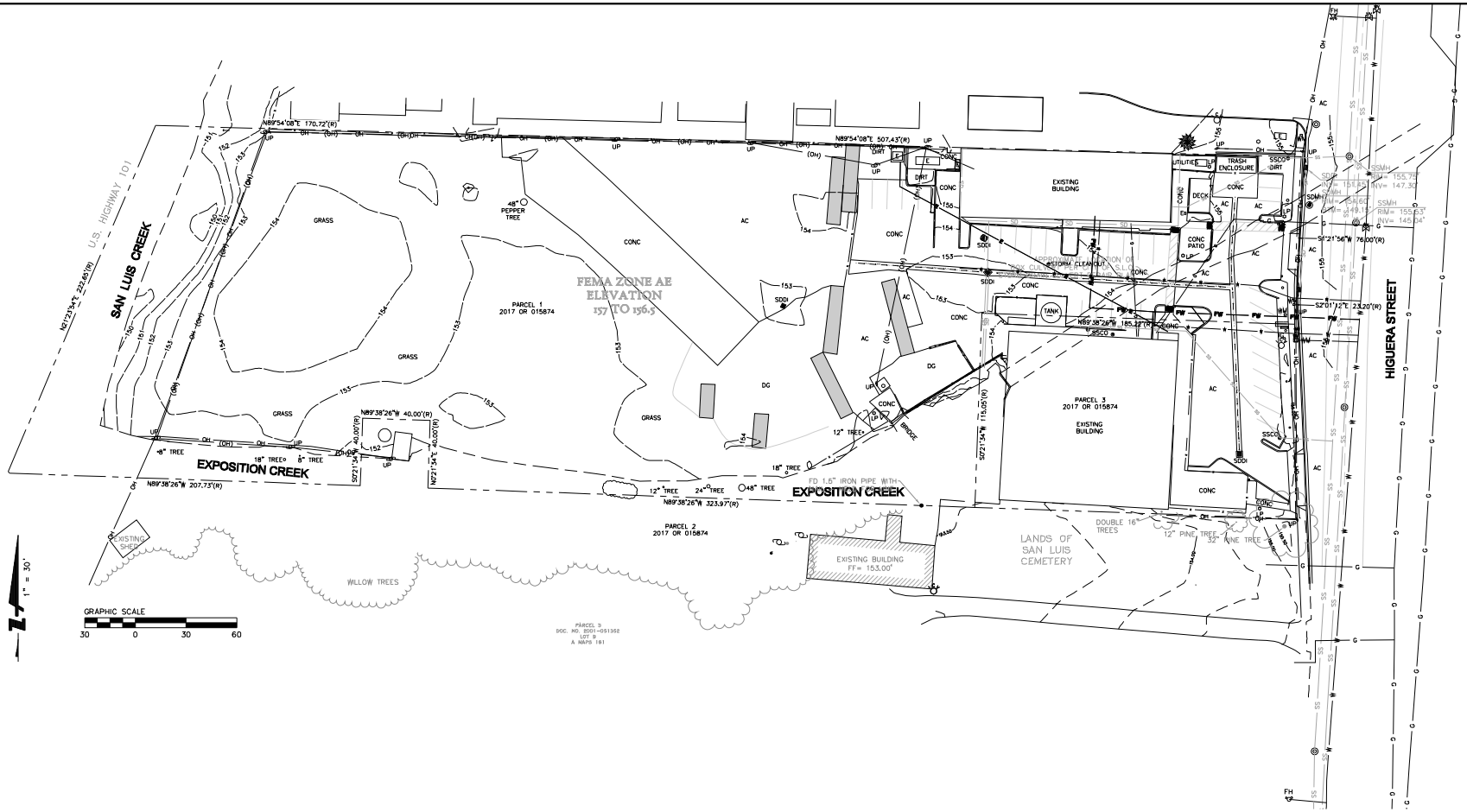

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SANTA ROSA, CA 95401
(707) 583-8500
www.bkf.com

10 HIGUERA STREET
EXISTING CONDITIONS

CITY OF SAN LUIS OBISPO SAN LUIS OBISPO COUNTY CALIFORNIA

Date	03-18-24
Scale	1" = 30'
Design	MB
Drawn	MB
Approved	JM
Job No	20230233

No.	Revisions

Drawing Number:
C1.0

DRAWING NAME: K:\2023\230233_10_Higuera_SLO\ENG-L\Base_Files\HA Plans.dwg
PLOT DATE: 03-18-24 PLOTTED BY: BJR

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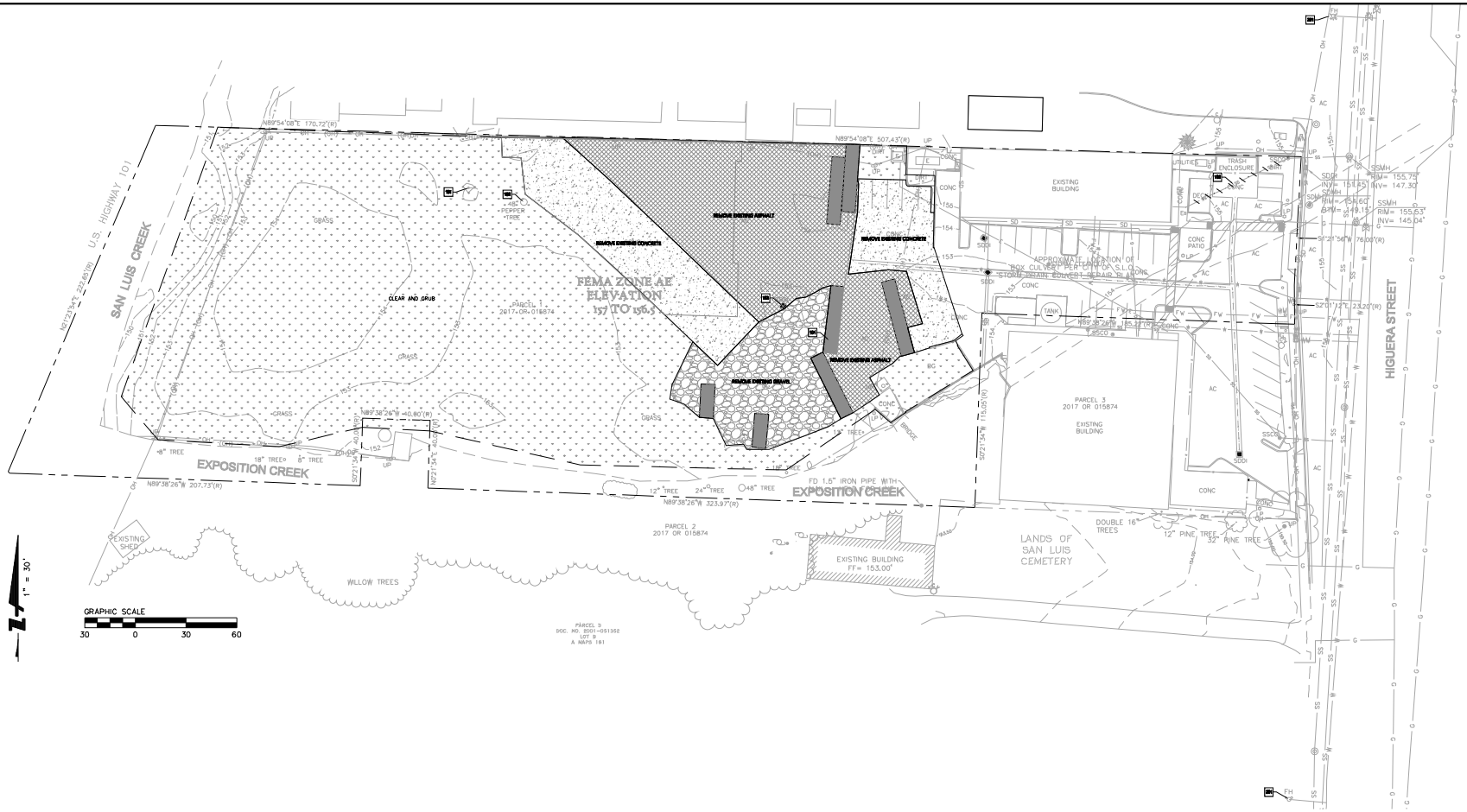

LEGEND

- LIMIT OF WORK
- REMOVE EXISTING UTILITY LINE
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING GRAVEL
- CLEAR AND GRUB
- REMOVE EXISTING ASPHALT

DEMOLITION KEYNOTES

REMOVE

- 101 EXISTING WELL PER LOCATE REQUIREMENTS
- 102 EXISTING TREE
- 103 EXISTING STORM DRAIN STRUCTURE
- 104 EXISTING STORAGE UNITS (TYPICAL)
- 105 REMOVE EXISTING SEWER LATERAL

PROTECT

- 201 EXISTING FIRE HYDRANT

NOTES

1. ITEMS SHOWN TO BE REMOVED ARE INDICATED PER INFORMATION AVAILABLE TO THE ENGINEER. IT IS THE INTENTION OF THESE PLANS TO REMOVE ALL EXISTING UTILITIES AND IMPROVEMENTS, UNLESS OTHERWISE NOTED, TO ALLOW CONSTRUCTION OF THE PROPOSED IMPROVEMENTS, WHETHER INDICATED ON THE PLAN OR NOT, AND TO ALLOW FUTURE GRADING AND CONSTRUCTION OF IMPROVEMENTS TO OCCUR. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND THE PROPOSED IMPROVEMENT PLANS PRIOR TO BID.
2. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED ON THE PLANS.
3. PROTECT ALL EXISTING UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED ON THE PLAN.
4. SUBCONTRACTOR IS RESPONSIBLE TO LEGALLY DISPOSE OF ALL NON HAZARDOUS REMOVED MATERIAL AT THE SUBCONTRACTOR'S EXPENSE.
5. THE SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL THE WORK PERFORMED BY HIS SUBCONTRACTORS WITHOUT EXCEPTION.
6. EXERCISE CAUTION DURING CONSTRUCTION TO PROTECT EXISTING UTILITIES, UTILITY BOXES, STRUCTURES, LANDSCAPING FIXTURES, EQUIPMENT, CONCRETE SIDEWALK, CONCRETE CURB AND GUTTER, AND ASPHALT/CONCRETE PAVING TO REMAIN. REPAIR ANY DAMAGE RESULTING FROM SUBCONTRACTOR OPERATIONS AS DIRECTED BY OWNER.
7. SHALLOW UTILITIES MAY BE PRESENT. IDENTIFY AND LOCATE ALL UTILITIES IN PROJECT AREA PRIOR TO CONSTRUCTION.
8. ADJUST ALL EXISTING UTILITIES, BOXES, STRUCTURES, MANHOLES, AND VALVES WITHIN LIMIT OF WORK TO FINAL GRADE UNLESS OTHERWISE NOTED ON THE PLANS.
9. PROTECT ALL EXISTING UTILITY LINES, STRUCTURES, VAULTS AND BUNDLES, UNLESS OTHERWISE NOTED ON THE PLANS.
10. THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT: " " BY , DATED .
11. COORDINATE WITH ALL SITE WORK WITH ALL DISCIPLINES, CIVIL DRAWINGS, ELECTRICAL, MECHANICAL, ETC.
12. SUBCONTRACTOR TO COORDINATE ALL TRENCHING AND ASSOCIATED PAVEMENT RESTORATION WITH UTILITY PLAN.
13. REFER TO UTILITY PLAN FOR PROPOSED PIPE LOCATIONS AND ALIGNMENT. TRENCHING MUST BE PROVIDED FOR INSTALLATION, IN ACCORDANCE WITH ALL APPLICABLE CONSTRUCTION SAFETY REQUIREMENTS NOT REFLECTED ON THIS PLAN.
14. CONTRACTOR TO POTHOLE EX PGE AND SUBMIT RFI IF DEPTH BELOW PROPOSED SUBGRADE DOES NOT MEET THE REQUIREMENTS IN THE PG&E DESIGN DRAWINGS AND REQUIREMENTS.
15. VOIDS CREATED BY THE REMOVAL OF MATERIALS OR UTILITIES DESCRIBED ABOVE SHOULD BE CALLED TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER. NO FILL SHOULD BE PLACED UNLESS THE UNDERLYING SOIL HAS BEEN OBSERVED BY THE GEOTECHNICAL ENGINEER.
16. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY FOR WORK IN RIGHT OF WAY.

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(707) 583-8500
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10 HIGUERA STREET
DEMOLITION PLAN

SAN LUIS OBISPO CALIFORNIA

SAN LUIS OBISPO

Revisions

No.	
Date	03-18-24
Scale	1" = 30'
Design	MB
Drawn	MB
Approved	JM
Job No.	2023-0233

Drawing Number:
C2.0

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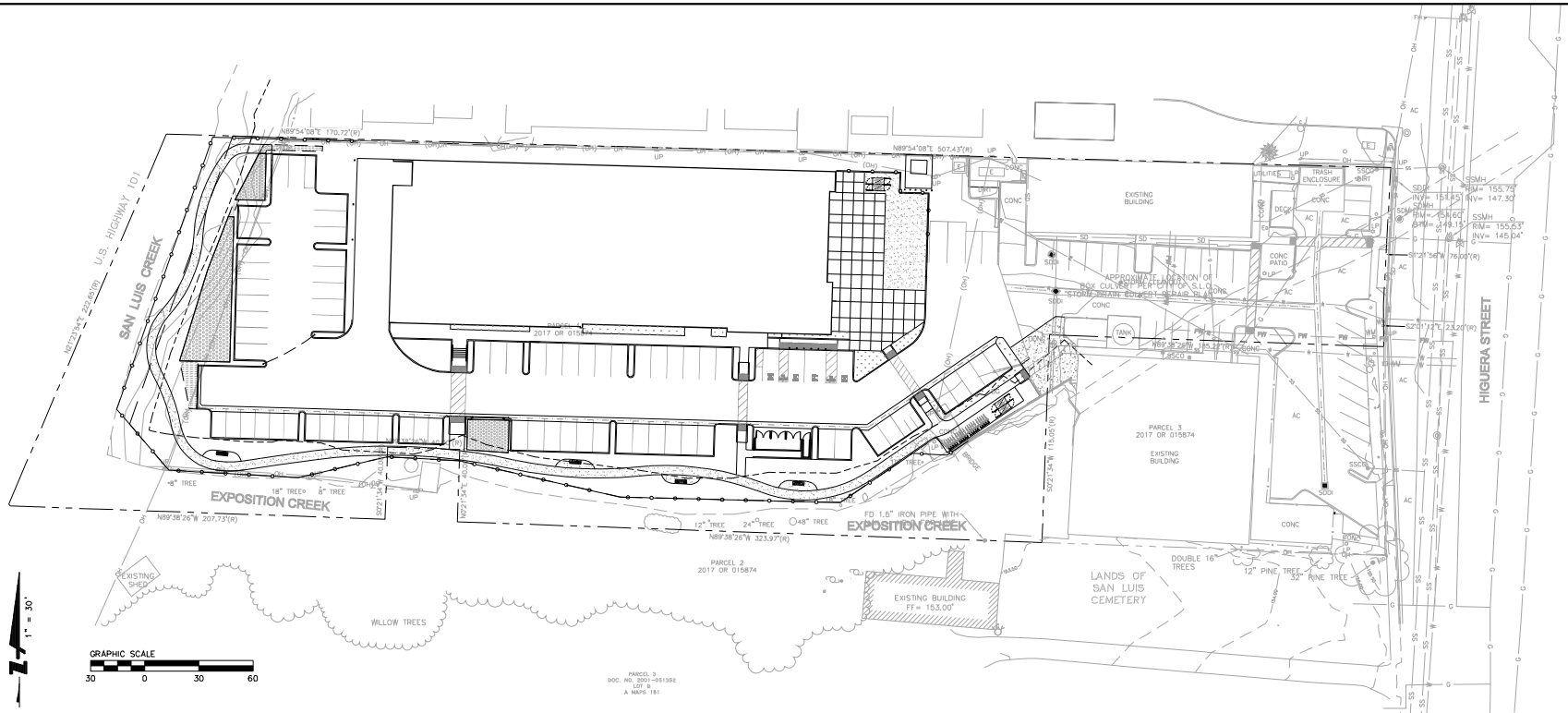

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PLOT DATE: 03-18-24 PLOTTED BY: BJR

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10 HIGUERA STREET
SITE PLAN

SAN LUIS OBISPO CALIFORNIA

SAN LUIS OBISPO

Date	03-18-24
Scale	1" = 30'
Design	MB
Drawn	MB
Approved	JM
Job No.	20230233

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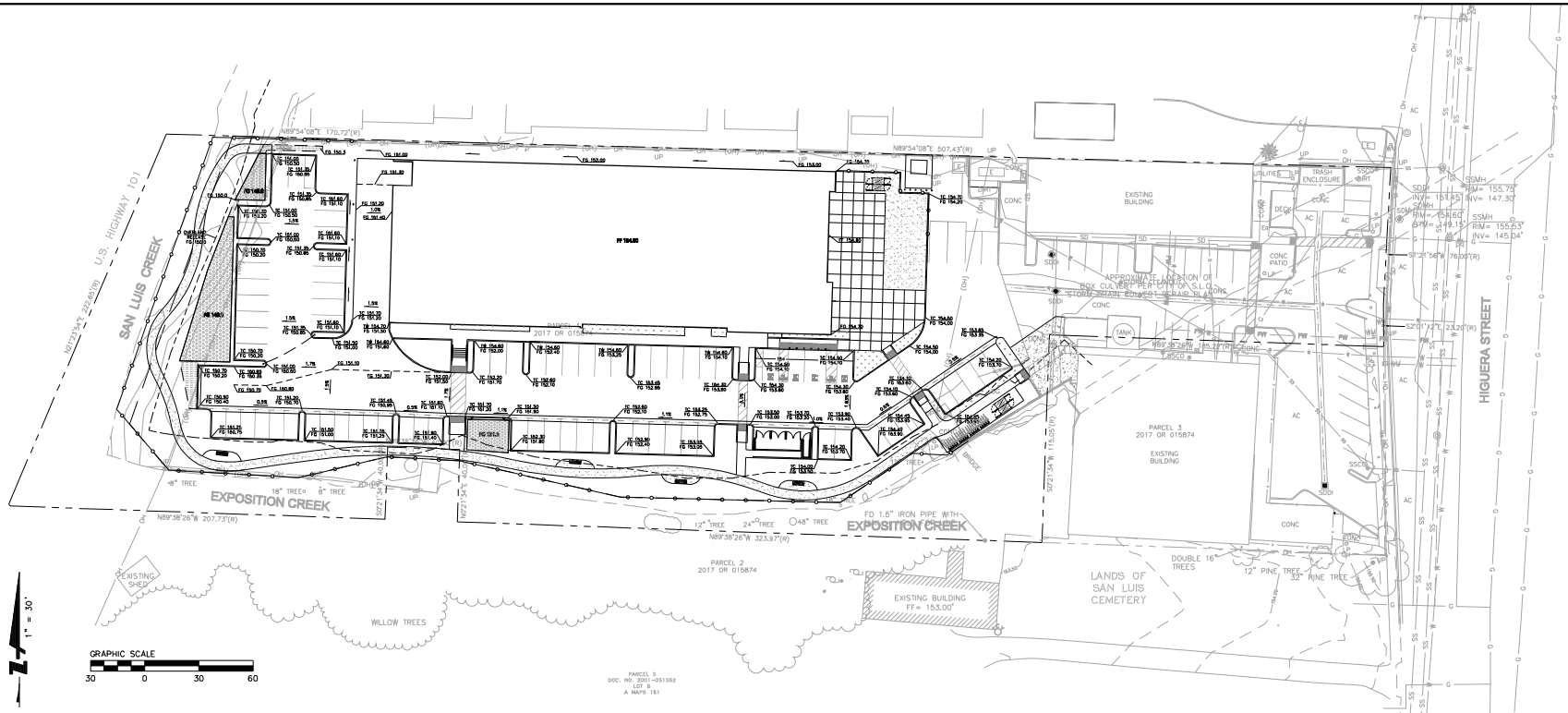

LEGEND

- - - - - - -	GRADE BREAK LINE
X.X%	SURFACE SLOPE
x XX.X	SPOT ELEVATION

ABBREVIATIONS

BS	BOTTOM OF STAIRS
BW	BACK OF WALK
EG	EXISTING GRADE
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
MA	MATCH
TC	TOP OF CURB
TS	TOP OF STAIRS
TTS	TOP OF TREATMENT SOIL

EARTHWORK SUMMARY

TOTAL CUT = 4,400 CUBIC YARDS
TOTAL FILL = 600 CUBIC YARDS

TOTAL EXPORT = 3,800 CUBIC YARDS

EXPORT ENSURES ZERO-NET FILL GRADING PLAN

NOTES

1. ALL GRADING EARTHWORK, AND SITE PREPARATION OPERATIONS ARE TO CONFORM WITH GUIDELINES AND REQUIREMENTS PER THE GEOTECHNICAL REPORT.
2. PROVIDE ACCESSIBLE LANDING AT ALL DOORS AS FOLLOWS:
   - 2.1. WIDTH = 3'-0" MIN.
   - 2.2. DEPTH = 5'-0" MIN.
   - 2.3. CROSS SLOPE = 0.5% MIN, 2.0% MAX
3. ALL ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL HAVE A CROSS SLOPE AT A MINIMUM OF 1.0% AND MAXIMUM 2.0% IN ALL DIRECTIONS.
4. MAXIMUM SLOPE IN DEFINED DIRECTION OF TRAVEL SHALL NOT EXCEED 4.9% FOR ACCESSIBLE PATHS OF TRAVEL. THE MAXIMUM 4.9% SLOPE IS NOT AN AVERAGE, BUT RATHER A MAXIMUM FOR THE ENTIRE LENGTH OF TRAVEL.
5. ALL MANHOLES, GRATES, CLEANOUTS, AND VALVES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED TO FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
6. FOR DRAINAGE LAYOUT AND DESIGN WITHIN BUILDING LIMITS, SEE PLUMBING PLANS.
7. THE SITE SHALL BE GRADED SO THAT NO ADDITIONAL RUNOFF IS DIRECTED TO AND SO AS NOT TO IMPEDE RUNOFF FROM ADJACENT PROPERTIES.
8. ALL BUILDING SITES SHALL BE GRADED TO SLOPE AWAY FROM THE BUILDING AND BUILDING FOUNDATIONS WITH A MAXIMUM SLOPE OF 2% FOR 5 FEET MINIMUM IN HARDSCAPED AREAS, AND A MINIMUM SLOPE OF 5% FOR 10 FEET MINIMUM IN LANDSCAPED AREAS, OR AS REQUIRED BY THE SOILS ENGINEER.
9. IF DURING CONSTRUCTION, ARCHAEOLOGICAL OR NATIVE REMAINS OR ARTIFACTS ARE ENCOUNTERED, THE CONTRACTOR SHALL HALT CONSTRUCTION IN THE VICINITY AND SHALL NOTIFY THE CITY OF SAN LUIS OBISPO.
10. SEE UTILITY PLAN FOR UTILITY GRATES, RIMS, AND LIDS. ALL GRATES, RIMS, AND LIDS SHALL BE ADA AND HEEL PROOF RATED, AS WELL AS NON-SLIP.

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10 HIGUERA STREET
GRADING AND DRAINAGE PLAN

SAN LUIS OBISPO CALIFORNIA

SAN LUIS OBISPO

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Drawn	MB
Approved	JM
Job No.	2023023.3

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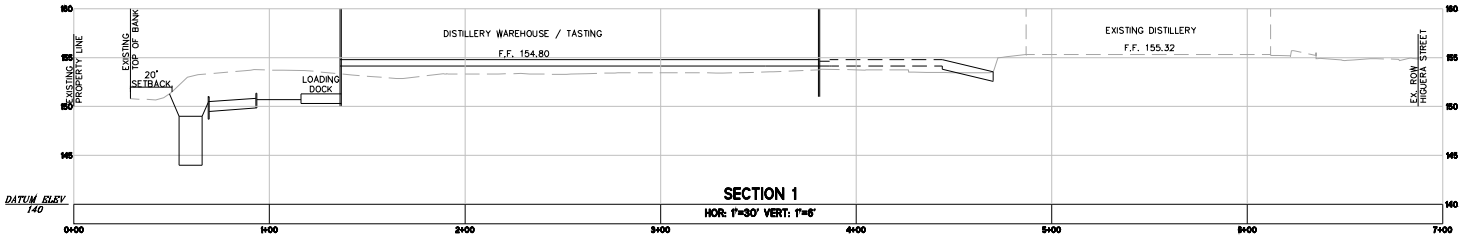

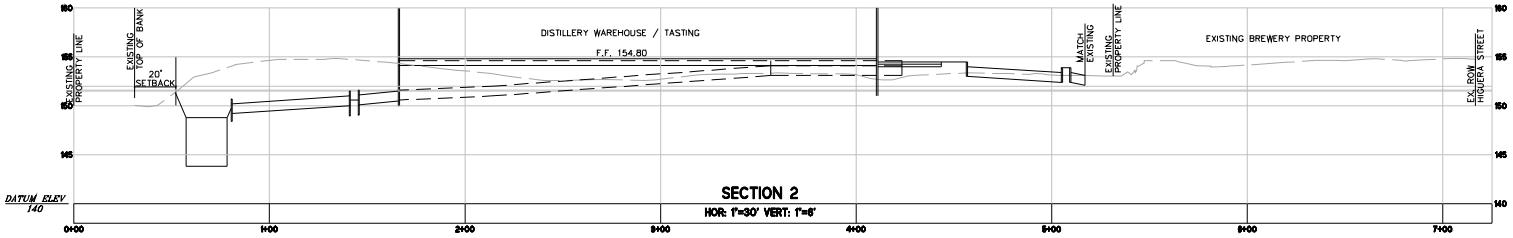

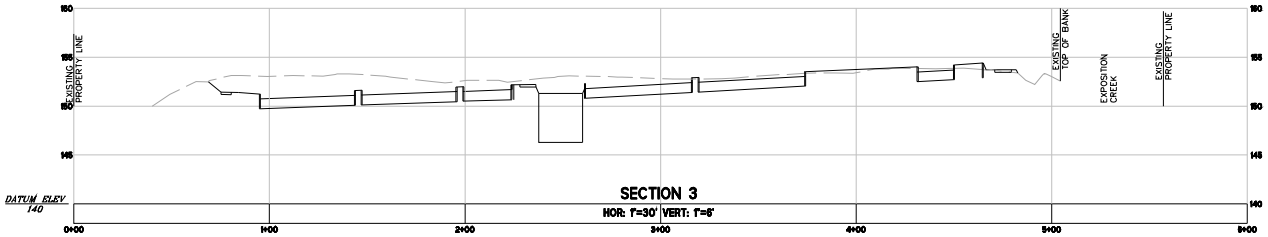

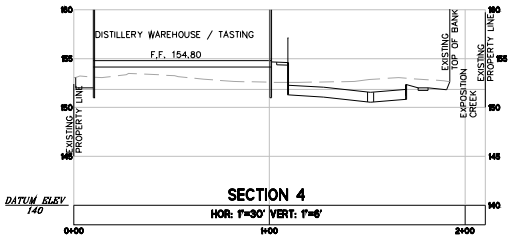

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10 HIGUERA STREET
SITE SECTIONS

SAN LUIS OBISPO CALIFORNIA

SAN LUIS OBISPO

Revisions	
No.	
Date	03-18-24
Scale	AS SHOWN
Design	MB
Drawn	MB
Approved	JM
Job No.	2023230233

Drawing Number:

C4.2

5 OF 8

DRAWING NAME: K:\2023\230233_10_Higuera_SLO\ENG-L\Base_Files\HA Plans.dwg
PLOT DATE: 03-18-24 PLOTTED BY: BJR

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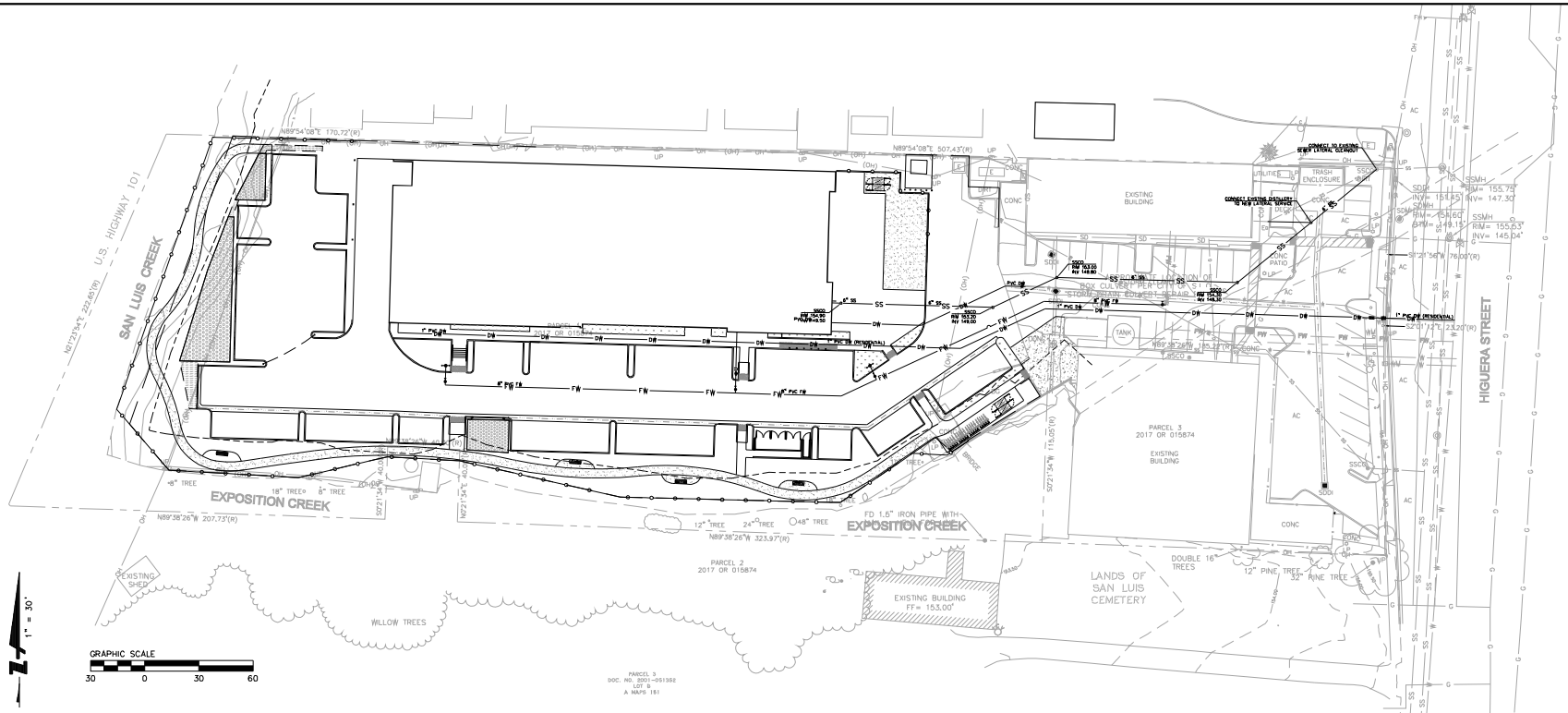

ABBREVIATIONS:

DW	DOMESTIC WATER
EX	EXISTING
E	ELECTRIC
FDC	FIRE DEPARTMENT CONNECTION
FL	FLOWLINE
FW	FIRE WATER
INV	INVERT
GRT	GRATE
PERF	PERFORATED PIPE
PIV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
RPB	REDUCED PRESSURE BACKFLOW
SD	STORM DRAIN
SDAD	STORM DRAIN AREA DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDDI	STORM DRAIN DROP INLET
SDMH	STORM DRAIN MANHOLE
SO	SIDE OPENING
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
WM	WATER METER

LEGEND:

- DOMESTIC WATER LINE [PVC C900]
- FW — FIRE WATER LINE [PVC C900/C905]
- STORM DRAIN LINE [PVC SDR 26]
- STORM DRAIN PERFORATED PIPE [PVC SDR 35]
- STORM DRAIN INLET WITH FLOGARD +PLUS STANDARD CATCH BASIN INSERT FILTER
- STORM DRAIN CLEANOUT
- STORM DRAIN AREA DRAIN
- SANITARY SEWER LINE [PVC SDR 26]
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- GATE VALVE
- JT — JOINT TRENCH, SEE PG&E DRAWINGS
- FIRE HYDRANT
- THRUST BLOCK
- FIRE DEPARTMENT CONNECTION (FDC)
- POST INDICATOR VALVE (PIV)
- WM — WATER METER (WM) BOX
- REDUCED PRESSURE BACKFLOW (RPB)

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10 HIGUERA STREET
UTILITY PLAN
SAN LUIS OBISPO CALIFORNIA

SAN LUIS OBISPO

Revisions	
No.	

Date 03-18-24
Scale 1" = 30'
Design MB
Drawn MB
Approved JM
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Drawing Number:
C5.1

DRAWING NAME: K:\2023\230233_10_Higuera_SLO\ENG-L\Base_Files\HA Plans.dwg
PLOT DATE: 03-18-24
PLOTTED BY: BUR

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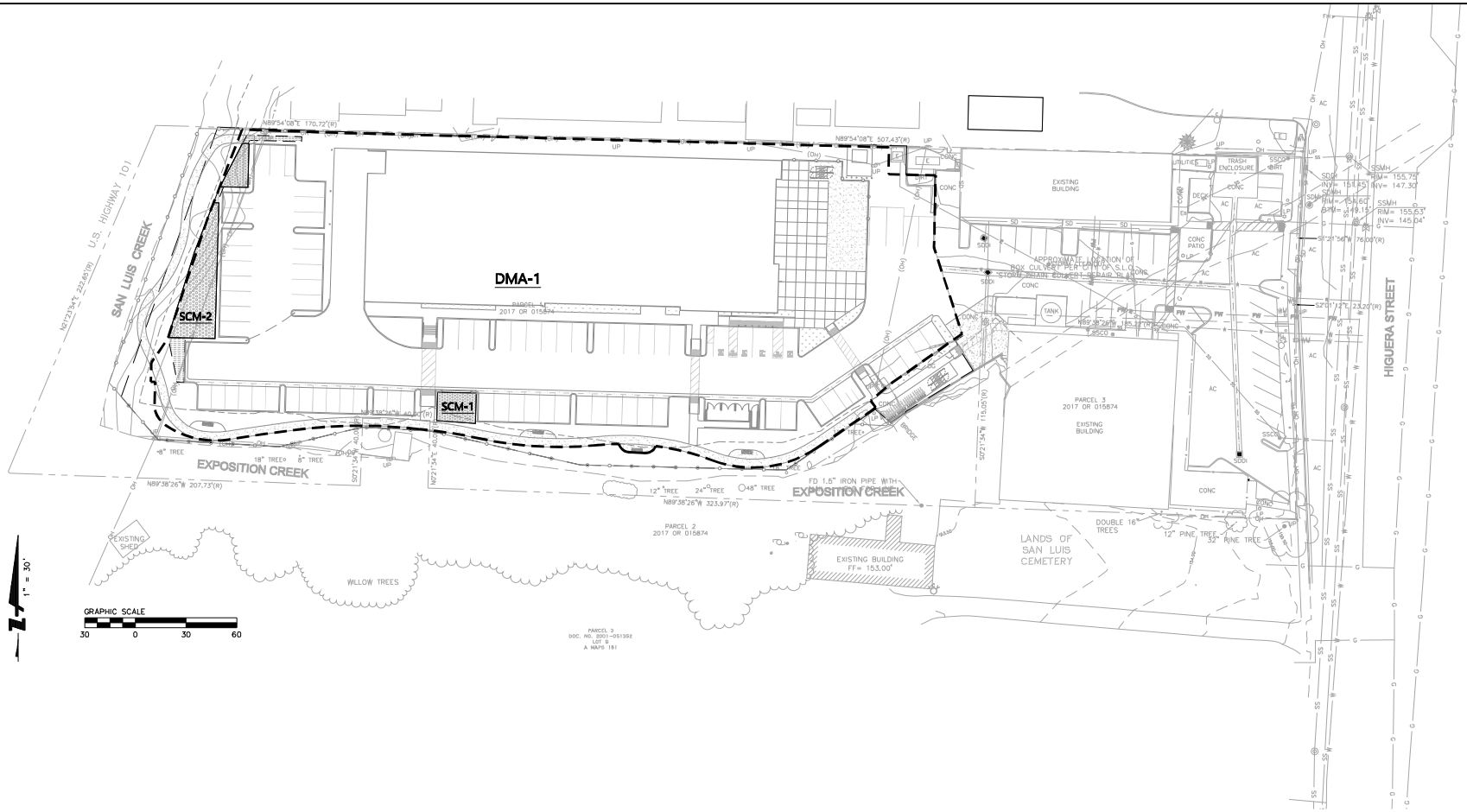

LEGEND:

- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
- INFILTRATION TRENCH
- AGGREGATE DRAINAGE SWALE

STORMWATER CONTROL MEASURE – SIZING CALCULATIONS
(PER APPENDIX C OF THE COUNTY OF SLO POST CONSTRUCTION REQUIREMENTS HANDBOOK)

PROJECT DATA:
- 1.93 ACRE SITE
- 83.6% IMPERVIOUS
- REQUIRED TO INFILTRATE THE 85% PERCENTILE STORM (1.2 INCHES)

IMPERVIOUS AREA = 70,243 SF
PERVIOUS AREA = 13,801 SF

1. CALCULATE REQUIRED RETENTION VOLUME

- FRACTION OF IMPERVIOUS, I=0.836
- C = 0.858I^3 – 0.78I^2 + 0.774I +.04 = 0.64
- TOTAL AREA = 84,044 SF
- RAINFALL DEPTH = 1.2 IN (0.10 FT)
- VOLUME = C X DEPTH X AREA = 0.64 X 84,044 X 0.10 = 5,380 CU. FT.

2. CALCULATE REQUIRED SCM STORAGE CAPACITY BY SIMPLE METHOD

- ASSUMED WATER DEPTH = 33" (2.75 FT)
- REQUIRED SURFACE AREA = RET. VOLUME / WATER DEPTH = 5,380/2.75 = 1,960 SF

- APPROACH: STORE VOLUME IN PONDING AREA AND GRAVEL (NO UNDERDRAIN)
- SURFACE PONDING DEPTH = 12"
- REMAINING WATER DEPTH = 33"–12" = 21"

GRAVEL DEPTH REQUIRED (POROSITY 0.35): 21"/0.35 = 60"

- SUMMARY: INFILTRATION AREA HAS:
  - PONDING DEPTH = 12 INCHES
  - GRAVEL DEPTH = 60 INCHES

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STORMWATER CONTROL PLAN

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Revisions	
No.	

Date 03-18-24
Scale 1" = 30'
Design MB
Drawn MB
Approved AM
Job W20230233

Drawing Number:
C6.1
7 OF 8

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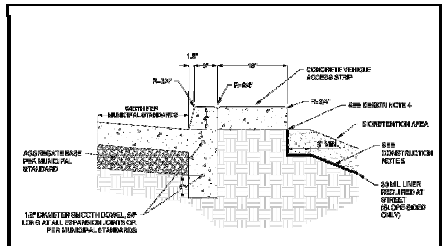


DESIGN NOTES

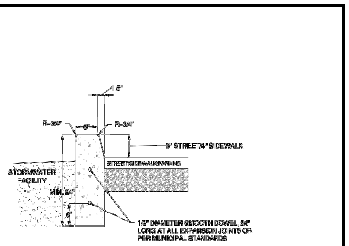
1. SPECIAL CONCRETE AND EXPANSION JOINTS SHALL MEET THE REQUIREMENTS OF THE MUNICIPALITY.
2. PROVIDE OPENINGS IN CURB 18" WIDE TO ALLOW FOR SURFACE FLOW FROM TO BIORETENTION AREAS IF DEDICATED INLET NOT USED. SPACING TO BE DETERMINED BY PROJECT ENGINEER BASED ON DESIGN STORM TO MINIMIZE FOR CURB AGAINST CURB FOR MEDIAN & LANE APPLICATION.
3. STEEL REINFORCEMENT OR ADDITIONAL CONCRETE CHECK DAMS MAY BE NEEDED FOR STABILITY.
4. SEE REFERENCE DETAIL SW-14 FOR ATTACHMENT OF INFE/VIOUS LINER.

CONSTRUCTION NOTES

1. FINISH ALL EXPOSED CONCRETE SURFACES.
2. LAYBACK SLOPE AS FLAT AS POSSIBLE UNTIL TOP WIDTH PRODUCES 1:1 SLOPE & 24" BOTTOM WIDTH. AS PLANTER GETS WIDER MAINTAIN 1:1 SLOPE AND INCREASE BOTTOM WIDTH WIDER THAN 24". ALTERNATIVE TRENCH WALL CONFIGURATIONS MAY BE PROPOSED BY THE PROJECT GEOTECHNICAL ENGINEER (I.E. VERTICAL SHORING REINFORCED TRENCH) PROVIDED THAT DO NOT REQUIRE SIDEWALK SUPPORT FROM THE LIGHTLY COMPACTED SOIL.

LOW IMPACT DEVELOPMENT STORMWATER MANAGEMENT STANDARD DETAILS

	APPROVED BY: / VERSION: 08/31/2017	CURB AND GUTTER	STANDARD PLANTER: SW-12A



DESIGN NOTES

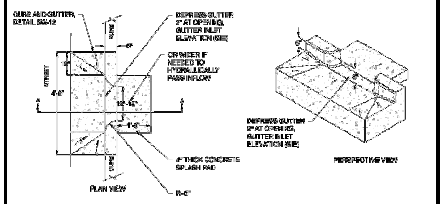
1. SPECIAL DESIGN CONSIDERATION OR STRUCTURAL REVIEW MAY BE REQUIRED FOR LONGER SIDEWALK SPANS. STEEL REINFORCEMENT OR ADDITIONAL CONCRETE CHECK DAMS MAY BE NEEDED FOR STABILITY.
2. WHEN SIDEWALK DRAINS TO PLANTER, PROVIDE 4" - 5" WIDE NOTCH OPENING, 1" BELOW SIDEWALK, SLOPED TO FACILITY. SEE BIORETENTION FLOW TIP DETAILS. SPACE OPENINGS TO CONVEY FLOW. PROVIDE MINIMUM 6" COVER BETWEEN DRAINAGE NOTCH OPENING AND BOTTOM.
3. CONCRETE AND EXPANSION JOINTS SHALL MEET THE REQUIREMENTS OF THE MUNICIPALITY.
4. STEEL REINFORCEMENT OR ADDITIONAL CONCRETE CHECK DAMS MAY BE NEEDED FOR STABILITY.

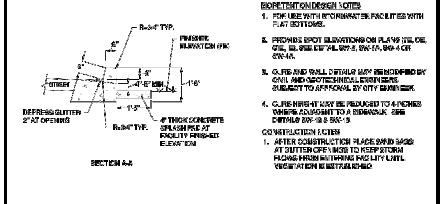
CONSTRUCTION NOTES

1. FINISH ALL EXPOSED CONCRETE SURFACES.
2. LAYBACK SLOPE AS FLAT AS POSSIBLE UNTIL TOP WIDTH PRODUCES 1:1 SLOPE & 24" BOTTOM WIDTH. AS PLANTER GETS WIDER MAINTAIN 1:1 SLOPE AND INCREASE BOTTOM WIDTH WIDER THAN 24". ALTERNATIVE TRENCH WALL CONFIGURATIONS MAY BE PROPOSED BY THE PROJECT GEOTECHNICAL ENGINEER (I.E. VERTICAL SHORING REINFORCED TRENCH) PROVIDED THAT DO NOT REQUIRE SIDEWALK SUPPORT FROM THE LIGHTLY COMPACTED SOIL.

LOW IMPACT DEVELOPMENT STORMWATER MANAGEMENT STANDARD DETAILS

	APPROVED BY: / VERSION: 08/31/2017	DEEP CURB	STANDARD PLAN NO.: SW-13





BIORETENTION DESIGN NOTES

1. FOR USE WITH STORMWATER FACILITIES WITH FLAT BOTTOMS.
2. PROVIDE SPOT ELEVATIONS ON PLANS TO CONFIRM, SEE SW-14, SW-15, SW-16, SW-17 OR SW-18.
3. CURB AND WALL DETAILS MAY BE MODIFIED BY CIVIL AND GEOTECHNICAL ENGINEERS SUBJECT TO APPROVAL BY CITY ENGINEER.
4. CURB HEIGHT MAY BE REDUCED TO 6 INCHES WHERE ADJACENT TO A SIDEWALK. SEE DETAILS SW-12 & SW-13

CONSTRUCTION NOTES

1. AFTER CONSTRUCTION PLACE SAND BAGS AT GUTTER OPENINGS TO KEEP STORM FLOWS FROM WITHING FACILITY UNTIL VEGETATION IS ESTABLISHED.

LOW IMPACT DEVELOPMENT STORMWATER MANAGEMENT STANDARD DETAILS

	APPROVED BY: / VERSION: 08/31/2017	CURB CUT INLET FOR PLANTERS	STANDARD PLANTER: SW-17

DRAWING NAME: K:\2023\230233_10_Higuera_SLO\ENG-L\Base_Files\HA Plans.dwg
PLOT DATE: 03-18-24
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10 HIGUERA STREET
CONSTRUCTION DETAILS

SAN LUIS OBISPO CALIFORNIA

SAN LUIS OBISPO

Revisions

No.	

Date 03-18-24
Scale AS SHOWN
Design MB
Drawn MB
Approved JM
Job No 230233

Drawing Number:
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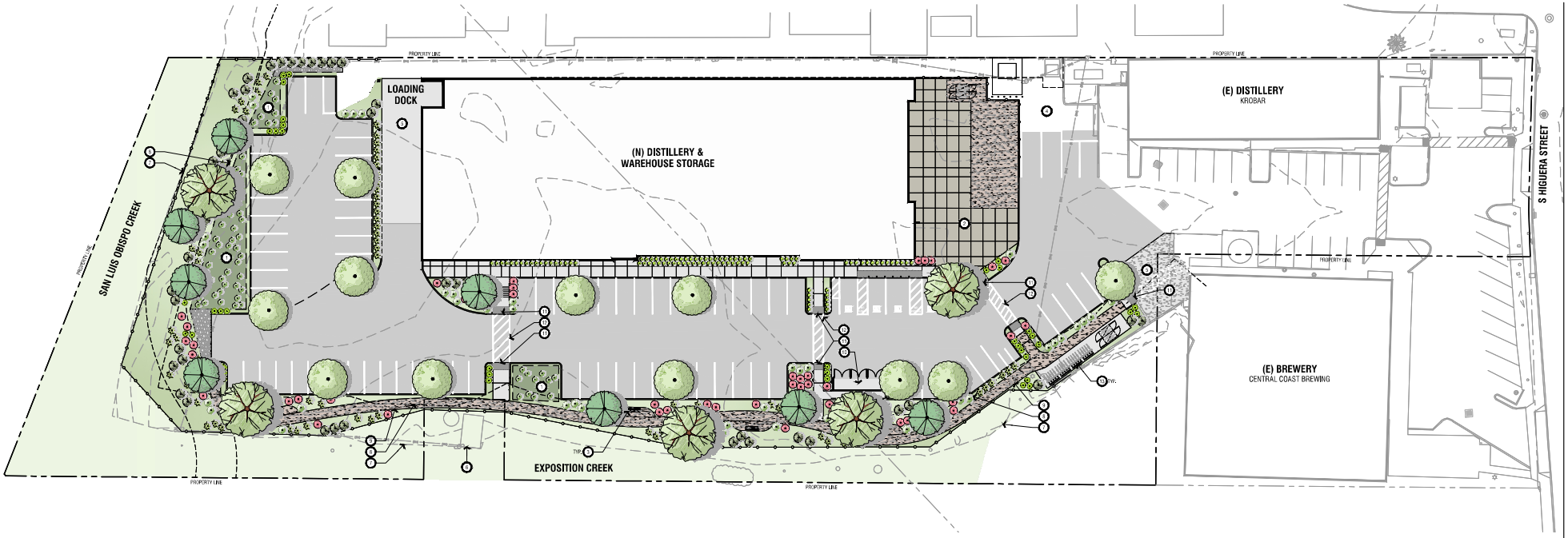

1 LANDSCAPE PLAN

SCALE 1" = 20'-0"

MWELO IRRIGATION CALCULATION

Maximum Applied Water Allowance Calculations
Enter Values in Blue Cells
See Cells Show Results

San Luis Obispo

Type of Project (ETAF) and Water Source	Non-Residential	Potable Water
$ET_{o,d}$ (inches/year)	45.8	ET of the area
	0	Estimated Landscape Area (ft²)
	14,165	Total Landscape Area (ft²)
Total Landscape Area (LA)	14,165 ft²	(LA ft²)
		Residential: Irrigated Turf Grass on Slopes > 10% (0.7-0.8) Other Turf Grass (ETAF of 0.55) for residential projects and Grass in PDWF (0.8)
Results:	179,142.3	(Eqn 10-3)
	233	Ac-ft/year (Calculated in Cell F42)
	0.233	Acre-feet per year

Estimated Total Water Use
Enter Values in Blue Cells
See Cells Show Results

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.1 - 0.3
Moderate	0.3 - 0.6
High	0.6 - 0.8

Hydrozone	Plant Water Use Type (Low, Mod, High, etc)	Plant Factor (PF)	Hydrozone Area (HA) (ft²)	Enter Irrigation Type	(PF x HA) (ft²/yr)
Zone 1	Low	0.20	1,400	Drip - Bubbler	279.00
Zone 2	Low	0.20	1,187	Drip - Bubbler	236.42
Zone 3	Low	0.20	2,790	Drip - Bubbler	555.60
Zone 4					
Zone 5					
Zone 6					
Zone 7					
Zone 8					
Zone 9					
Zone 10					
Zone 11					
Zone 12					
Zone 13					
Zone 14					
Zone 15					
Zone 16					
Zone 17					
Zone 18					
Zone 19					
Zone 20					
		HA	4,377		1,071.02
		Total	4,377		

Results:		
ETWU = (0.62 x [(PF x HA)/IE] + SLA)	MWELO	179,142.3
	ETWU	96,238.5 (Eqn 2-4)
		110.4 (Ac-ft/year) (Calculated in Cell F42)
		0.233 (Ac-feet per year)

ETWU complies with MWELO

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
TREES			
	6	Aesculus californica / California Buckeye	15 gal
	11	Arbutus x `Marina` / Marina Strawberry Tree	24"box
	3	Quercus rubra / Red Oak	24"box

PLANT SCHEDULE

BIORETENTION SHRUBS
Carex praegracilis / California Field Sedge
Chondropetalum tectorum 'El Campo' / El Campo Cape Rush
Juncus effusus 'Carman's Japanese' / Carman's Japanese Soft Rush
Juncus patens / California Gray Rush

ORNAMENTAL GRASSES
Lomandra longifolia 'Roma 13' / Platinum Beauty® Variegated Mat Rush
Pennisetum spathiolatum / Slender Veldt Grass
Sesleria autumnalis 'Campo Verde' / Campo Verde Autumn Moor Grass

GROUNDCOVER PLANTING
Ceanothus griseus horizontalis 'Diamond Heights' / Diamond Heights Variegated Carmel Creeper
Verbena lilacina 'De la Mina' / De la Mina Lilac Verbena

NATIVE SHRUBS
Eriogonum giganteum / St. Catherine's Lace
Frangula californica / California Coffeeberry
Rhus integrifolia / Lemonade Berry

FLOWERING SHRUBS
Epilobium canum 'Catalina' / Catalina California Fuchsia
Kniphofia x 'Gladness' / Gladness Red Hot Poker

FOUNDATION SHRUBS
Pennisetum spathiolatum / Slender Veldt Grass

NATIVE GRASSES
Calamagrostis foliosa / Reed Grass
Festuca idahoensis / Idaho Fescue
Muhlenbergia rigens / Deer Grass

SHRUB AREAS
See above.

STORMWATER TREATMENT PLANTERS
Carex divulsa / European Grey Sedge
Chondropetalum tectorum 'El Campo' / El Campo Cape Rush
Juncus effusus 'Carman's Japanese' / Carman's Japanese Soft Rush
Juncus patens / California Gray Rush

LANDSCAPE PLAN LEGEND

- ASPHALT PAVING
- CONCRETE PAVING
- ACCENT CONCRETE PAVING
- DG OR GRAVEL
- PROPOSED 6' TALL, HORIZONTAL WOOD FENCE

KEYNOTES

1. REFER TO CIVIL PLANS FOR MORE INFORMATION REGARDING STORMWATER TREATMENT & DRAINAGE
2. ENTRY PLAZA
3. BENCH, REFER TO S / L3.0
4. MECHANICAL / CHILLER PAD
5. (E) LOADING / DELIVERY BAY FOR CENTRAL COAST BREWING
6. (E) PUMP HOUSE (NOT A PART)
7. TOP OF BANK
8. 20' SETBACK FROM TOP OF CREEK BANK
9. DG PATH
10. TRASH ENCLOSURE
11. ACCESSIBLE PEDESTRIAN RAMP
12. CROSSWALK
13. BIKE RACK - PEAK RACKS, SINGLE SIDED RACK - REFER TO S / L3.0

LANDSCAPE NOTES

1. THIS PLAN IS SCHEMATIC IN NATURE AND INTENDED TO SHOW COMPLIANCE WITH LOCAL ZONING AND DEVELOPMENT CODES.
2. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A PERMANENT UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED TO ADEQUATELY AND EFFICIENTLY WATER ALL SHRUB AREAS AND TREES.
3. IRRIGATION CONTROLLER SHALL BE PROGRAMMABLE AND HAVE WEATHER-BASED CAPABILITIES.
4. SOIL SHALL BE AMENDED PRIOR TO PLANTING FOR OPTIMAL HEALTH OF ALL PLANT MATERIAL. SOIL AMENDMENT SPECIFICATIONS SHALL BE DETERMINED BASED ON A SOIL TEST ANALYSIS.

TEN OVER STUDIO, INC
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info@tenoverstudio.com
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LICENSED ARCHITECT
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NOT FOR CONSTRUCTION
C-35852
1.28.2025
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STATE OF CALIFORNIA

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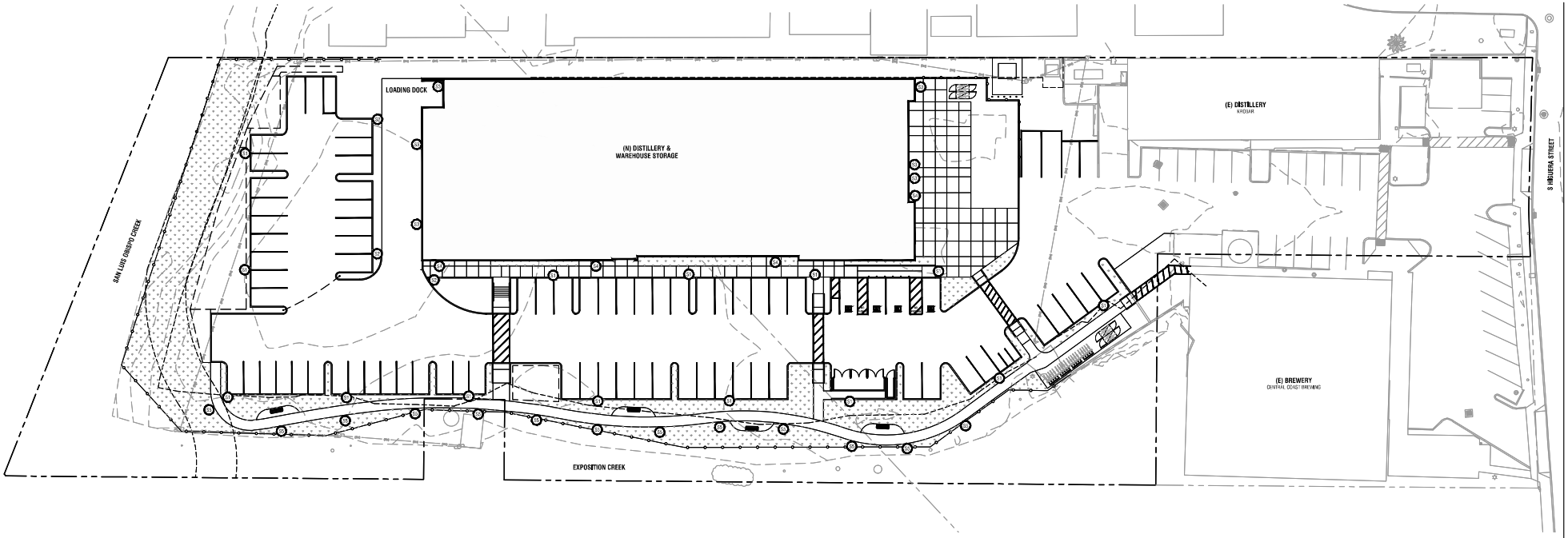
PROJ #: 2023-003
DRWN BY: JD
CHK'D BY: NM

NO.	DATE	SUBMITTAL
1	23.02.14	ARC RVW SUBMITTAL
2	24.02.06	ARC RESUBMITTAL 1
3	24.05.19	ARC RESUBMITTAL 2

LANDSCAPE PLAN

L1.0



1 LIGHTING PLAN

SCALE 1" = 30'-0"

LIGHTING SCHEDULE

SYMBOL	QTY.	DESCRIPTION	MODEL
	14	LITHONIA LIGHTING	DSXW1 SERIES SIDE O AREA LUMINAIRE P3 PERFORMANCE PACKAGE TYPE 3 EXTREME SHIELDLIGHT CONTROL
	3	LITHONIA LIGHTING	DSXW1 SERIES SIDE O AREA LUMINAIRE P3 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE 3 MEDIUM
	6	LITHONIA LIGHTING	WDGE2 LED WITH PSXW - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC
	4	BEGA	SURFACE MOUNTED CYLINDER
	13	BEGA	LOW LEVEL BOLLARD

LIGHTING PLAN GENERAL NOTES

1. REFER TO SHEET L1.0 FOR LIGHTING PRODUCT CUT SHEETS.
2. REFER TO PHOTOMETRIC LIGHTING PLAN PROVIDED BY KWS FOR MORE INFORMATION REGARDING PHOTOMETRIC VALUES AND PRODUCT INFORMATION.

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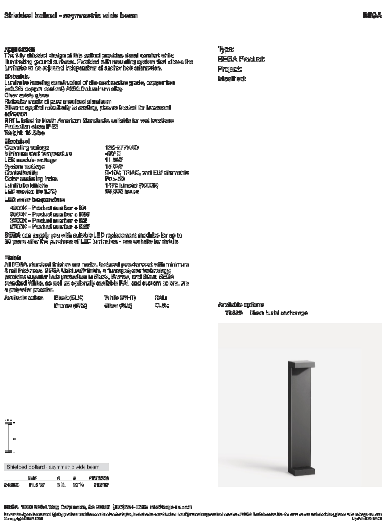
PROJ #: 2023-103
DRWN BY: JO
CHK'D BY: NM

NO.	DATE	SUBMITTAL
1	23.JUL.14	ARC INITIAL SUBMITTAL
2	24.JUL.08	ARC RESUBMITTAL 1
3	24.JUL.19	ARC RESUBMITTAL 2

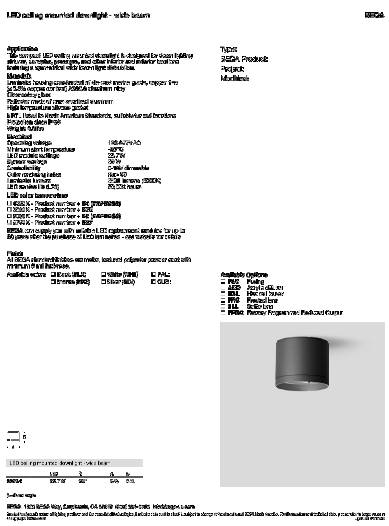
LIGHTING PLAN

NOT FOR CONSTRUCTION

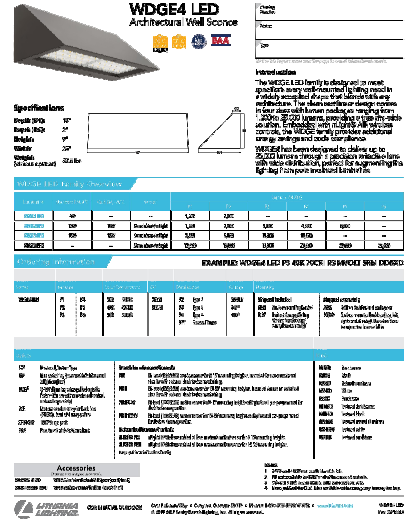
L2.0



4 **S5 BOLLARD**
REFER TO SHEET L2.0 FOR LIGHTING SCHEDULE & PLAN



3 **S4 LIGHT FIXTURE**
REFER TO SHEET L2.0 FOR LIGHTING SCHEDULE & PLAN



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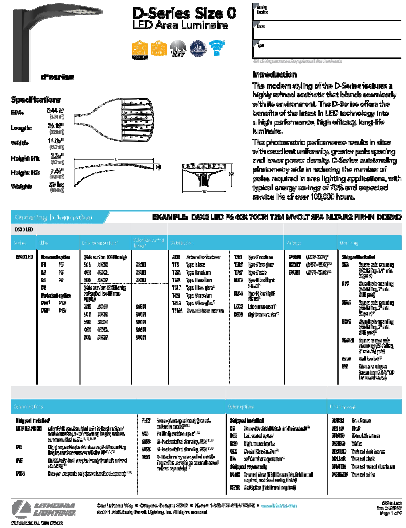

1 **S1 & S2 LIGHT FIXTURE**
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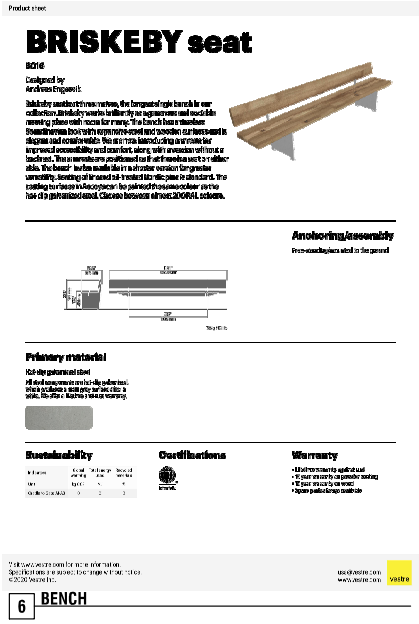

6 **BENCH**

5 NOT USED

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PROJ #:	2023-103
DRAWN BY:	JD
CHKD BY:	NM

NO.	DATE	SUBMITTAL
1	2025.01.14	ARC RESUBMITTAL 1
2	2025.01.16	ARC RESUBMITTAL 1
3	2025.01.19	ARC RESUBMITTAL 2

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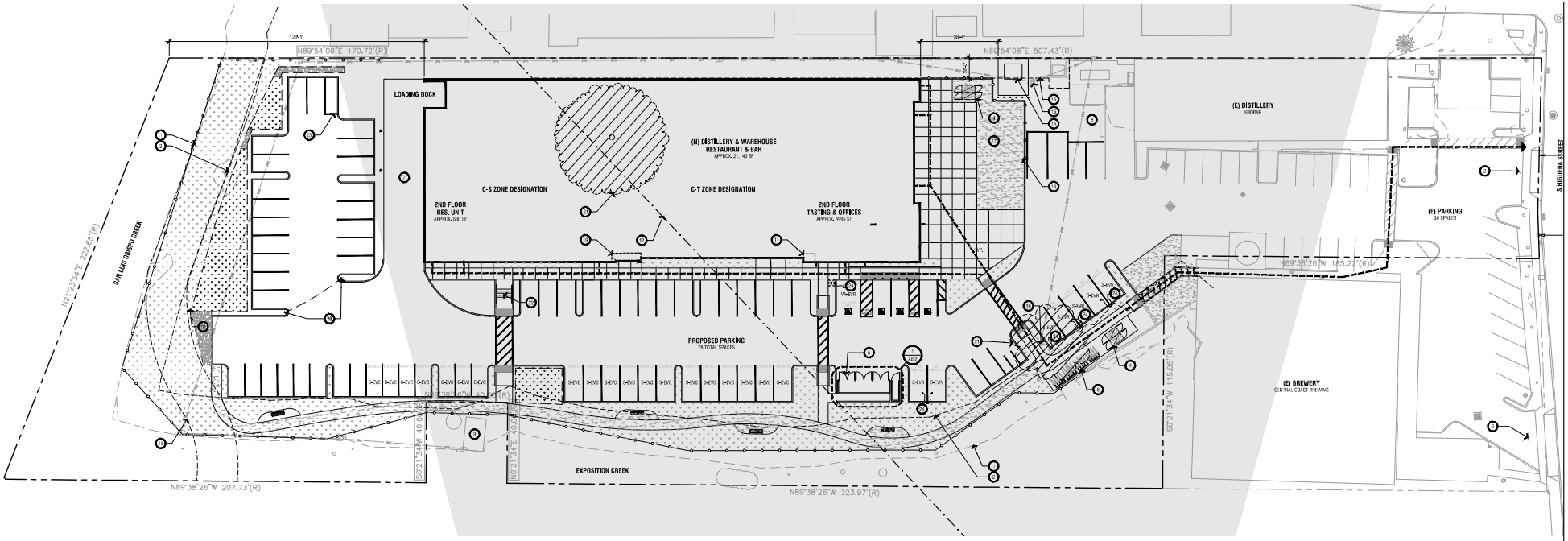
LANDSCAPE CUT SHEETS

L3.0



1 SITE PLAN

SCALE 1" = 30'-0"

KEYNOTES

1. TOP OF CREEK BANK LINE
2. 20' SETBACK LINE FROM TOP OF CREEK BANK
3. (E) DRIVEWAY, NOT A PART OF THIS PROJECT
4. LONG TERM BIKE PARKING (8 TOTAL), 2 EA
5. TRASH ENCLOSURE TO COMPLY WITH CITY OF SAN LUIS OBISPO CITY ENGINEERING STANDARDS BY PROVIDING ADEQUATE SIZING TO STORE REQUIRED CONTAINERS FOR WASTE, RECYCLING, ORGANICS, AND FOG. FOR CITY WIDE ENCLOSURE DRAWINGS AND SLO MUNICIPAL CODE 17.70.200 TRASH ENCLOSURE STANDARDS.
6. SHORT TERM BIKE PARKING, PEAK RACK (OR SIMILAR 'U' STYLE RACK, (20), 5 EA
7. BACK-IN RAMP TO LOADING DOCK
8. MECHANICAL PAD, UNDER FUTURE TENANT IMPROVEMENT PERMIT
9. (E) PUMP HOUSE TO REMAIN, NOT IN SCOPE
10. FLAG POLE
11. FIRE RISER PRELIMINARY LOCATION, FINAL ROOM LOCATION AND RISER SHALL BE LOCATED FOR BUILDING PERMIT APPLICATION SUBMITTAL
12. (E) ZONE BOUNDARY, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
13. EXTENT OF FUTURE BOB JONES TRAIL EASEMENT THROUGH SITE
14. (N) TRANSFORMER
15. PG&E EASEMENT
16. UTILITY POLE TO REMAIN, PROTECT IN PLACE
17. DECOMPOSED GRANITE
18. 8' HIGH TALL DECORATIVE LANDSCAPE FENCING AT OUT DOOR AREA
19. SWITCHGEAR LOCATION
20. (E) LARD AND CHAIN LOCATION AT OVERFLOW PARKING, OVERFLOW PARKING SHALL REMAIN CLOSED WITH CHAIN DEPLOYED DURING STORM EVENTS
21. (E) PERU/AIAN PEPPER TREE TO BE REMOVED, PLEASE SEE ARBORIST REPORT FOR TREE REMOVAL AND TREE PROTECTION INFORMATION
22. CONCRETE STAIRS WITH HANDRAIL
23. ACCESS TO PG&E EASEMENT ON NORTHERN PROPERTY LINE
24. (N) LOCATION OF FUTURE ELECTRICAL VEHICLE CHARGING STATION (EVCS)

ARCHITECTURAL SITE PLAN LEGEND

- FLOOD SHADOW
- LANDSCAPE AREA
- STORMWATER TREATMENT LANDSCAPE AREA
- CONCRETE AT ENTRY PLAZA
- (E) PROPERTY LINE, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- (E) ZONE BOUNDARY, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- (E) CREEK / BUILDING SETBACK LINE
- (N) FENCE - 8' TALL, COATED CHAIN LINK, COLOR: BLACK
- SITE ARRIVAL POINT PATH OF TRAVEL FROM SIDEWALK AND CAR DISCHARGE ROUTE PATH OF TRAVEL

ARCHITECTURAL SITE PLAN GENERAL NOTES

1. REFER TO SHEET T1.0 FOR PARKING REQUIREMENTS AND CALCULATIONS.
2. REFER TO CIVIL ENGINEERING PLANS FOR EXISTING CONDITIONS AND DEMOLITION PLANS.
3. REFER TO LANDSCAPE PLANS FOR MORE INFORMATION REGARDING PLANTING, SITE LIGHTING, AND HARDSCAPE

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C-28052
1.28.2025
RENEWAL
STATE OF CALIFORNIA

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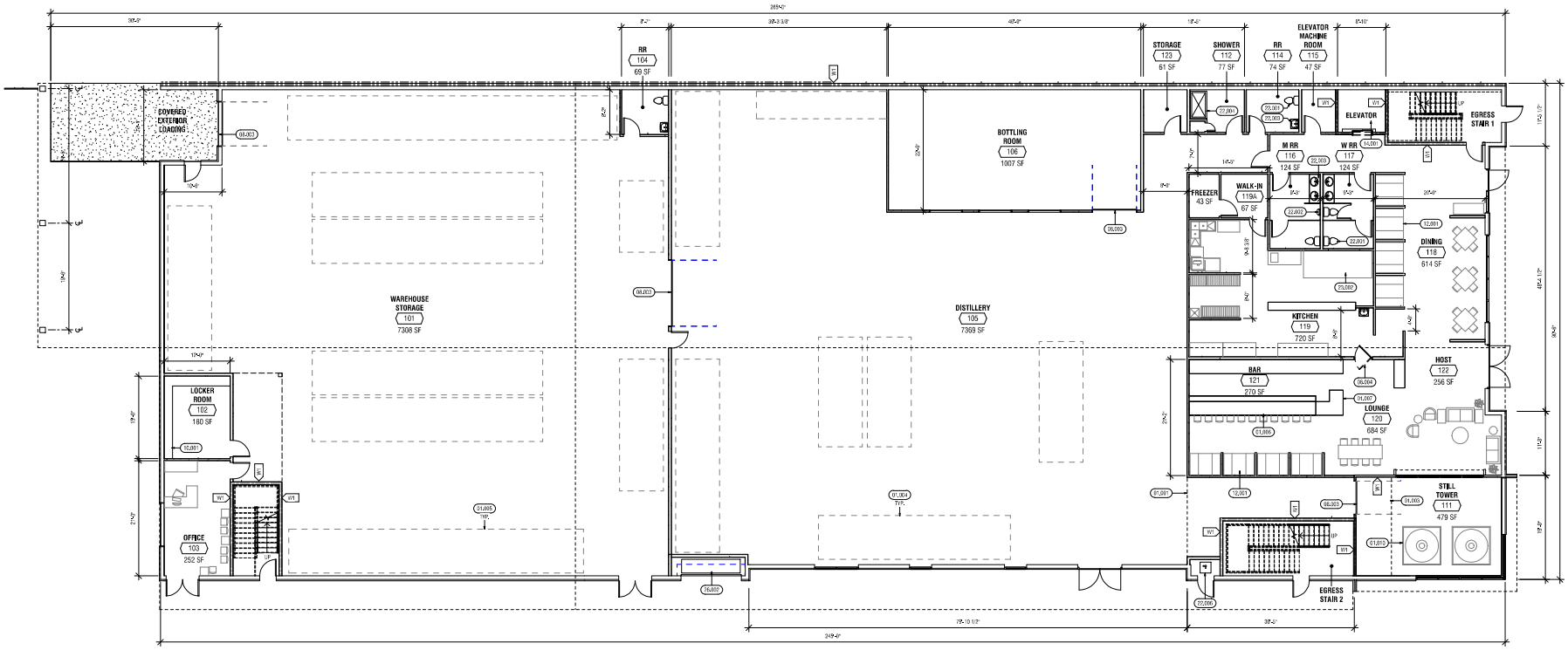
PROJ #: 2023-103
DRWN BY: JD
CHKD BY: NM

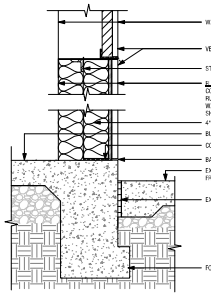
NO.	DATE	SUBMITTAL
1	23.07.14	ARC INITIAL SUBMITTAL
2	24.02.06	ARC RESUBMITTAL 1
3	24.05.19	ARC RESUBMITTAL 2

SITE PLAN

A1.0



1 **FLOOR PLAN**
1/8" = 1'-0"



2 **FLOODPROOFING @ EXTERIOR WALL**
1 1/2" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. TOILET ROOMS SHALL HAVE EXHAUST RATE OF 50 CFM MINIMUM.
2. ELECTRICAL OUTLETS TO BE PLACED AT 18" TO CENTERLINE ABOVE FINISH FLOOR U.N.O.
3. ELECTRICAL SWITCHES TO BE PLACED AT 48" TO CENTERLINE FROM FINISH FLOOR U.N.O.
4. DOORS HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MINIMUM 34" AND A MAXIMUM 48" A.F.F.
5. ALL EXTERIOR WALL SHALL BE 2X FRAMING WITH R-13 MINIMUM INSULATION OR PER TITLE 24. U.N.O. REFER TO WALL LEGEND.
6. ALL INTERIOR WALLS SHALL BE 2X4 FRAMING, TYPICAL U.N.O. REFER TO WALL LEGEND.
7. ALL PLUMBING WALLS SHALL BE 2X6 MINIMUM FRAMING, REFER TO WALL LEGEND.
8. PROVIDE R-13 MINIMUM INSULATION AT PLUMBING WALLS AND WALLS OF LAUNDRY ROOM.
9. PROVIDE 1" MINIMUM AIR SPACE BETWEEN WOOD STRUCTURES AND RETAINING WALLS.
10. PROVIDE 1 MIRROR, 1 TOILET PAPER HOLDER, 1 HAND TOWEL BAR, AND 2 BATH TOWEL BARS PER BATHROOM.
11. THRESHOLD AND LANDINGS:
    A. THRESHOLD AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). THE THRESHOLD HEIGHT SHALL BE LIMITED TO 7-3/4" AND THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS, THE DOOR DOES NOT SWING OVER THE LANDING OR STEP, AND THE DOORWAY IS NOT ON AN ACCESSIBLE ROUTE AND IS NOT PART OF AN ADAPTABLE OR ACCESSIBLE DWELLING UNIT. REFER TO CBC, CHAPTER 10.
12. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF STUD (F.O.S.).
13. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK. IF ANY VARIATION, DISCREPANCY OR CONDITIONS FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT / DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ARCHITECT / DESIGNER PRIOR TO PROCEEDING WITH ANY WORK.

KEYNOTES

01.001	DASHED OVERHEAD LINE INDICATES EXTENT OF SECOND FLOOR
01.003	DASHED LINE INDICATES CATWALK OVERLOOKING THE STILL TOWER
01.004	DASHED LINE INDICATES PALLET STORAGE, SPIRIT HOLDING TANKS AND FERMENTING TANKS
01.005	DASHED LINE INDICATES PALLET STORAGE
01.006	BAR AND BAR SEATING
01.007	ADA BAR, MAXIMUM HEIGHT OF 34"
01.010	LIQUOR STILL
08.003	OVERHEAD ROLL-UP DOOR
08.004	DOUBLE SWINGING KITCHEN DOOR
10.001	METAL LOCKERS, TYPE AND MANUFACTURER TBD
12.001	BUILT-IN BOOTH SEATING
14.001	ELEVATOR, TYPE AND MANUFACTURER TBD
22.001	ACCESSIBLE FLOOR-MOUNTED TOILET WITH GRAB BARS
22.002	WALL-MOUNTED URINAL
22.003	COUNTER-MOUNTED LAVATORY WITH REQUIRED KNEE AND TOE CLEARANCES PROVIDED
22.004	ACCESSIBLE ROLL-IN SHOWER WITH FOLDING SEAT AND TRANSFER AND CLEAR SPACE PROVIDED
22.006	FIRE RISER PRELIMINARY LOCATION. FINAL ROOM LOCATION AND RISER SHALL BE LOCATED FOR BUILDING PERMIT APPLICATION SUBMITTAL
23.002	TYPE 1 HOOD OVERHEAD
26.002	ELECTRICAL SWITCHGEAR. SEE ELECTRICAL DRAWINGS

EXTERIOR WALL ASSEMBLY SCHEDULE

TYPE	DESCRIPTION
W1	FIRE RATED WALL

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PROJ #: 2023-000
DRAWN BY: MT
CHKD BY: NM

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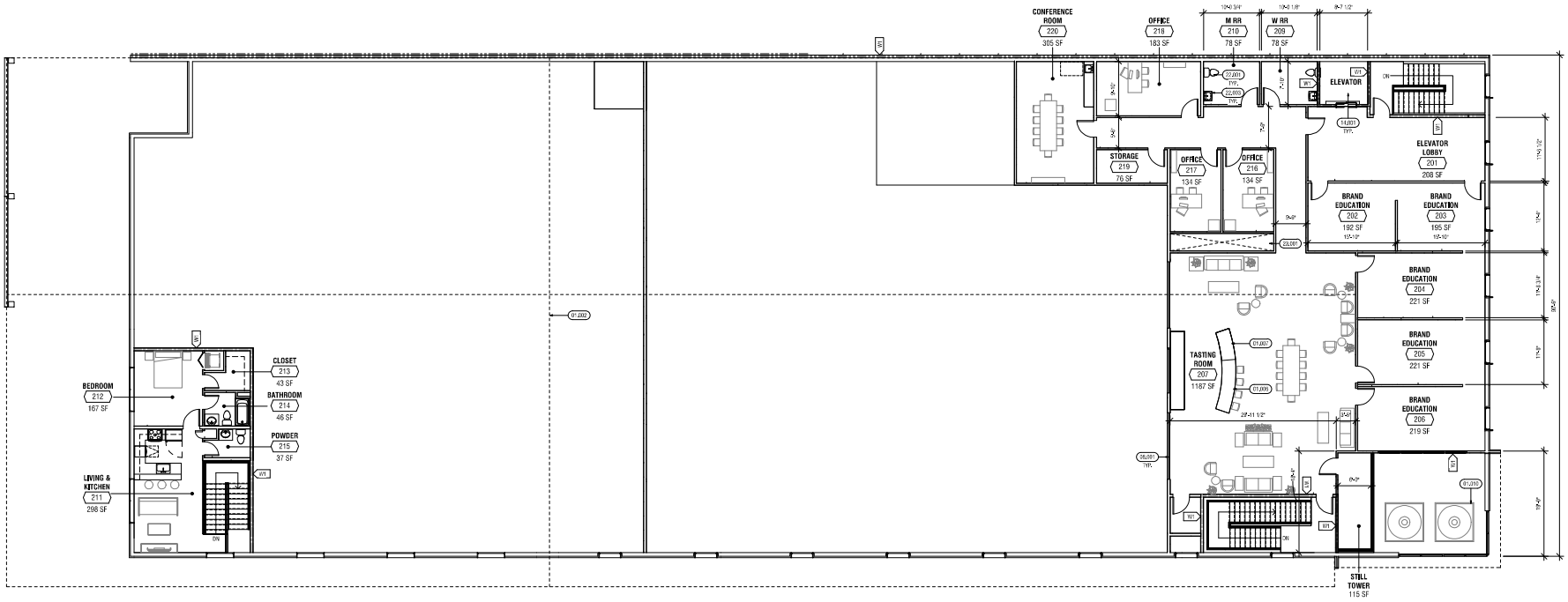
1	23.02.14	ARC INITIAL SUBMITTAL
2	24.02.06	ARC RESUBMITTAL 1
3	24.03.19	ARC RESUBMITTAL 2

FIRST FLOOR PLAN

NOT FOR CONSTRUCTION

A2.0



1 **SECOND FLOOR PLAN**
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. TOILET ROOMS SHALL HAVE EXHAUST RATE OF 50 CFM MINIMUM.
2. ELECTRICAL OUTLETS TO BE PLACED AT 18" TO CENTERLINE ABOVE FINISH FLOOR U.N.O.
3. ELECTRICAL SWITCHES TO BE PLACED AT 48" TO CENTERLINE FROM FINISH FLOOR U.N.O.
4. DOORS HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MINIMUM 34" AND A MAXIMUM 48" A.F.F.
5. ALL EXTERIOR WALL SHALL BE 2X FRAMING WITH R-13 MINIMUM INSULATION OR PER TITLE 24, U.N.O. REFER TO WALL LEGEND.
6. ALL INTERIOR WALLS SHALL BE 2X4 FRAMING, TYPICAL U.N.O. REFER TO WALL LEGEND.
7. ALL PLUMBING WALLS SHALL BE 2X6 MINIMUM FRAMING. REFER TO WALL LEGEND.
8. PROVIDE R-13 MINIMUM INSULATION AT PLUMBING WALLS AND WALLS OF LAUNDRY ROOM.
9. PROVIDE 1" MINIMUM AIR SPACE BETWEEN WOOD STRUCTURES AND RETAINING WALLS.
10. PROVIDE 1 MIRROR, 1 TOILET PAPER HOLDER, 1 HAND TOWEL BAR, AND 2 BATH TOWEL BARS PER BATHROOM.
11. THRESHOLD AND LANDINGS
    A. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). THE THRESHOLD HEIGHT SHALL BE LIMITED TO 7-1/4" AND THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS, THE DOOR DOES NOT SWING OVER THE LANDING OR STEP; AND THE DOORWAY IS NOT ON AN ACCESSIBLE ROUTE AND IS NOT PART OF AN ADAPTABLE OR ACCESSIBLE DWELLING UNIT. REFER TO CBC 1008.1.8.2
12. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2%. EXTERIOR BALCONIES LESS THAN 60 S.F. AND ONLY ACCESSIBLE FROM A DOOR ARE PERMITTED TO HAVE A LANDING LESS THAN 36" DEEP. REFER TO CBC 1008.1.6
    C. LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHEN EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.
    D. DOORS OTHER THEN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRWAY.
    E. STORM AND SCREEN DOORS SHALL BE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS.
13. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF STUD (F.O.S.).
14. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK. IF ANY VARIATION, DISCREPANCY OR OMISSIONS FOUND THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT / DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ARCHITECT / DESIGNER PRIOR TO PROCEEDING WITH ANY WORK.

KEYNOTES

01,002	DASHED OVERHEAD LINE INDICATES ROOF LINE ABOVE
01,005	BAR AND BAR SEATING
01,007	ADA BAR, MAXIMUM HEIGHT OF 34"
01,013	UNLOAD STILL
06,001	ALUMINUM STOREFRONT SYSTEM
11,001	ELEVATOR, TYPE AND MANUFACTURER TBD
22,001	ACCESSIBLE FLOOR-MOUNTED TOILET WITH GRAB BARS
22,002	COUNTER-MOUNTED LAVATORY WITH REQUIRED KNEE AND TOE CLEARANCES PROVIDED
23,001	CHASE PROVIDED FOR VENTING AND HVAC

EXTERIOR WALL ASSEMBLY SCHEDULE

TYPE	DESCRIPTION
W1	FIRE RATED WALL

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PROJ.#: 2023-020
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1	23.07.14	ARC INITIAL SUBMITTAL
2	24.07.26	ARC RESUBMITTAL 1
3	24.09.19	ARC RESUBMITTAL 2

SECOND FLOOR PLAN

A2.1

1 **SOUTH ELEVATION**
1/8" = 1'-0"

2 **EAST ELEVATION**
1/8" = 1'-0"

3 **WEST ELEVATION**
1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

1. EXTERIOR FINISHES AND COLORS SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THE PLANS OR NOT.
2. PROVIDE FLASHING AND COUNTERFLASHING PER CBC 1707 AT CHIMNEYS, PARAPETS, SALCONIES, LANDINGS, EXTERIOR STAIRWAYS, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS TO MAINTAIN A WEATHER AND WATER TIGHT ENVELOPE. FLASHING AND COUNTERFLASHING SHALL BE MIN. 26 GA. GALV. METAL. PAINT ALL GALV. METAL MATERIAL TO MATCH ADJACENT MATERIAL.
3. GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS UNO. ALL GUTTERS SHALL BE GALVANIZED METAL OR ALUMINUM, PAINTED TO MATCH FASCIA. DOWNSPOUTS SHALL BE PAINTED TO MATCH ADJACENT WALL FINISH UNO AND TIED INTO UNDERGROUND DRAINAGE. REFER TO GRADING/DRAINAGE PLAN (IF PROVIDED) FOR ADDITIONAL INFORMATION
4. GUTTERS SHALL INCLUDE AN INTEGRAL MEANS OF PREVENTING ACCUMULATION OF LEAVES AND DEBRIS.

EXTERIOR ELEVATION LEGEND

- VERTICAL BOX RIB METAL SIDING; AEP SPAN, COOL DURA TECH 5000 MATTE BLACK
- STANDING SEAM METAL ROOFING; AEP SPAN/BEAM, COOL DURA TECH 5000 SLATE GRAY
- VERTICAL WOOD SIDING; NATURAL STAIN
- CONCRETE BASE, BOARD FINISHED
- ALUMINUM STOREFRONT WINDOW FRAMES, MULLIONS AND DOOR FRAMES; ANODIZED DARK BRONZE
- EXTERIOR DOWNLIT WALL SCONCE IN COMPLIANCE WITH DARK SKY REQUIREMENTS; DARK BRONZE

KEYNOTES

05.009	EXTERIOR SIGNAGE, SEE SIGNAGE PROGRAM ON SHEET A3.1
05.001	EXTERIOR STEEL COLUMN; PAINTED BLACK
05.003	EXTERIOR STEEL AWNING
05.005	EXTERIOR STEEL SCREENING
06.002	ALUMINUM STOREFRONT ENTRANCE DOORS

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C-28957
5.26.2023
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PROJ.#: 2023-000
DRAWN BY: MT
CHKD BY: NM

NO.	DATE	SUBMITTAL
1	23.07.14	ARC INITIAL SUBMITTAL
2	24.07.26	ARC RESUBMITTAL 1
3	24.09.19	ARC RESUBMITTAL 2

NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

A3.0

SIGN ZONE 4

TYPES PERMITTED: WALL-MOUNTED SIGNS
NUMBER: 1 SIGN MAXIMUM
MAXIMUM SIZE: 150 SF TOTAL
DESIGN: THREE-DIMENSIONAL LETTERING AND/OR LOGO BALANCED AND IN PROPORTION TO SCALE WITH BUILDING ELEVATION WITH COMPOSITION THAT DOES NOT OVERWHELM OR OBSCURE DESIGN.
MATERIAL: HIGH QUALITY AND DURABLE MATERIALS THAT ARE COMPLEMENTARY AND/OR SIMILAR TO BUILDING MATERIALS AND DO NOT DISTRACT FROM OVERWHELM DESIGN OR OVERALL BUILDING FORM. SIGN MATERIALS SHALL CONVEY A SENSE OF PERMANENCE AND DURABILITY, AND NOT CONSIST OF FOAM, POSTER BOARD, FLAT PLASTIC, OR ANY OTHER MATERIAL INDICATING TEMPORARY SIGNAGE.
COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
ILLUMINATION: EXTERNAL OR INTERNAL PERMITTED CONSISTENT W/SLO MUNI CODE SECTION 15.40.430
INSTALLATION: HIGH QUALITY INSTALLATION USING A DIRECT OR FLUSH MOUNT WITHOUT EXPOSED WIRING, RACEWAYS, OR OTHER STABILIZING DEVICES INCLUDING BACKER MOUNTS, ATTACHMENTS SHALL BE HIDDEN FROM VIEW IN LEAST DESTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNAGE SHALL NOT BE OBSCURED BY LANDSCAPE FEATURES OR BUILDING ELEMENTS. SIGNAGE SHALL EXTEND BEYOND EDGE OF BUILDING OR ASSOCIATED DESIGN ELEMENT.

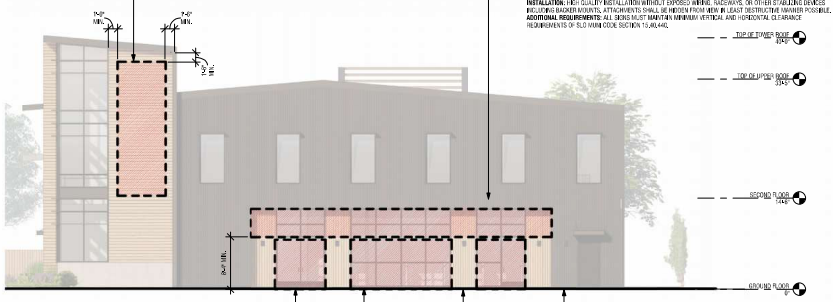
1 **SOUTH ELEVATION**
1/8" = 1'-0"

SIGN ZONE 1

TYPES PERMITTED: WALL-MOUNTED SIGNS
NUMBER: 1 SIGN MAXIMUM
MAXIMUM SIZE: 150 SF TOTAL
DESIGN: THREE-DIMENSIONAL LETTERING AND/OR LOGO BALANCED AND IN PROPORTION TO SCALE WITH BUILDING ELEVATION WITH COMPOSITION THAT DOES NOT OVERWHELM OR OBSCURE DESIGN.
MATERIAL: HIGH QUALITY AND DURABLE MATERIALS THAT ARE COMPLEMENTARY AND/OR SIMILAR TO BUILDING MATERIALS AND DO NOT DISTRACT FROM OVERWHELM DESIGN OR OVERALL BUILDING FORM. SIGN MATERIALS SHALL CONVEY A SENSE OF PERMANENCE AND DURABILITY, AND NOT CONSIST OF FOAM, POSTER BOARD, FLAT PLASTIC, OR ANY OTHER MATERIAL INDICATING TEMPORARY SIGNAGE.
COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
ILLUMINATION: EXTERNAL OR INTERNAL PERMITTED CONSISTENT W/SLO MUNI CODE SECTION 15.40.430
INSTALLATION: HIGH QUALITY INSTALLATION USING A DIRECT OR FLUSH MOUNT WITHOUT EXPOSED WIRING, RACEWAYS, OR OTHER STABILIZING DEVICES INCLUDING BACKER MOUNTS, ATTACHMENTS SHALL BE HIDDEN FROM VIEW IN LEAST DESTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNAGE SHALL NOT BE OBSCURED BY LANDSCAPE FEATURES OR BUILDING ELEMENTS. SIGNAGE SHALL EXTEND BEYOND EDGE OF BUILDING OR ASSOCIATED DESIGN ELEMENT.

SIGN ZONE 2

TYPES PERMITTED: AWNING, PROJECTED, HANGING & SUSPENDED
NUMBER: 1 SIGN PER TENANT MAXIMUM
MAXIMUM SIZE: PER OWNER DISCRETION, SIZE OF SIGNS SHALL BE PEDESTRIAN SCALE, IN PROPORTION WITH BUILDING, AND NOT NEGATIVELY OBSCURE TRANSPARENCY INTO BUILDING AT GLASS FACADE ELEMENTS. REFER TO SLO MUNI CODE SECTION 15.40.470 FOR GENERAL SIZE PARAMETERS.
DESIGN: ALL SIGNAGE IN ZONE 2 SHALL BE OF THE SAME TYPE BE EITHER AWNING, PROJECTED, OR HANGING & SUSPENDED DESIGNED IN A CONSISTENT MANNER. ALL SIGNAGE SHALL BE THREE DIMENSIONAL (NOT ENTIRELY FLAT OR SIMPLY PAINTED) IN PROPORTION TO SCALE WITH BUILDING ELEVATION WITH COMPOSITION THAT DOES NOT OVERWHELM OR OBSCURE DESIGN. ANY ADDITIONAL ELEMENTS ADDED FOR SIGNAGE (AWNINGS, STRUCTURE, ETC...) MUST BE COHESIVELY INCORPORATED INTO BUILDING DESIGN IN TERMS OF FORM, SIZE, AND MATERIAL.
MATERIAL: HIGH QUALITY AND DURABLE MATERIALS THAT ARE COMPLEMENTARY AND/OR SIMILAR TO BUILDING MATERIALS AND DO NOT DISTRACT FROM OF OVERWHELM DESIGN OR OVERALL BUILDING FORM. SIGN MATERIALS SHALL CONVEY A SENSE OF PERMANENCE AND DURABILITY, AND NOT CONSIST OF FOAM, POSTER BOARD, FLAT PLASTIC, OR ANY OTHER MATERIAL INDICATING TEMPORARY SIGNAGE.
COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
ILLUMINATION: EXTERNAL OR INTERNAL PERMITTED CONSISTENT W/SLO MUNI CODE SECTION 15.40.430
INSTALLATION: HIGH QUALITY INSTALLATION WITHOUT EXPOSED WIRING, RACEWAYS, OR OTHER STABILIZING DEVICES INCLUDING BACKER MOUNTS, ATTACHMENTS SHALL BE HIDDEN FROM VIEW IN LEAST DESTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: ALL SIGNS MUST MAINTAIN MINIMUM VERTICAL AND HORIZONTAL CLEARANCE REQUIREMENTS OF SLO MUNI CODE SECTION 15.40.440.



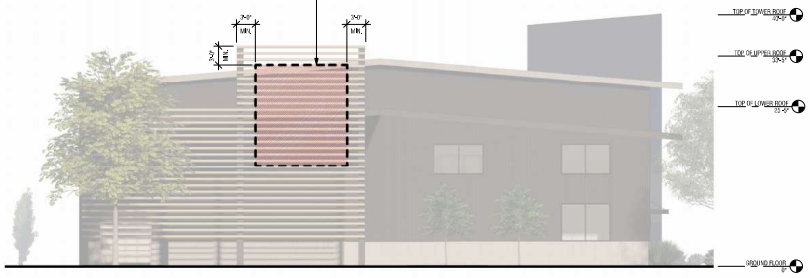
SIGN ZONE 3

TYPES PERMITTED: WINDOW SIGNS
NUMBER: 1 SIGN PER TENANT MAXIMUM, MULTIPLE WINDOW SIGNS FOR INDIVIDUAL TENANTS MAY BE CONSIDERED IF DESIGN BETWEEN ALL SIGNAGE IS COHESIVE AND READS AS ONE GRAPHIC DISPLAY.
MAXIMUM SIZE: PER OWNER DISCRETION, SIZE OF SIGNS SHALL BE PEDESTRIAN SCALE, IN PROPORTION WITH BUILDING, AND NOT NEGATIVELY OBSCURE VIEW TO INTERIOR AT GLASS. REFER TO SLO MUNI CODE SECTION 15.40.470 FOR GENERAL SIZE PARAMETERS.
DESIGN: SIGNS SHALL BE LIMITED TO SMALL GRAPHICS AND TEXT THAT SERVE TO FRAME A WINDOW OR PROVIDE INFORMATION. WINDOW SIGNS ARE LOCATED WITHIN 36 INCHES OF A WINDOW, SIGNS SHOULD GENERALLY RELATE TO THEIR TENANT SPACE. TYPICALLY WINDOW SIGNS ARE TWO-DIMENSIONAL SIGNS ADHERED TO GLASS OF WINDOWS OR DOORS.
MATERIAL: HIGH QUALITY AND DURABLE MATERIALS THAT ARE COMPLEMENTARY AND/OR SIMILAR TO BUILDING MATERIALS AND DO NOT DISTRACT FROM OF OVERWHELM DESIGN OR OVERALL BUILDING FORM. SIGN MATERIALS SHALL CONVEY A SENSE OF PERMANENCE AND DURABILITY, AND NOT CONSIST OF FOAM, POSTER BOARD, FLAT PLASTIC, OR ANY OTHER MATERIAL INDICATING TEMPORARY SIGNAGE.
COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
ILLUMINATION: EXTERNAL OR INTERNAL PERMITTED CONSISTENT W/SLO MUNI CODE SECTION 15.40.430
INSTALLATION: HIGH QUALITY INSTALLATION WITHOUT EXPOSED WIRING, RACEWAYS, OR OTHER STABILIZING DEVICES INCLUDING BACKER MOUNTS, ATTACHMENTS SHALL BE HIDDEN FROM VIEW IN LEAST DESTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNS IN THIS ZONE MAY BE ATTACHED TO WINDOWS AND/OR DOORS.

2 **EAST ELEVATION**
1/8" = 1'-0"

WALL SIGN ZONE 5

TYPES PERMITTED: WALL-MOUNTED SIGNS
NUMBER: 1 SIGN PER TENANT MAXIMUM
MAXIMUM SIZE: 300 SF TOTAL, 100 SF PER SIGN
DESIGN: THREE-DIMENSIONAL LETTERING AND/OR LOGO BALANCED AND IN PROPORTION TO SCALE WITH BUILDING ELEVATION WITH COMPOSITION THAT DOES NOT OVERWHELM OR OBSCURE DESIGN.
MATERIAL: HIGH QUALITY AND DURABLE MATERIALS THAT ARE COMPLEMENTARY AND/OR SIMILAR TO BUILDING MATERIALS AND DO NOT DISTRACT FROM OF OVERWHELM DESIGN OR OVERALL BUILDING FORM. SIGN MATERIALS SHALL CONVEY A SENSE OF PERMANENCE AND DURABILITY, AND NOT CONSIST OF FOAM, POSTER BOARD, FLAT PLASTIC, OR ANY OTHER MATERIAL INDICATING TEMPORARY SIGNAGE.
COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
ILLUMINATION: EXTERNAL OR INTERNAL PERMITTED CONSISTENT W/SLO MUNI CODE SECTION 15.40.430
INSTALLATION: HIGH QUALITY INSTALLATION USING A DIRECT OR FLUSH MOUNT WITHOUT EXPOSED WIRING, RACEWAYS, OR OTHER STABILIZING DEVICES INCLUDING BACKER MOUNTS, ATTACHMENTS SHALL BE HIDDEN FROM VIEW IN LEAST DESTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNAGE SHALL NOT BE OBSCURED BY LANDSCAPE FEATURES OR BUILDING ELEMENTS. SIGNAGE SHALL EXTEND BEYOND EDGE OF BUILDING OR ASSOCIATED DESIGN ELEMENT.



3 **WEST ELEVATION**
1/8" = 1'-0"

WALL MOUNTED SIGN

AWNING SIGN

PROJECTING SIGN

HANGING & SUSPENDED SIGN

WINDOW SIGN

NOTE: THE SIGNS ABOVE ARE EXAMPLES OF SIGNAGE THAT GENERALLY COMPLY WITH THE DESIGN STANDARDS OF THIS SIGNAGE PROGRAM. SEE EACH ZONE FOR SPECIFIC REQUIREMENTS.

4 **SIGNAGE TYPE EXAMPLES**
3" = 1'-0"

SIGNAGE PROGRAM GENERAL NOTES

1. SIGNAGE IS ONLY PERMITTED IN ZONES INDICATED IN ELEVATION DRAWINGS ABOVE.
2. ALL SIGNAGE SHALL FOLLOW GUIDELINES LISTED IN EACH RESPECTIVE ZONE'S NOTES ON THOSE ELEVATIONS INCLUDING SIGNAGE TYPES, NUMBER, DESIGN, SIZE, MATERIALS, COLOR, ILLUMINATION, AND INSTALLATION.
3. ALL SIGNAGE TYPES, DIMENSIONS, AND SPECIFICATIONS ARE BASED ON CHAPTER 15.40 "SIGN REGULATIONS" AND SECTION 15.40.460 (PARK STANDARDS BY "ACTIVITY TABLE UNDER C-T AND C-S ZONING DESIGNATION AND SECTION 15.40.440 (FSCN STANDARDS BY SIGN TYPE") WITH ADJUSTMENTS PER PROJECT PROGRAM AND DESIGN.
4. ALL SIGNS WILL COMPLY WITH ILLUMINATION REGULATIONS IN SAN LUIS OBISPO MUNICIPAL CODE SECTION 15.40.430.
5. ALL SIGNS WILL COMPLY WITH DESIGN PRINCIPLES IN SAN LUIS OBISPO MUNICIPAL CODE SECTION 15.40.480.

NOT FOR CONSTRUCTION

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LICENSED ARCHITECT BY STATE OF CALIFORNIA
JOEL R. SNYDER
NOT FOR CONSTRUCTION
C-39767
2.28.2023
RENEWAL

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10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

PROJ #: 2023-000
DRAWN BY: MT
CHKD BY: NM

NO.	DATE	SUBMITTAL
1	23.07.14	ARC INITIAL SUBMITTAL
2	24.07.08	ARC RESUBMITTAL 1
3	24.09.19	ARC RESUBMITTAL 2

SIGNAGE PROGRAM

A3.1

01 - VIEW FROM ENTRY

02 - VIEW FROM PLAZA

03 - VIEW FROM PARKING AREA

04 - VIEW FROM LOADING AREA

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SAN LUIS OBISPO, CA

PROJ.#: 2023-020
DRAWN BY: EH
CHKD BY: NM

NO.	DATE	SUBMITTAL
1	03.07.23	ARC INITIAL SUBMITTAL
2	04.07.23	ARC RESUBMITTAL 1
3	04.05.23	ARC RESUBMITTAL 2

PERSPECTIVE IMAGES

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A4.0