



Planning Commission
AGENDA

Wednesday, June 12, 2024, 6:00 p.m.

Council Chambers, 990 Palm Street, San Luis Obispo

The Planning Commission holds in-person meetings. Zoom participation will not be supported at this time. Planning Commission meetings can be viewed remotely on Channel 20 and the City's YouTube Channel: <http://youtube.slo.city>

INSTRUCTIONS FOR PUBLIC COMMENT:

Public Comment prior to the meeting (must be received 3 hours in advance of the meeting):

Mail - Delivered by the U.S. Postal Service. Address letters to the City Clerk's Office at 990 Palm Street, San Luis Obispo, California, 93401.

Email - Submit Public Comments via email to advisorybodies@slocity.org. In the body of your email, please include the date of the meeting and the item number (if applicable). Emails *will not* be read aloud during the meeting.

Voicemail - Call (805) 781-7164 and leave a voicemail. Please state and spell your name, the agenda item number you are calling about, and leave your comment. Verbal comments must be limited to 3 minutes. Voicemails *will not* be played during the meeting.

**All correspondence will be archived and distributed to members, however, submissions received after the deadline may not be processed until the following day.*

Public Comment during the meeting:

Meetings are held in-person. To provide public comment during the meeting, you must be present at the meeting location.

Electronic Visual Aid Presentation. To conform with the City's Network Access and Use Policy, Chapter 1.3.8 of the Council Policies & Procedures Manual, members of the public who desire to utilize electronic visual aids to supplement their oral presentation are encouraged to provide display-ready material to the City Clerk by 12:00 p.m. on the day of the meeting. Contact the City Clerk's Office at cityclerk@slocity.org or (805) 781-7114.

1. CALL TO ORDER

Chair Cooley will call the Regular Meeting of the Planning Commission to order.

2. PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA

At this time, people may address the Commission about items not on the agenda. Comments are limited to three minutes per person. Items raised at this time are generally referred to staff and, if action by the Commission is necessary, may be scheduled for a future meeting.

3. CONSENT

Matters appearing on the Consent Calendar are expected to be non-controversial and will be acted upon at one time. A member of the public may request the Planning Commission to pull an item for discussion. The public may comment on any and all items on the Consent Agenda within the three-minute time limit.

3.a CONSIDERATION OF MINUTES - MAY 8, 2024 PLANNING COMMISSION MINUTES

5

Recommendation:

To approve the Planning Commission Minutes of May 8, 2024.

4. PUBLIC HEARINGS

Note: Any court challenge to the action taken on public hearing items on this agenda may be limited to considering only those issues raised at the public hearing or in written correspondence delivered to the City of San Luis Obispo at, or prior to, the public hearing. If you wish to speak, please give your name and address for the record. Please limit your comments to three minutes; consultant and project presentations limited to six minutes.

4.a REVIEW CONDITIONAL USE PERMIT (USE-0331-2023) TO ESTABLISH A FRATERNITY FOR UP TO 24 RESIDENTS, INCLUDING A REQUEST TO PROVIDE TWO (2) PARKING SPACES IN TANDEM ON AN EXISTING DRIVEWAY; THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW

9

Recommendation:

Adopt the Draft Resolution approving the project, based on findings and subject to conditions of approval. The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

4.b REVIEW OF A TEXT AMENDMENT TO THE ZONING REGULATIONS TO ADD SINGLE-FAMILY AND MULTI-FAMILY USES AS CONDITIONALLY ALLOWED WITH APPROVAL OF A MINOR USE PERMIT IN THE NEIGHBORHOOD COMMERCIAL (C-N) ZONE; THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW

35

Recommendation:

Recommend the City Council introduce and adopt an Ordinance revising Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) to add single-family and multi-family uses as conditionally allowed with approval of a Minor Use Permit in the Neighborhood Commercial (C-N) Zone. The project is exempt from environmental review under Section 15301(b)(3) (General Rule Exemption) of the California Environmental Quality Act (CEQA) Guidelines.

5. COMMENT AND DISCUSSION

5.a STAFF UPDATES AND AGENDA FORECAST

Receive a brief update from Deputy Community Development Director Tyler Corey.

6. ADJOURNMENT

The next Regular Meeting of the Planning Commission is scheduled for June 26, 2024 at 6:00 p.m. in the Council Chambers at City Hall, 990 Palm Street, San Luis Obispo.

LISTENING ASSISTIVE DEVICES for the hearing impaired--see the Clerk

The City of San Luis Obispo wishes to make all of its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's Office at (805) 781-7114 at least 48 hours before the meeting, if possible. Telecommunications Device for the Deaf (805) 781-7410.

Planning Commission meetings are televised live on Charter Channel 20 and on the City's YouTube Channel: www.youtube.com/CityofSanLuisObispo. Agenda related writings or documents provided to the Planning Commission are available for public inspection on the City's website:

<https://www.slocity.org/government/mayor-and-city-council/agendas-and-minutes>.



Planning Commission Minutes

May 8, 2024, 6:00 p.m.

Council Chambers, 990 Palm Street, San Luis Obispo

Planning Commissioners Present: Commissioner Sheryl Flores, Commissioner Dave Houghton, Commissioner Bob Jorgensen, Commissioner Steve Kahn, Commissioner Eric Tolle, Vice Chair Justin Cooley, Chair Juan Munoz-Morris

City Staff Present: Community Development Director Timmi Tway, Deputy Community Development Director Tyler Corey, Contract Attorney Chelsea O'Sullivan, Megan Wilbanks, Deputy City Clerk

1. CALL TO ORDER

A Regular Meeting of the San Luis Obispo Planning Commission was called to order on May 8, 2024 at 6:00 p.m. in the Council Chambers at City Hall, 990 Palm Street, San Luis Obispo, by Chair Munoz-Morris.

2. OATH OF OFFICE

Deputy City Clerk Megan Wilbanks administered the Oath of Office to Sheryl Flores.

**Chair Munoz-Morris reordered the agenda to move Item 3 after Consent Item 5b.*

4. PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA

Public Comment:

None

--End of Public Comment--

5. CONSENT

5.a CONSIDERATION OF MINUTES - MARCH 13, 2024 PLANNING COMMISSION MINUTES

Motion By Vice Chair Cooley

Second By Commissioner Jorgensen

To approve the Planning Commission Minutes of March 13, 2024.

Ayes (6): Commissioner Houghton, Commissioner Jorgensen, Commissioner Kahn, Commissioner Tolle, Vice Chair Cooley, and Chair Munoz-Morris

Abstained (1): Commissioner Flores

CARRIED (6 to 0)

5.b 1463 BISHOP STREET (GENP-0175-2024) GENERAL PLAN CONFORMITY REPORT FOR THE PURPOSES OF DEVELOPING INTERIM AND SUPPORTIVE HOUSING

Commissioner Flores declared a conflict on this item and recused due to her real property interest that is close to the project site.

Housing Policy & Programs Manager Teresa McClish and Homelessness Response Manager Daisy Wiberg presented the staff report and responded to Commission inquiries.

The Applicant's representative, Linda Belch, Project Manager, provided a brief overview of the project and responded to questions raised.

Chair Munoz-Morris opened the Public Hearing

Public Comment:

- | | |
|-----------------------|----------------------------------|
| Natalie Tartaglia | Stefan Tallee |
| Steve Barash | Homan Kion |
| Christopher Schneider | Deborah Cleere |
| Dan O'Hare | Joe Boud |
| Jessica Goswick | Alyssa |
| Kimmie Nguyen | Grant Robbins |
| Sylvia Drucker | Bob Townsend |
| Linda Belch | <i>--End of Public Comment--</i> |
| Cindy Blum | |

Chair Munoz-Morris closed Public Comment

Motion By Commissioner Jorgensen
Second By Vice Chair Cooley

Adopt the Draft Resolution, which determines that the proposed San Luis Obispo County's action on the subject property to authorize and/or construct public buildings or structures for the purposes of developing interim and supportive housing conforms to the City's General Plan.

“A RESOLUTION OF THE CITY OF SAN LUIS OBISPO PLANNING COMMISSION DETERMINING GENERAL PLAN CONFORMANCE FOR THE GENERAL PLAN CONFORMITY REPORT FOR THE PURPOSES OF DEVELOPING INTERIM AND SUPPORTIVE HOUSING; AS REPRESENTED IN THE STAFF REPORT AND ATTACHMENTS DATED MAY 8, 2024 (1463 BISHOP STREET, GENP-0175-2024)”

Ayes (6): Commissioner Houghton, Commissioner Jorgensen, Commissioner Kahn, Commissioner Tolle, Vice Chair Cooley, and Chair Munoz-Morris

Recused (1): Commissioner Flores

CARRIED (6 to 0)

After a 5-minute break, Commissioner Flores returned to the dais.

3. ELECTION OF CHAIR AND VICE CHAIR

As required by the Planning Commission Bylaws, the Commission elected the following members to serve as Chair and Vice Chair:

Motion By Commissioner Jorgensen

Second By Commissioner Houghton

Elect Commissioner Justin Cooley to the position of Chair for a one-year term.

Ayes (7): Commissioner Flores, Commissioner Houghton, Commissioner Jorgensen, Commissioner Kahn, Commissioner Tolle, Vice Chair Cooley, and Chair Munoz-Morris

CARRIED (7 to 0)

Motion By Commissioner Jorgensen

Second By Vice Chair Cooley

Elect Commissioner Dave Houghton to the position of Vice Chair for a one-year term.

Ayes (7): Commissioner Flores, Commissioner Houghton, Commissioner Jorgensen, Commissioner Kahn, Commissioner Tolle, Vice Chair Cooley, and Chair Munoz-Morris

CARRIED (7 to 0)

6. COMMENT AND DISCUSSION

6.a STAFF UPDATES AND AGENDA FORECAST

Deputy Community Development Director Tyler Corey provided the following update of upcoming projects:

- The May 22, 2024 Planning Commission will be cancelled due to lack of items.
- Tentatively scheduled for the June 12, 2024 meeting, is review of a Use Permit at 1264 Foothill Boulevard and review of proposed amendments to the Zoning Regulations.
- Tentatively scheduled for the June 26, 2024 meeting, is review of the design of a commercial building at 10 Higuera Street and review of an Appeal of the Community Development Director's decision to deny a Homestay Permit at 1137 Peach Street.

7. ADJOURNMENT

The meeting was adjourned at 8:11 p.m. The next Regular Meeting of the Planning Commission is scheduled for June 12, 2024 at 6:00 p.m. in the Council Chambers at City Hall, 990 Palm Street, San Luis Obispo. The Regular Meeting of May 22, 2024 will be cancelled.

APPROVED BY PLANNING COMMISSION: XX/XX/2024

PLANNING COMMISSION AGENDA REPORT

SUBJECT: REQUEST FOR A CONDITIONAL USE PERMIT TO ESTABLISH A FRATERNITY FOR UP TO 24 RESIDENTS, INCLUDING A REQUEST TO PROVIDE TWO (2) PARKING SPACES IN TANDEM ON AN EXISTING DRIVEWAY ALONG EAST FOOTHILL. THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW.

PROJECT ADDRESSES: 1264 and 1264 ½ East Foothill Boulevard; 1241, 1243, 1249, and 1251 Monte Vista Place

FILE NUMBER: USE-0331-2023

BY: Hannah Hanh, Associate Planner
 Phone Number: (805) 781-7432
 Email: hhanh@slocity.org

FROM: Tyler Corey, Deputy Director

RECOMMENDATION

Adopt the Draft Resolution approving the project, based on findings and subject to conditions of approval. The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

SITE DATA

Applicant	Lambda Chi Alpha
Zone	High-Density Residential (R-4)
General Plan Land Use	High Density Residential (HDR)
Site Area	Approximately 0.58 acre
Environmental Determination	Categorically exempt from environmental review under CEQA Guidelines Section 15301 (Existing Facilities)



Figure 1 – Project Site

SUMMARY

Lambda Chi Alpha (Applicant) has applied for a Conditional Use Permit to establish a fraternity for up to 24 residents at 1264 and 1264 ½ East Foothill Boulevard, and 1241, 1243, 1249, and 1251 Monte Vista Place. The site is an approximate 0.58-acre through lot that contains four (4), separate residential buildings with a total of six (6) units and has street access from both East Foothill Boulevard and Monte Vista Place. The project includes a request to allow tandem parking for two (2) spaces on the west driveway along

USE-0331-2023
 Planning Commission Report – June 12, 2024

East Foothill Boulevard. Minor site improvements (e.g., parking area restriping, installation of wheel stops, etc.) would be required to accommodate the fraternity on the property.

1.0 PLANNING COMMISSION’S PURVIEW

The Planning Commission’s role is to review the project for consistency with the [General Plan](#), [Zoning Regulations](#), and applicable City development standards and regulations. Per [Table 2-1](#) (Uses Allowed by Zone), establishment of a fraternity requires approval of a Conditional Use Permit in the R-4 zone.

2.0 PROJECT INFORMATION

2.1 Site Statistics

Present Development and Uses	Developed property with six (6) residential units and site improvements, including access, parking, and landscaping
Topography	Minor upwards slope from East Foothill Boulevard and gradual level towards Monte Vista Place
Access	East Foothill Boulevard; Monte Vista Place
Surrounding Zones and Uses	North: R-4 zone / fraternity/sorority, multi-family residences, Cal Poly SLO South: R-4 zone / multi-family residences East: R-4 zone / fraternity/sorority, multi-family residences West: R-4 zone / multi-family residences

2.2 Prior Fraternity Use

On October 10, 2001, the Planning Commission reviewed and approved a Use Permit (U 86-01) to establish a different fraternity (Phi Delta Theta) at 1264 and 1264 ½ East Foothill Boulevard. Approval of this fraternity was limited to use of the three-bedroom and one-bedroom units, located towards East Foothill Boulevard, for a maximum of four (4) residents. This Use Permit (U 86-01) expired in 2021 due to inactivity.

2.3 Project Description

The Applicant is requesting a Conditional Use Permit to establish a fraternity (Lambda Chi Alpha) for up to 24 residents at 1264 and 1264 ½ East Foothill Boulevard, and 1241, 1243, 1249, and 1251 Monte Vista Place (Attachment B – Project Description, Attachment C – Project Plans). The site contains a total of six (6) units, which consists of a three-bedroom unit and one-bedroom unit on the East Foothill Boulevard side and two (2) duplexes (one- and three-bedroom units) on the Monte Vista side.

3.0 PROJECT ANALYSIS

Approval of a Conditional Use Permit to establish a fraternity is subject to requirements outlined in [Section 17.110.060](#) (Minor Use Permits and Conditional Use Permits – Criteria for Approval), [Section 17.110.070](#) (Minor Use Permits and Conditional Use Permits – Required Findings), and [Section 17.86.130\(B\)](#) (Fraternities and Sororities – Required

USE-0331-2023

Planning Commission Report – June 12, 2024

Findings) for consistency with the General Plan and Zoning Regulations and for compatibility of the proposed fraternity with existing and future land uses in the vicinity. Staff has evaluated the project against applicable policies and standards and found it to be in compliance as discussed in the following analysis.

3.1 Consistency with the General Plan

The project site is located in the High Density Residential (HDR) land use designation, which the [Land Use Element](#) (LUE) describes as primarily intended for attached dwellings (Table 1 – General Plan Land Use Designations). Allowable uses within this land use designation include a range of multi-family dwellings, single-family attached dwellings, and public and quasi-public uses. In addition, LUE Policy 2.6.5 (Fraternities & Sororities) and Housing Element Policy 8.5 (Special Housing Needs) state that fraternities and sororities should be limited to Medium-High and High-Density residential areas near Cal Poly campus if locations on campus cannot be provided.

As proposed, the project would be consistent with the land use designation and preceding policies by establishing a fraternity in a High-Density residential property located within 0.25-mile of the Cal Poly campus.

3.2 Consistency with the Zoning Regulations

The project site is located in the High-Density Residential (R-4) zone, which [Chapter 17.22](#) (R-4 Zone) describes as intended for attached dense housing that would be close to concentrations of employment and college enrollment.

Fraternity Use

Per [Table 2-1](#) (Uses Allowed by Zone), the establishment of a fraternity requires approval of a Conditional Use Permit in the R-4 zone. The standard conditions, detailed in [Section 17.86.130\(A\)](#) (Fraternities and Sororities – Applicability), shall apply as follows:

- Number of Residents – Occupancy shall be limited to not more than one (1) resident per 60 square feet of building area. The landlord shall allow the City to verify occupancy by allowing an inspection of the records or a visual inspection of the premises. Any inspection shall be at a reasonable time and shall be preceded by a 24-hour notice to the residents.

The project site contains four (4), separate buildings (cumulative 5,778 square foot of building area) that provide a total of six (6) units, as described below:

- 1264 East Foothill (Building A; three-bedroom unit): 1,237 square foot
- 1264 ½ East Foothill (Building B; one-bedroom unit): 853 square foot
- 1249 and 1251 Monte Vista (Building C; one- and three-bedroom units): 1,844 square foot duplex
- 1241 and 1243 Monte Vista (Building D; one- and three-bedroom units): 1,844 square foot duplex

As proposed, the fraternity shall be limited to a maximum of 24 residents (approximately 240 square feet per resident) for the property because it is anticipated that each bedroom would provide for two (2) residents. The property owner shall also allow the City to verify occupancy by allowing an inspection of records or visual inspection of the premises at a reasonable time with at least 24-hour notice to the residents (Condition No. 4).

- Routine Gatherings – The maximum number of persons allowed on site for routine meetings and gatherings shall not exceed the limit established by the applicable Conditional Use Permit.

Per Table 4 (Residential Population Assumptions) of the LUE, the HDR land use designation, which corresponds to the R-4 zone, has an average population density of 55 people per acre. The project site is approximately 0.58-acre in size, which results in an average of 32 people (rounded up from 31.9) for the property.

Prior approvals of Conditional Use Permits to establish fraternities/sororities have limited the number of people onsite for routine meetings and gatherings to 1.5 times the number of average population density, which takes into consideration the number of residents, areas inside the buildings, and number of parking spaces available in the vicinity. As such, routine meetings and gatherings for the fraternity shall be limited to a maximum of 48 people (32 people x 1.5). If the fraternity hosts special events involving more than 48 people, a transportation management plan shall be submitted to the Community Development Department, at least 30 days prior to the event taking place, for review and approval (Condition No. 5).

- University Affiliation – The fraternity or sorority shall remain affiliated and in good standing with the Interfraternity Council of Student Life and Leadership at California Polytechnic University, San Luis Obispo. If the fraternity or sorority becomes unaffiliated or no longer held in good standing with California Polytechnic University, the Conditional Use Permit shall be revoked.

For the life of the organization, the fraternity shall remain affiliated and in good standing with the Interfraternity Council of Student Life and Leadership at California Polytechnic University, San Luis Obispo. If the fraternity becomes unaffiliated or is no longer in good standing, the Conditional Use Permit shall be revoked (Condition No. 6).

- Contact Information – The landlord shall provide names and telephone numbers of responsible persons to the Community Development Department and Neighborhood Services Manager of the Police Department on an annual basis. Responsible persons shall be available during all events and at reasonable hours to receive and handle complaints.

For the life of the organization, the fraternity shall provide the name and contact information (i.e., phone number and email address) of all responsible parties to the Community Development Department and Neighborhood Services Manager of the

USE-0331-2023

Planning Commission Report – June 12, 2024

Police Department on an annual basis. If there is a change to the name and/or contact information of any responsible parties, the Community Development Department and Neighborhood Services Manager shall be notified immediately (Condition No. 7).

Parking Requirements

Per [Table 3-4](#) (Parking Requirements by Use), a fraternity is required to provide one (1) space per 1.5 occupants or 1.5 spaces per bedroom, whichever is greater. The project would house a maximum of 24 residents on a property that includes a total of 12 bedrooms. As proposed, the fraternity is required to provide 18 parking spaces based on the greater of the following calculations:

Occupants: one (1) space x (24 / 1.5) occupants = 16 spaces

Bedrooms: 1.5 spaces x 12 bedrooms = 18 spaces

The existing parking layout, specifically the surface spaces accessed via East Foothill and located in tandem to the garages on Monte Vista, does not comply with the City's [Parking and Driveway Standards](#). As such, minor site improvements are conditioned to revise the parking layout and provide 18 spaces that would comply with the City's parking standards (Conditions No. 9, 14, and 15). Key revisions to the parking layout (Attachment C – Sheet T1.1 of Project Plans) are as follows:

- Restripe to facilitate seven (7) surface spaces (labeled as Spaces No. 10 through 16) accessed via East Foothill;
- Remove one (1) garage space in Building B to accommodate the restriped surface spaces;
 - Note – The area adjacent to the parking space within this proposed one-car garage is permitted as storage (Condition No. 13).
- Establish two (2) spaces in tandem on the west driveway along East Foothill;
- Remove six (6) non-compliant diagonal spaces located in tandem to the garages on Monte Vista; and
- Establish four (4) parallel surface spaces (labeled as Spaces No. 1 through 4) adjacent to the landscaping.

As part of the application, tandem parking is requested per [Section 17.72.090\(C\)\(1\)](#) (Tandem Parking – Residential Uses) to provide flexibility for the site and facilitate the project. Two (2) parking spaces (labeled as Spaces No. 17 and 18) are proposed in tandem on the west driveway along East Foothill Boulevard. It is noted that vehicles (in Spaces No. 9 through 17) may enter and exit using the east driveway, even if access is blocked on the west driveway because of a parked vehicle. Therefore, the two (2) tandem spaces would have little to no impact on overall vehicle maneuverability for this side of the property.

4.0 ENVIRONMENTAL REVIEW

The project is exempt from environmental review under Section 15301 (Existing Facilities) of the CEQA Guidelines because it includes the operation, maintenance, permitting, licensing, and minor alteration of an existing residential development. The fraternity would continue the residential use with minor site improvements related to parking (e.g., parking space restriping, installation of wheel stops, etc.). The project does not include construction of a new building or additional building square footage. Therefore, the project involves no expansion of the former residential use.

5.0 OTHER DEPARTMENT / DIVISION REVIEW

The project has been reviewed by the Engineering Division, Building Division, and Fire Department. Any conditions of approval or informational notes from these departments and divisions have been incorporated into the Draft Resolution (Attachment A) for project approval.

6.0 ALTERNATIVES

1. Continue project. An action to continue the item should include a detailed list of additional information or analysis required to make a decision.
2. Deny the project. An action denying the project should include findings that cite the basis for denial and should reference inconsistency with the General Plan, Zoning Regulations, or other policy documents.

7.0 ATTACHMENTS

- A - Draft Resolution (USE-0331-2023)
- B - Project Description
- C - Project Plans

RESOLUTION NO. PC-XXXX-24

A RESOLUTION OF THE CITY OF SAN LUIS OBISPO PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ESTABLISH A FRATERNITY AT 1264 AND 1264 ½ EAST FOOTHILL BOULEVARD AND 1241, 1243, 1249, AND 1251 MONTE VISTA PLACE. THE PROJECT INCLUDES A REQUEST TO PROVIDE TWO (2) PARKING SPACES IN TANDEM ON AN EXISTING DRIVEWAY ALONG EAST FOOTHILL BOULEVARD. THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES AS REPRESENTED IN THE STAFF REPORT AND ATTACHMENTS DATED JUNE 12, 2024 (USE-0331-2023)

WHEREAS, the Planning Commission of the City of San Luis Obispo conducted a public hearing in the Council Chamber of City Hall, 990 Palm Street, on June 12, 2024, for the review of a Conditional Use Permit to establish a fraternity at 1264 and 1264 ½ East Foothill Boulevard and 1241, 1243, 1249, and 1251 Monte Vista Place, pursuant to a proceeding instituted under USE-0331-2023; Lambda Chi Alpha, applicant; and

WHEREAS, the Planning Commission of the City of San Luis Obispo has duly considered all evidence, including recommendations by staff, presented at said hearing; and

WHEREAS, notices of said public hearings were made at the time and in the manner required by law; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Luis Obispo as follows:

SECTION 1. Findings. The Planning Commission hereby grants final approval for the project (USE-0331-2023), based on the following findings:

Conditional Use Permit / Fraternity Use

1. The project is consistent with the General Plan because the proposed fraternity is an allowable use as dense group housing in the High Density Residential (HDR) land use designation. In addition, the project would facilitate Land Use Element Policy 2.6.5 and Housing Element Policy 8.6 by locating a fraternity in proximity to the Cal Poly SLO campus and other student-oriented uses and housing.
2. The proposed fraternity is conditionally allowed within the High-Density Residential (R-4) zone. As conditioned, the project complies with applicable provisions of the Zoning Regulations because (a) the maximum number of 24 residents complies with the group housing maximum occupancy limits and (b) the revised parking configuration would provide 18 required spaces for 24 residents and comply with the City's Parking and Driveway Standards to improve the property.

3. The design, location, size, and operating characteristics of the project will be compatible with the existing and future land uses in the vicinity because the proposed fraternity would (a) be established in proximity to other dense group housing (i.e., other fraternities, sororities, multi-family, etc.), (b) located within walking distance (i.e., less than 0.25-mile) of the Cal Poly campus, and (c) utilize an existing developed property with minor site improvements (i.e., parking and landscaping improvements).
4. The site is physically suitable in terms of (a) its design, location, shape, size, and operating characteristics of the project; (b) traffic generation and the provision of public and emergency vehicle (e.g., fire and medical) access; (c) Public protection services (e.g., fire protection, police protection, etc.); and (d) the provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.). The project is surrounded by other developed properties with compatible dense housing uses, has access to the City's circulation system, and would be served by City utilities. The project utilizes an existing developed property and does not include activities that would generate service or utility demands beyond those anticipated with uses permitted in the vicinity.
5. As conditioned, the project will not be detrimental to the health, safety, and welfare of persons living or working at the site or in the vicinity because conditions have been included that place limits on the number of persons allowed on site, restrict activities, provide adequate parking, and limit potential disturbances to neighboring properties. The project will be compatible with the existing site constraints and the character of the neighborhood.
6. As conditioned, the establishment and subsequent operation or conduct of the project will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use because the project includes conditions that (a) place limits on the number of persons allowed on site, (b) restrict activities, (c) provide adequate parking, and (d) limit potential disturbances to neighboring properties. The project would be compatible with the existing site constraints and the character of the neighborhood.

SECTION 2. Environmental Review. The project is exempt from environmental review under Section 15301 (Existing Facilities) of the CEQA Guidelines because it includes the operation, maintenance, permitting, licensing, and minor alteration of an existing residential development. The fraternity would continue the residential use with minor site improvements related to parking (e.g., parking space restriping, installation of wheel stops, etc.) and landscaping (e.g., pruning, maintenance, etc.). The project does not include construction of a new building or additional building square footage. Therefore, the project involves no expansion of the former residential use.

SECTION 3. Action. The Planning Commission hereby grants final approval to the project with incorporation of the following conditions:

Planning Division – Community Development Department

1. Plans submitted for the building and/or site improvements permit(s) (i.e., parking lot improvements) shall be in substantial conformance with the project description and plans represented in the Staff Report dated June 12, 2024.
2. The Conditional Use Permit shall be reviewed by the Community Development Director for compliance with the conditions of approval, or to determine whether a modification of the Conditional Use Permit is necessary upon significant change to the project as represented in the Staff Report dated June 12, 2024, or in the event of a change in ownership which may result in deviation from the project description or approved plans.
3. The Conditional Use Permit shall be reviewed by the Planning Commission if the City receives substantiated written complaints from any citizen, Code Enforcement Officer, Fire Department or Police Department employee, which contains information and/or evidence supporting a conclusion that a violation of this Conditional Use Permit, or of City Ordinances, regulations, or Police Department resources (e.g., calls for service) applicable to the fraternity use has occurred. At the time of the Conditional Use Permit review, to ensure ongoing compatibility with nearby uses, the conditions of approval may be added, modified, and/or removed, or the Conditional Use Permit may be revoked.
4. The fraternity shall be limited to a maximum of 24 residents for the property. The property owner shall allow the City to verify the maximum occupancy by allowing an inspection of records or visual inspection of the premises. Any inspection shall be scheduled at a reasonable time with at least 24-hour notice to the residents.
5. Routine meetings and gatherings for the fraternity shall be limited to a maximum of 48 people (32 people x 1.5), except as otherwise approved by the Community Development Director for special events. If the fraternity hosts special events involving more than 48 people, a transportation management plan to reduce impacts to the surrounding neighborhood shall be submitted to the Community Development Department, at least 30 days prior to the event taking place, for review and approval.
6. For the life of the organization, the fraternity shall remain affiliated and in good standing with the Interfraternity Council of Student Life and Leadership at California Polytechnic University, San Luis Obispo. If the fraternity becomes unaffiliated or is no longer in good standing, the Conditional Use Permit shall be revoked.

7. For the life of the organization, the fraternity shall provide the name and contact information (i.e., phone number and email address) of all responsible parties to the Community Development Department and Neighborhood Services Manager of the Police Department on an annual basis. If there is a change to the name and/or contact information of any responsible parties, the Community Development Department and Neighborhood Services Manager shall be notified immediately.
8. For the life of the organization, the property shall be maintained in a clean and orderly manner. All landscaping shall be maintained (e.g., trimmed, pruned, replaced as needed, etc.) to the satisfaction of the Community Development Director.
9. A site improvement permit is required for parking area improvements to create a minimum of 18 parking spaces that comply with the City's Parking and Driveway Standards (i.e., parking space and driveway dimensions, aisle widths, striping, wheel stops, etc.). These parking spaces shall be inspected to verify compliance with City standards prior to establishing the fraternity.
10. Bicycle parking spaces shall be provided as required per Table 3-6 (Required Bicycle Parking) of the Zoning Regulations. For a total of 24 beds for the fraternity, the property owner and residents shall maintain a minimum of 18 long-term bicycle spaces and a minimum of six (6) short-term bicycle spaces. All required long-term bicycle parking shall be provided in an interior space, and required short-term bicycle spaces shall be consistent with the City Active Transportation Plan Design Guidelines and feature "hi-low style" campus racks (such as "Peak Racks"). These bicycle spaces shall be inspected to verify compliance with City standards prior to establishing the fraternity, to the satisfaction of the Public Works and Community Development Directors.
11. A minimum of 18 parking spaces shall be provided and maintained at all times. These spaces shall remain available to residents of the fraternity and not designated for any individuals not residing on the property.
12. A building permit is required for proposed signage identifying the fraternity house. Any signage must be consistent with Chapter 15.40 (Sign Regulations) of the Municipal Code and compatible with the existing neighborhood to the satisfaction of the Community Development Director.
13. As part of the parking area improvements, the existing two-car garage for 1264 ½ East Foothill (labeled as Building B on the project plans) shall be a one-car garage in order to accommodate the revised surface parking layout. The area adjacent to the parking space within the proposed one-car garage is permitted as storage. Further review shall be required if any improvements (e.g., change in use and/or new construction) are proposed for this area.

Engineering Division – Community Development / Public Works Departments

14. A building permit and/or site improvements permit is required for the proposed changes to establish the required parking spaces. Plans submitted for review shall show and note compliance with the City’s Parking and Driveway Standards. The plans shall show required dimensions and information for parking space, bay, aisle widths, striping, parallel space markings (i.e., T’s and L’s), and any existing or proposed wheel stops.
15. Plans submitted for review shall show and reference the floor plans for the existing garages to remain. The existing two-car garage proposed to accommodate only one car shall be included and noted on the plans. The plans shall clarify that garage door operation will not be affected by the proposed adjacent surface parking space. The plans shall clarify that the remaining garage space is to remain as garage storage/shop.

Indemnification

16. The applicant shall defend, indemnify, and hold harmless the City and/or its agents, officers and employees from any claim, action or proceeding against the City and/or its agents, officers, or employees to attack, set aside, void or annul, the approval by the City of this project, and all actions relating thereto, including but not limited to environmental review (“Indemnified Claims”). The City shall promptly notify the applicant of any Indemnified Claim upon being presented with the Indemnified Claim and the City shall fully cooperate in the defense against an Indemnified Claim.

On motion by _____, seconded by _____, and on the following roll call vote:

AYES:
NOES:
RECUSED:
ABSENT:

The foregoing resolution was passed and adopted this 12th day of June 2024.

Tyler Corey, Secretary
Planning Commission

Lambda Chi Alpha - Phi Sigma Zeta

1264 East Foothill Blvd.

San Luis Obispo, CA 93405

1 (925) 785-5278

Conditional Use Permit

1st June 2024

General Property Information

Zoning: R-4

Total Square Footage: 4,100 sqft (4 Units)

Attached are CAD drawings for the property with all the relevant measurements. Please note that the drawings are times 2 given that the duplexes are mirrors of each other.

Parking Spaces: 19 total (6 front, 7 back, 6 garage)

Description of Use

The PSZ House Corporation acquired 1264 East Foothill Blvd. in March of 2022. PSZ House Corporation is a non-profit, tax-exempt corporation, recognized by the IRS as a 501(c)(3) charitable foundation. Its mission is to provide safe, clean, affordable student housing near the Cal Poly campus. They have owned student housing properties in the City of San Luis Obispo since 1980, the most recent at 1292 East Foothill Blvd. and just two parcels up from 1264 East Foothill Blvd. Lambda Chi Alpha – Phi Sigma Zeta resided at that property with a Conditional Use Permit with the City from 1998 to 2021 prior to the property being sold.

Since the acquisition of 1264 East Foothill in March of 2022, PSZ House Corporation has renovated all four structures on the property, encompassing many areas, including but not limited to electrical upgrades, new roofing, plumbing enhancements, structural reinforcement, and new flooring throughout. Furthermore, the property has undergone extensive remodeling of six full kitchens and six full bathrooms and further upgrades to all appliances in each dwelling. After completing these renovations, the property's resident capacity is 24 tenants comfortably spread across 12 bedrooms on the over half-acre parcel. These renovations were conducted to bring the property up to code and provide all residents with safe, suitable, and comfortable living conditions.

1264 East Foothill is also ideal from a parking perspective with 18 spaces total, nine outside spaces at the front of the property, four outside spaces in the back, and five garage spaces spread throughout the property. Given the well-known parking challenges for student housing projects along East Foothill Blvd., granting Lambda Chi Alpha a Conditional Use Permit will not further burden the neighborhood. In regards to noise, the structures of this property are far taller than our last property which will help tremendously with keeping noise down and not unnecessarily disturbing the neighborhood.

Until March of 2022, the 1264 East Foothill property was owned by a Private Family Trust and was leased to Cal Poly's Alpha Omicron Pi sorority for decades. During this time Alpha Omicron Pi held a Conditional Use Permit to operate as a fraternal organization with the City of San Luis Obispo. This property is surrounded by student and Greek-life housing with the Alpha Phi sorority next door. This specific area, steps from the Cal Poly campus, provides an ideal location for student housing with many Greek organizations that have Conditional Use Permits with the City. There is a sense of community for the students, promoting both community involvement and academic success.

Since the expiration of our last Conditional Use Permit at 1292 East Foothill, the members of Lambda Chi Alpha have resided in 12-14 satellite properties in the neighborhood around Cal Poly's campus. A Conditional Use Permit for Lambda Chi Alpha at 1264 East Foothill helps to

concentrate fraternity activities in one primary location with living and outdoor spaces, unlike the typical single-family home rental properties.

In summary, we propose the dedication of 1264 East Foothill Blvd. as a registered and permitted fraternity house that will provide a centralized, safe, and affordable base of operations for Lambda Chi Alpha and its members. With our chapter's financial strength coupled with the financial standing of PSZ House Corporation, we are more than confident in our ability to enhance not only the property's value but also the positive impact of the Chapter on the surrounding community.

Description of Property

While the Conditional Use Permit will be filed under the address 1264 East Foothill Blvd, there are in fact 4 different structures on the property with different addresses. All of them will be housing members of Lambda Chi Alpha - Phi Sigma Zeta. The structures consist of two duplexes, a single-bedroom side unit, and a three-bedroom unit at the front of the property. The addresses associated with the other structures are as follows: 1251 Monte Vista Pl., 1249 Monte Vista Pl., 1241 Monte Vista Pl., and 1243 Monte Vista Pl. Each duplex consists of three upstairs bedrooms (two singles and a double) and one downstairs double. The side unit will have one bedroom housing two residents and the front unit will have two singles and one double. This brings the total living space to 18 residents spread across 12 bedrooms on the property.

Tentative Social Calendar

- October 15, 2024: Fall Rush House Tour
 - Afternoon/evening
 - 100 people
 - Indoors/Outdoors
- December 3, 2024: Fall Quarter Philanthropy
 - Afternoon/evening
 - 100 attendees
 - Outdoor
- January 18, 2025: Winter Rush House Tour
 - Afternoon/evening
 - 100 attendees
 - Indoors/Outdoors

Point of Contact

- Thomas Symer
 - (301) 529 - 4694
 - slolca.alpha@gmail.com

Calgreen Mandatory Measures

- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORMWATER DURING CONSTRUCTION, WHERE STORM WATERS ARE CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, OUTLET OR FINAL DISPOSAL METHOD. WATER SHALL BE FILTERED BY USE OF A BARBER SYSTEM, FILTER OR OTHER METHOD APPROVED BY THE ENGINEERING AGENCY. CALGREEN 4.36.2.2 WATER CONSERVING PLUMBING FIXTURES AND FIXTURES SHALL BE INSTALLED AND SHALL COMPLY WITH THE PLUMBING FIXTURE AND FIXTURE SCHEDULE FOR THIS SHEET, CALGREEN 4.36.3.1. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH APPROPRIATE WATER CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMITS APPROVAL BY THE LOCAL BUILDING DEPARTMENT. (CALGREEN 4.36.3.1)
- NONCOMPLIANT PLUMBING FIXTURES MEANS ANY OF THE FOLLOWING CALIFORNIA PLUMBING CODE, 1919.30(C):
 - ANY TOILET MANUFACTURED TO USE MORE THAN 2.0 GALLONS OF WATER PER FLUSH.
 - ANY URINAL MANUFACTURED TO USE MORE THAN ONE GALLON OF WATER PER FLUSH.
 - ANY SHOWERHEAD MANUFACTURED TO HAVE A FLOW CAPACITY OF MORE THAN 2.0 GALLONS OF WATER PER MINUTE.
 - ANY INTERIOR FAUCET THAT INTAKES MORE THAN 2.2 GALLONS OF WATER PER MINUTE.
- AUTOMATIC BACKFLOW PREVENTION CONTROLS FOR WASTEWATER PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER-ORIENTED, INTERMEDIATE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST INFORMATION RESPONSE TO CHANGE IN WATER VAPOR PRESSURE AS A RESULT OF SOIL, CONCRETE, OR OTHER CHANGE.
 - WEATHER-BASED CONTROLLERS OR WEATHER-ORIENTED, INTERMEDIATE-BASED CONTROLLERS THAT ACCOUNT FOR BAROMETER SHALL HAVE A SEPARATE WEATHER OR WEATHER-SENSITIVE CONTACT OR CONNECTION WITH THE CONTROLLER. (CALGREEN 4.36.4)
 - ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OBSTACLES SOLUTION PLATES AT EXTERIOR WALLS SHALL BE COVERED WITH GRANT MORTAR, CONCRETE, MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENGINEERING AGENCY TO PREVENT PASSAGE OF RODENTS. (CALGREEN 4.36.5)
 - RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH OTHER SECTION 4.40.0.2, 4.40.0.3 OR 4.40.0.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. (CALGREEN 4.40.1)
 - DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION PER CALGREEN 4.54.1.
 - ADJACENT SEALANTS AND CALKES SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER CALGREEN 4.54.0.2.1.
 - PAINTS, STAINES AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN 4.54.0.2.2.
 - ADHESIVE, PUTTIES AND COMINGS SHALL BE COMPLIANT WITH PRODUCT VAPOR MITIGATION LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS PER CALGREEN 4.54.0.2.3.
 - DOCKWATER TANKS SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMITS IN THESE MATERIALS HAVE BEEN USED PER CALGREEN 4.54.0.2.4.
 - DRYFIT AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN 4.54.0.2.
 - HEALTH AND PERCENT OF COLORADO ROCKING SUBSISTENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLORADO RULE FOR HIGH PERFORMANCE CAROLIS CARPETS (LIMITING MATERIALS LIST OR BE OBTAINED UNDER THE RESIDENT FLOOR COVERING MATERIALS OF FLOOR COVERING PRODUCT PER CALGREEN 4.54.0.2).
 - PARTICULARS, MEDIUM FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR OR EXTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS PER CALGREEN 4.54.0.2.
 - WAPTS (WATER AND CARBON) BREAK OF 4" THICK BASE OF 3/4" OR GREATER CLEAR AGGREGATE SHALL BE INSTALLED AT SLAB ON GRADE FOUNDATIONS PER CALGREEN 4.56.0.2.
 - MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE PER CALGREEN 4.56.0.3.
 - BATHROOM EXHAUST FANS SHALL BE DUCTED TO TERMINATE OUTSIDE AND BE PROVIDED IN EVERY BATHROOM PER CALGREEN 4.56.0.1.
 - WHILE HOUSE EXHAUST FANS SHALL HAVE INSULATED COVERS OR OTHERS WHICH CLOSE WHEN THE FANS OFF, COVERS OR COVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2 PER CALGREEN 4.56.0.1.
 - PER CALGREEN 4.56.0.1, SYSTEMS ARE SEED, DESIGNED, AND COMPLETED USING THE FOLLOWING METHODS:
 - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT.
 - SEE SUSTAINABLE DESIGN TO ACCA 26-5 MANUAL BY OR EQUIVALENT.
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 26-5 MANUAL S BUILDING EQUIPMENT.
 - OPERATION + MAINTENANCE MANUAL TO BE SUPPLIED AT FINAL INSPECTION.
 - MANAGE STORMWATER PER CALGREEN CODE REQUIREMENTS, 1919.2.

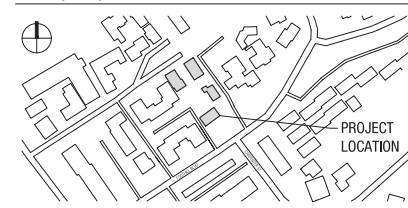
Project Notes

- ALL WORK SHALL BE IN CONFORMANCE WITH THE 2019 EDITIONS OF THE CALIFORNIA BUILDING CODES BASED ON THE 2018 IBC, 2018 IRC, 2018 ME & P, 2018 LFC & 2019 EDITION OF THE CALIFORNIA ELECTRICAL CODE BASED ON THE 2017 NEC, THE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA ENERGY STANDARDS AS ADOPTED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION AND THE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE.
- ANY/ALL DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE ARCHITECT AND/OR PROJECT ENGINEER PRIOR TO SUBMISSION TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
- ALL WORK LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE JURISDICTION OF THE UTILITIES AND PUBLIC WORKS DEPARTMENTS SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE ENGINEERING STANDARDS AND STANDARD SPECIFICATIONS, THE CURRENT ADOPTED STANDARDS ARE DATED MAY 2016.
- A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EASEMENTS FOR CONNECTIONS TO PUBLIC UTILITIES. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO CONNECTIONS, UTILITIES, WATER, SEWER, AND FIRE SERVICE LATERALS, CURB, OUTLET, AND SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK UNDERDRAINS, STORM DRAIN IMPROVEMENTS, STREET TREE REMOVAL OR PRUNING, CURB RAMP, STREET PAVING, AND PROVISION OF PROTECTION FOR CONSTRUCTION STAGING IN THE RIGHT-OF-WAY.
- THE PUBLIC IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETE TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR PRIOR TO PUBLIC INSPECTION APPROVALS AND/OR OCCUPANCY OF ANY BUILDING.
- ANY STRUCTURE OF DAMAGED OR REPLACED CURB, OUTLET AND SIDEWALK OR DRIVEWAY APPROACH SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.
- CONTACT THE PUBLIC WORKS DEPARTMENT HOTLINE AT 805.781.7354 WITH AT LEAST A 48 HOUR NOTICE FOR ANY REQUIRED ENCROACHMENT PERMIT REQUEST BY OR FINAL INSPECTION.
- A TRAFFIC AND PEDESTRIAN CONTROL PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ENCROACHMENT PERMIT ISSUANCE.
- THE ADJACENT STREET SHALL BE CLOSED BY SWERING TO REMOVE CURB, DUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION AND GROUND DISTURBING ACTIVITIES PER THE CITY OF SAN LUIS OBISPO.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN PERMANENT IMPROVEMENTS, PLANTINGS AND FACILITIES ARE IN PLACE. TEMPORARY EROSION CONTROL SHALL BE REMOVED PRIOR TO FINAL INSPECTION APPROVALS.
- THE EXISTING SIDEWALK SHALL BE TIELED AND APPROVED FOR REUSE OR SHALL BE REHABILITATED. THE REHABILITATION SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ALL EXISTING SERVICES EXCEPT FOR HORIZONTAL TO ONE HORIZONTAL AND VERTICAL AND AREAS USED TO CONVEY CONCENTRATED DRAINAGE SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION BY EFFECTIVE PLANTING TO BE COMPLETED NO LATER THAN 30 DAYS PRIOR TO A REQUEST FOR FINAL INSPECTION APPROVAL.
- WORKING PRE-1976 STRUCTURES WITHOUT UNIFORM LOAD SAFE WORK PRACTICES AS A VIOLATION OF CALIFORNIA HEALTH AND SAFETY CODE SECTION 102556, CONTRACTORS, REMOVALS AND PAINTERS ARE REQUIRED TO USE "CLASS-SAFE" WORK PRACTICES PURSUANT TO TITLE 17, CA CODE OF REGULATIONS SECTION 90600.
- PRIOR TO ANY DEMOLITION OR GRADING THE CONTRACTOR SHALL PROTECT ANY TREES ADJACENT TO THE WORK ZONE.
- THE MANDATORY PROVISIONS OF CALGREEN CHAPTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS WHERE THE ADDITION OR ALTERATION INCREASES THE BUILDING'S CONSIDERED AREA, VOLUME, OR USE. THE REQUIREMENTS SHALL APPLY ONLY TO ADDITIONS WITHIN THE SETBACK AREA OF THE ADDITION OR ALTERATION. CALGREEN 301.1.1.
- ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENTS ARE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMITS APPROVAL BY THE LOCAL BUILDING DEPARTMENT. CALGREEN 301.1.1.
- APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER ORDINANCE OR LAW, CEB 100.4.

Project Directory

OWNER	PSZ HOUSE CORPORATION 1244 Foothill Blvd, Suite 105 Carlsbad, CA 92008 CONTACT: 408.800.4704	BUILDER	TRIGANO CONSTRUCTION INC. P.O. BOX 15629 SAN LUIS OBISPO, CA 94066 CONTACT: 805.322.4411
DESIGNER	TRIGANO CONSTRUCTION INC. P.O. BOX 15629 SAN LUIS OBISPO, CA 94066 CONTACT: 805.322.4411	ENERGY	N/A

Vicinity Map



Drawing Log

SET	ISSUE DATE	REVISION
SUBMITTAL TO THE CITY OF SAN LUIS OBISPO	22-1013	

Applicable Governing Codes:

2019 CALIFORNIA BUILDING CODE VOLUMES 1-4 (BASED ON 2018 IBC)	2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA ELECTRIC CODE (2018 NEC)	2019 CALIFORNIA FIRE CODE (2018 IFC)
2019 CALIFORNIA MECHANICAL CODE (2018 IMC)	2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA PLUMBING CODE (2018 UPC)	2019 CALIFORNIA RESIDENTIAL CODE

CITY OF SAN LUIS OBISPO MUNICIPAL CODE

Sheet Index

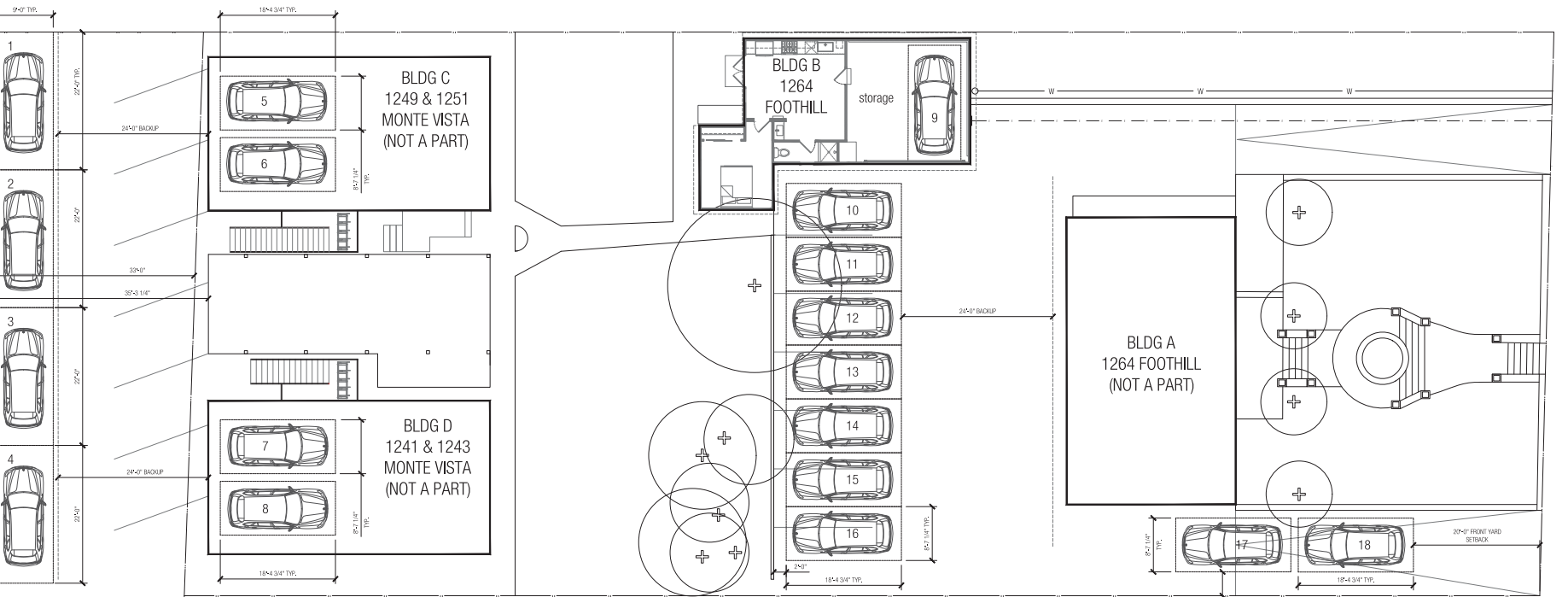
ARCHITECTURAL	STRUCTURAL
T1.1 INDEX, DATA + NOTES, EXISTING ARCHITECTURAL SITE PLAN	S1 INDEX, DATA + NOTES, EXISTING ARCHITECTURAL SITE PLAN
T1.2 CALGREEN MANDATORY MEASURES	S2 CALGREEN MANDATORY MEASURES
T1.3 CALGREEN MANDATORY MEASURES	S3 CALGREEN MANDATORY MEASURES
A2.1 10 FLOOR PLAN, DEMO PLAN	DENR1 ENERGY COMPLIANCE FORMS
A2.2 AN FLOOR PLAN, ELECTRICAL/MECHANICAL PLAN	T2.4.2 MANDATORY MEASURES
A3.1 EXTERIOR ELEVATIONS	
A3.2 PROPOSED INTERIOR ELEVATIONS	
A4.1 ARCHITECTURAL DETAILS	

Project Data

DESCRIPTION	INTERIOR RENOVATION TO A SINGLE FAMILY RESIDENCE.		
SEE INFORMATION			
ZONING	CITY OF SAN LUIS OBISPO (P-4)		
APN	052-071-400		
STREET ADDRESS	1264 FOOTHILL BLVD (19.50 SQ)		
GROSS LOT SIZE			
BUILDING INFORMATION			
NUMBER OF STORES	SINGLE STORY		
OCCUPANCY	RESIDENTIAL		
CONSTRUCTION TYPE	TYPE 0 (UNREINFORCED)		
FIRE SPRINKLERS	NO SPRINKLERS SHALL NOT BE INSTALLED		
ROOF RAISING	CLASS 0 (NO RAISE)		
HAZARDOUS	PROPERTY IS NOT LOCATED WITHIN A HIGH RISK AREA NOR A FLOOD PLAIN AREA		
MAXIMUM HEIGHT	30 FEET ALLOWED		
BUILDING AREA	EXISTING	ADDITIONAL	TOTAL
	1,237	0	1,237
BLDG A REFERENCE (NOT A PART)	853	0	853
BLDG B REFERENCE (NOT A PART)	1,844	0	1,844
BLDG C REFERENCE (NOT A PART)	1,844	0	1,844
TOTAL	5,778 SF	0 SF	5,778 SF

Deferred Submittals / Separate Permits

- A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EASEMENTS FOR CONNECTIONS TO PUBLIC UTILITIES. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, WATER, SEWER, FIRE SERVICE LATERALS, CURB, OUTLET, AND SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK UNDERDRAINS, STORM DRAIN IMPROVEMENTS, STREET TREE REMOVAL OR PRUNING, CURB RAMP, STREET PAVING, AND PROVISION OF PROTECTION FOR CONSTRUCTION STAGING IN THE RIGHT-OF-WAY.



Existing Architectural Site Plan / Proposed Parking Plan

project:
Interior Renovation
1264 Foothill Blvd, Suite 105
Carlsbad, CA 92008

applicant / owner:
PSZ House Corporation
1244 Foothill Blvd, Suite 105
Carlsbad, CA 92008

revision:

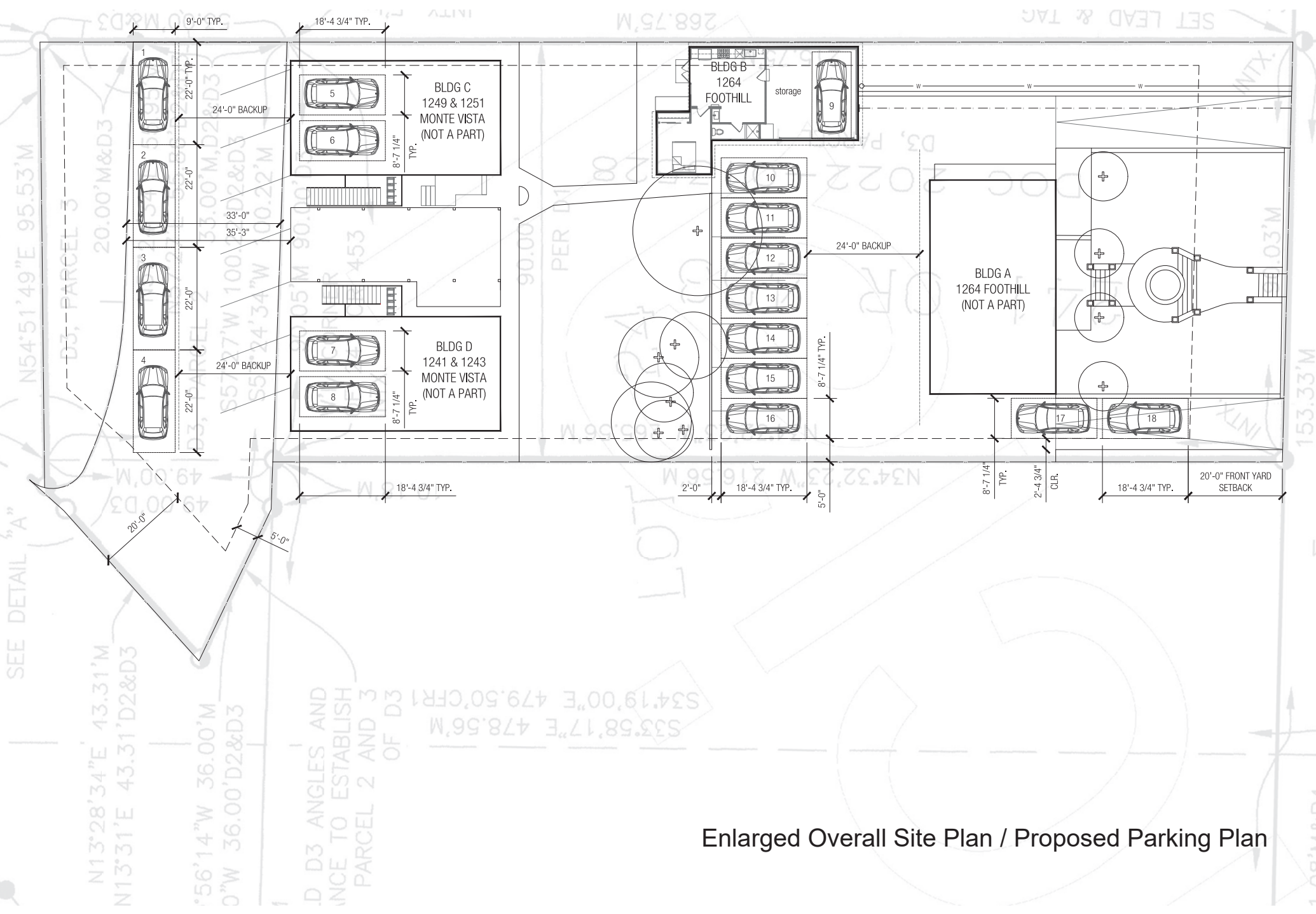
NO.	DATE	BY	CHKD BY
1	10/13/22	TR	TR
2	10/13/22	TR	TR
3	10/13/22	TR	TR

legal staff:
The use of a seal (S) and registration number (R) on the seal is the responsibility of the user. The seal is not valid unless the user is a registered professional engineer, architect, or landscape architect in the State of California. The seal is not valid unless the user is a registered professional engineer, architect, or landscape architect in the State of California. The seal is not valid unless the user is a registered professional engineer, architect, or landscape architect in the State of California.

sheet data:
DATE: 10/13/22
CAD FILE: C:\A
DRAWN BY: TR
DATE: 10/13/22

sheet title:
Site Plan

sheet:
T1.1



Enlarged Overall Site Plan / Proposed Parking Plan

Calgreen Mandatory Measures

1. PROJECTS WHICH EXCEED LESS THAN ONE ACRE OF SITE SHALL MANAGE STORMWATER DURING CONSTRUCTION, WHERE STORM WATER IS CONTROLLED BY A PERMEABLE SURFACE SYSTEM, COLLECTION POINT, OUTLET OR FINAL DISPOSAL METHOD. WATER SHALL BE RE-USED BY USE OF A BARBER SYSTEM, WATER OR OTHER METHOD APPROVED BY THE ENGINEERING AGENCY. CALGREEN 4.05.02.2
2. WATER CONSERVING PLUMBING FIXTURES AND FITTINGS SHALL BE RE-INSTALLED AND SHALL COMPLY WITH THE CALGREEN FUTURE AND FITTINGS CONSERVE WATER. CALGREEN 4.05.03.1. ALL NON-COMPLIANT PLUMBING FIXTURES SHALL BE RE-INSTALLED WITH APPROPRIATE WATER CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION. CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY A LOCAL BUILDING DEPARTMENT. (CALGREEN 4.05.03.1)
3. NON-COMPLIANT PLUMBING FIXTURES MANAGE WAY OF THE FOLLOWING CALGREEN CODE, 1101.20(2):
 - (1) ANY TOILET MANUFACTURED TO USE MORE THAN 3.5 GALLONS OF WATER PER FLUSH;
 - (2) ANY URINAL MANUFACTURED TO USE MORE THAN ONE GALLON OF WATER PER FLUSH;
 - (3) ANY SHOWERHEAD MANUFACTURED TO HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE;
 - (4) ANY BATH TUB MANUFACTURED TO HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE;
 - (5) ANY BATH TUB MANUFACTURED TO HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE;
 - (6) ANY BATH TUB MANUFACTURED TO HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE;
4. AUTOMATIC IRRIGATION SYSTEM CONTROLS SHALL BE PROVIDED BY THE OWNER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 1. IRRIGATION SHALL BE DESIGN OR USE THE IRRIGATION CONTROLS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT WATER NEEDS AS WEATHER OR SOIL CONDITIONS CHANGE.
 2. IRRIGATION CONTROLS SHALL BE INSTALLED WITH SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR RAINFALL. SHALL HAVE A SEPARATE WIRE OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). CALGREEN 4.05.04.1
 3. IRRIGATION SPACES BEHIND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLEBOLT PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENGINEERING AGENCY TO PREVENT PESTS OR RODENTS. CALGREEN 4.05.04.1
 4. RECYCLE AND/OR SAVAGE FOR REUSE A MINIMUM OF 60% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALGREEN CODE 4.05.04.2.4 AND 4.05.04.2.5. REUSE A WASTE STREAMS OF LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. CALGREEN 4.05.04.1
 5. DIRT SPILLS AND OTHER RELATED IMPROPER WASTE MANAGEMENT PRACTICES SHALL BE CORRECTED DURING CONSTRUCTION PER CALGREEN 4.05.04.1
 6. ADHESIVES, SEALANTS AND GULCHES SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUNDS PER CALGREEN 4.05.04.2.1
 7. PAINTS, STAINING AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN 4.05.04.2.2
 8. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIXTURES FOR VOC AND OTHER TOXIC COMPOUNDS PER CALGREEN 4.05.04.2.3
 9. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMITS MATERIALS HAVE BEEN USED PER CALGREEN 4.05.04.2.4
 10. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN 4.05.04.1
 11. HEAVY OR PRESENT FLOOR AREA PROVIDED WITH FLOORING SHALL COMPLY WITH THE VOC IMPROVEMENT DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE BUILDINGS (CHPB) LOW-VOC MATERIALS LIST BE OBTAINED UNDER THE RESIDENT FLOOR COVERINGS AND FLOOR FINISHES PROGRAM PER CALGREEN 4.05.04.1
 12. PAVEMENT, MEDIUM FIBERBOARD AND AND HARDWOOD PLYWOOD USED IN INTERIOR OR EXTERIOR FINISH SYSTEMS SHALL COMPLY WITH VOC LIMITS PER CALGREEN 4.05.04.1
 13. VAPOR BARRIER AND CHALKBOARD SHALL BE 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE INSTALLED AT SLAB ON GRADE FOUNDATIONS PER CALGREEN 4.05.04.1
 14. VAPOR BARRIER AND CHALKBOARD SHALL BE 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE INSTALLED AT SLAB ON GRADE FOUNDATIONS PER CALGREEN 4.05.04.1
 15. VAPOR BARRIER AND CHALKBOARD SHALL BE 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE INSTALLED AT SLAB ON GRADE FOUNDATIONS PER CALGREEN 4.05.04.1
 16. VAPOR BARRIER AND CHALKBOARD SHALL BE 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE INSTALLED AT SLAB ON GRADE FOUNDATIONS PER CALGREEN 4.05.04.1
 17. WHILE HOUSE EXHAUST FANS SHALL BE INSTALLED EXHAUST OR COVERS WHEN THE FAN IS OFF. COVERS OR COUPLERS SHALL HAVE A MINIMUM RATED AIR FLOW OF 1.4 CFM PER GREEN SDC'S
 18. PER CALGREEN 4.05.04.2 OUT SYSTEMS ARE TESTED, RESEAL, AND EQUIPMENT IS SELECTED FROM THE FOLLOWING METHODS:
 1. USE HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ACCA MANUAL S, 3.0 REDESIGN BUILD.
 2. SELECT SYSTEMS ACCORDING TO ACCA MANUAL S, 3.0 EQUIPMENT.
 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA MANUAL S, 3.0 EQUIPMENT.
 19. OPERATIONAL MAINTENANCE MANUAL TO BE SUPPLIED TO THE INSPECTOR.
 20. MANAGE STORMWATER PER CALGREEN CODE REQUIREMENTS, 4.05.02

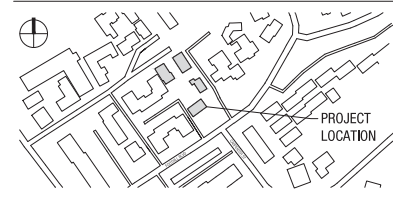
Project Notes

1. ALL WORK SHALL BE IN COMPLIANCE WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODES BASED ON THE 2018 IRC, 2019 IBC, 2019 UBC & 2019 UPC, THE 2019 EDITION OF THE CALIFORNIA ELECTRICAL CODE BASED ON THE 2017 NEC, THE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION AND THE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE.
2. ALL VULNERABLE COMPONENTS SHALL BE REVIEWED BY THE ARCHITECT AND/OR PROJECT ENGINEER PRIOR TO SUBMISSION TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
3. ALL WORK LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE JURISDICTION OF THE UTILITIES AND PUBLIC WORKS DEPARTMENTS SHALL COMPLY WITH THE MOST CURRENT EDITIONS OF THE ENGINEERING STANDARDS AND STANDARD SPECIFICATIONS. THE CURRENT ADOPTED STANDARDS ARE DATED MAY 2016.
4. A SEPARATE ENVIRONMENTAL PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EXISTING FOR CONNECTION TO EXISTING UTILITIES. WORK REQUIREMENTS AND ENVIRONMENTAL PERMIT INCLUDES BUT IS NOT LIMITED TO CONDUITS, UTILITIES, WATER, SEWER, AND THE SERVICE LATERALS, CURB, GUTTER, AND SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK, INTERSECTIONS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB MARKS, STREET PAVING, AND PROTECTION PROTECTION OR CONSTRUCTION STAKING IN THE RIGHT-OF-WAY.
5. THE PUBLIC IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETE TO THE SATISFACTION OF THE PUBLIC WORKS DEPARTMENT PRIOR TO FINAL INSPECTION APPROVAL AND OCCUPANCY OF ANY BUILDING.
6. ANY SECTIONS OF DAMAGED OR DEGRADED CURB, GUTTER AND SIDEWALK OR DRIVEWAY APPROACH SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE PUBLIC WORKS DEPARTMENT.
7. CONTACT THE PUBLIC WORKS INSPECTION HOTLINE AT 805.767.7354 WITH AT LEAST 48-HOUR NOTICE FOR ANY REQUIRED ENVIRONMENTAL PERMIT INSPECTION OR FINAL INSPECTION.
8. A TRAFFIC AND RESTRICTION CONTROL PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ENVIRONMENTAL PERMIT ISSUANCE.
9. THE ADJOINING STREET SHALL BE CLEARED BY SAWED TO REMOVE DIRT, DUST, AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY.
10. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION AND GROUND RESTORATION ACTIVITIES FOR THE CITY OF SAN LUIS OBISPO.
11. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AND PERMANENT IMPROVEMENTS, PLANTINGS AND FACILITIES ARE IN PLACE. TEMPORARY MEASURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION APPROVALS.
12. THE EXISTING STREET LATERAL SHALL BE TESTED AND APPROVED FOR REUSE OR SHALL BE REPAIRED/REPLACED. THE INSPECTION SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT.
13. ALL EXISTING CONCRETE SLABS FOR FOUNDATION, TO ONE FOOTING, AND GRAVEL AND AREA USED TO CONVEY CONCENTRATED LOADS SHALL BE REPAIRED AND MAINTAINED TO CONTROL EROSION BY EFFECTIVE PLANTING TO BE COMPLETED NO LATER THAN 30 DAYS PRIOR TO A REQUEST FOR FINAL INSPECTION APPROVAL.
14. FOUNDATION REPAIRS OR STRUCTURES WITHOUT FOUNDATION WORK PRACTICES A MINIMUM OF CALIFORNIA HEALTH AND SAFETY CODE SECTION 18500. CONTRACTORS, REMEDIATORS AND PAINTERS ARE REQUIRED TO USE "LEAD-SAFE" WORK PRACTICES PURSUANT TO TITLE 15, CODE OF REGULATIONS SECTION 50000.
15. PRIOR TO ANY DEMOLITION OR GRADING THE CONTRACTOR SHALL PROTECT ANY TREES ADJACENT TO THE WORK ZONE.
16. THE MANDATORY PROVISIONS OF CALGREEN CHAPTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS UNDER THE ADDITION OR ALTERATION PROVISIONS FOR BUILDINGS COMPLETED AREA, VOLUME, OR USE. THE REQUIREMENTS SHALL APPLY ONLY TO ADDITION WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION. CALGREEN 2019.3
17. ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. CALGREEN 2019.3.1
18. APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER ORDINANCE OF LAW, CODE 105.4

Project Directory

OWNER	PS2 HOUSE CORPORATION 1947 CAMINO VIDA ROBLE, SUITE 105 CARLSBAD, CA 92008 CONTACT: 408.690.4704	BUILDER	THEJARD CONSTRUCTION, INC. PO BOX 15589 SAN LUIS OBISPO, CA 95066 CONTACT: 805.322.4411
DESIGNER	THEJARD CONSTRUCTION, INC. PO BOX 15589 SAN LUIS OBISPO, CA 95066 CONTACT: 805.322.4411	ENERGY	N/A

Vicinity Map



Drawing Log

SET	ISSUE DATE	REVISION
SUBMITTAL TO THE CITY OF SAN LUIS OBISPO	22/07/25	

Applicable Governing Codes:

2019	CALIFORNIA BUILDING CODE VOLUME 1-2 (BASED ON 2018 IRC)	2019	CALIFORNIA GREEN BUILDING CODE
2019	CALIFORNIA ELECTRICAL CODE 2019 (NEC)	2019	CALIFORNIA IBC CODE 2019 (IBC)
2019	CALIFORNIA MECHANICAL CODE 2019 (IMC)	2019	CALIFORNIA ENERGY CODE
2019	CALIFORNIA PLUMBING CODE 2019 (UPC)	2019	CALIFORNIA RECREATIONAL CODE
	CITY OF SAN LUIS OBISPO MUNICIPAL CODE		

Sheet Index

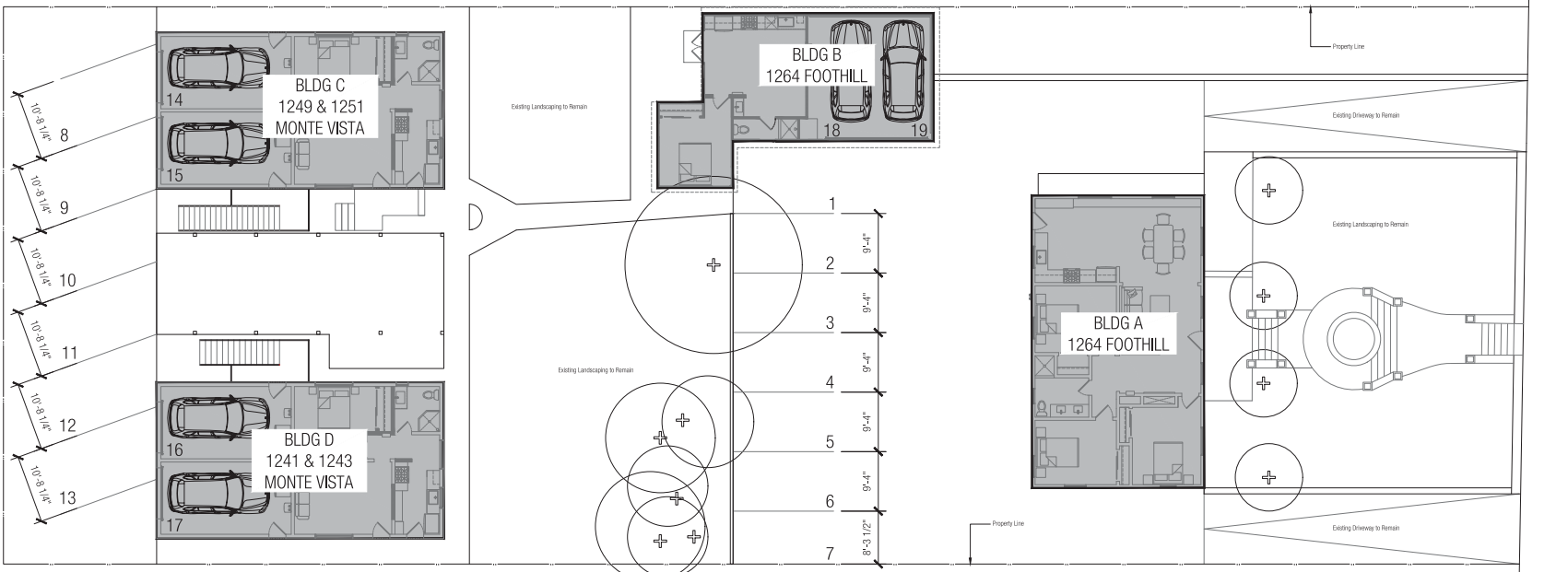
ARCHITECTURAL	INDEX, DATA + NOTES, EXISTING ARCHITECTURAL SITE PLAN	A2.4	EXISTING FIRST & SECOND ELECTRICAL PLAN - BUILDING C & D
A2.1	EXISTING FLOOR PLAN & ELECTRICAL PLAN - BUILDING B	A2.5	ARCHITECTURAL DETAILS
A2.2	EXISTING FLOOR PLAN & ELECTRICAL PLAN - BUILDING B	A2.1	EXISTING EXTERIOR ELEVATION - BUILDING B
A2.3	EXISTING FIRST & SECOND FLOOR PLAN - BUILDING C & D	A2.2	EXISTING EXTERIOR ELEVATION - BUILDING B

Project Data

DESCRIPTION	INTERIOR RENOVATION TO A SINGLE FAMILY RESIDENCE AND TO TWO APARTMENT BUILDINGS.			
SITE INFORMATION	CITY OF SAN LUIS OBISPO			
JURISDICTION	644			
ZONING	OS0201-200			
APPL	1947 FOOTHILL BLVD			
STREET ADDRESS	1947 FOOTHILL BLVD			
CROSS STREET	1947 FOOTHILL BLVD			
PROJECT AREA	1947 FOOTHILL BLVD			
BUILDING INFORMATION	SINGLE STORY			
NUMBER OF STORES	1			
OCCUPANCY TYPE	TYPE B UNBARRICADED			
CONSTRUCTION TYPE	NO SPRINKLERS SHALL NOT BE INSTALLED			
FINISHES	CLASS 1 UNBARRICADED			
ROOF RATING	PROPERTY IS NOT LOCATED WITHIN A HIGH WIND HAZARD AREA NOR A FLOOD PLAIN AREA			
HAZARD AREAS	30 FEET ALLOWED			
BUILDING AREAS	SEASIDE	CLAYTON	ALTAMERON	PROCESSED
	BLDG A RESIDENCE 1 BEDROOM	1,237	0	1,237
	BLDG B RESIDENCE 1 BEDROOM	853	0	853
	BLDG C RESIDENCE 1 BEDROOM	1,844	0	1,844
	BLDG D RESIDENCE 1 BEDROOM	1,844	0	1,844
TOTAL	12 BEDROOM	5,778 SF	0 SF	5,778 SF

Deferred Submittals / Separate Permits

1. A SEPARATE ENVIRONMENTAL PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EXISTING FOR CONNECTION TO EXISTING UTILITIES. WORK REQUIREMENTS AND ENVIRONMENTAL PERMIT INCLUDES BUT IS NOT LIMITED TO CONDUITS, UTILITIES, WATER, SEWER, AND THE SERVICE LATERALS, CURB, GUTTER, AND SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK, INTERSECTIONS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB MARKS, STREET PAVING, AND PROTECTION PROTECTION OR CONSTRUCTION STAKING IN THE RIGHT-OF-WAY.



1 Existing Architectural Site Plan
1/8" = 1'-0"

project:
Interior Renovation
1264 Foothill Blvd
San Luis Obispo, California 93405

applicant / owner:
PS2 House Corporation
1947 Camino Vida Roble, Suite 105
Carlsbad, CA 92008

revision:

NO.	DATE	DESCRIPTION

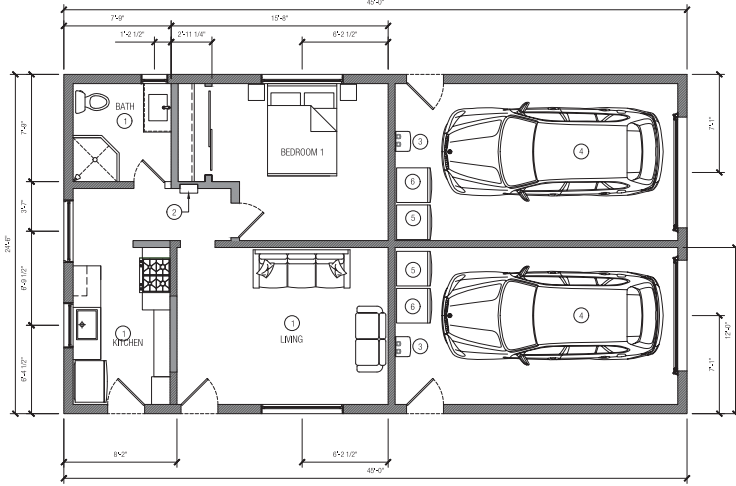
legal stuff:

sheet data:
date: 2025-07-25
drawn by: AA
date: 22/07/25

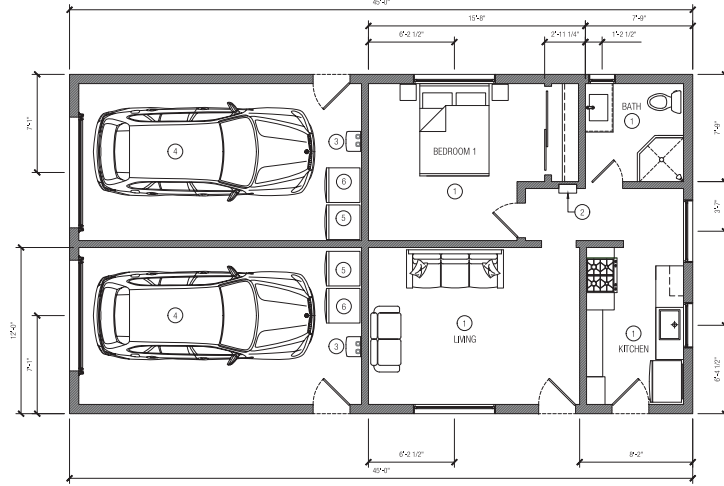
sheet title:
Site Plan

sheet:

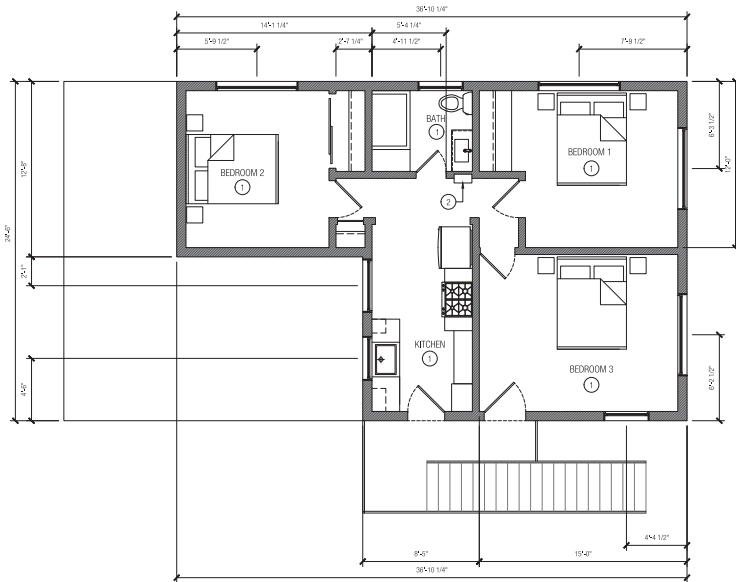
A1.1



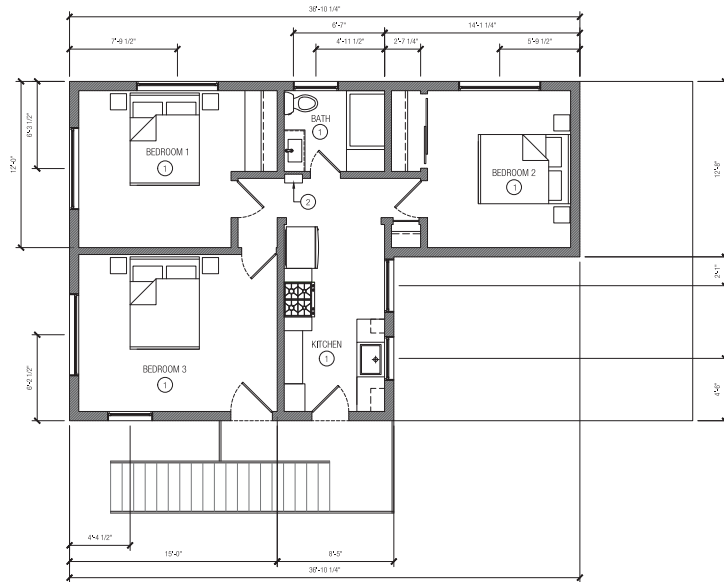
3 Existing First Story Floor Plan - Building D
1/8" = 1'-0"



1 Existing First Story Floor Plan - Building C
1/8" = 1'-0"



4 Existing Second Story Floor Plan - Building D
1/8" = 1'-0"



2 Existing Second Story Floor Plan - Building C
1/8" = 1'-0"

Reference Notes

1. (E) FINISH AND DRYWALL TEXTURE, NO NEW ELECTRICAL WORK.
2. (E) SINK, HEATER.
3. (E) FANLESS WATER HEATER, PIPE CONDENSATE DRAIN TO MATCH WITH OTHERS.
4. (E) GARAGE.
5. (E) WOODEN.
6. (E) DRYER.

Legend

EXISTING OR WOOD FRAME CONSTRUCTION TO REMAIN

project:
Interior Renovation
1264 Foothill Blvd
San Luis Obispo, California 93405

applicant / owner:
PSZ House Corporation
1947 Camino Vida Roble, Suite 105
Carlsbad, CA 92008

revision:

NO.	DATE	BY	CHKD.

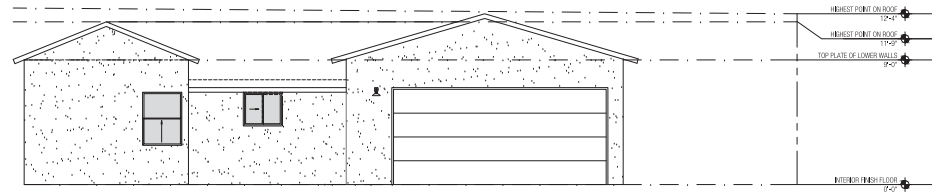
legal stuff:

sheet data:
date: 02/20/2015
drawn by: AA
date: 2/23/2015

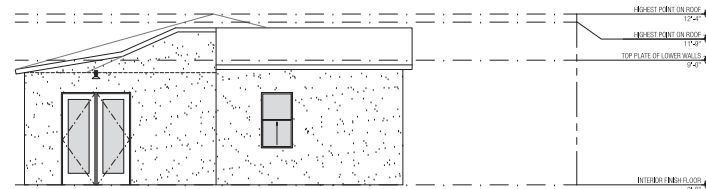
sheet title:
Existing First & Second Floor Plans - Building C & D

sheet:

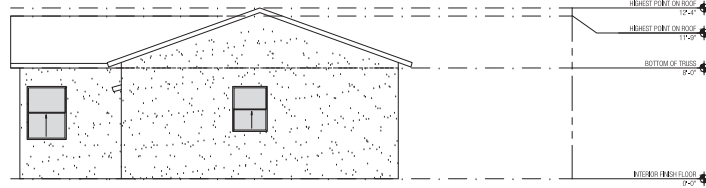
A2.3



1 Existing Front Elevation
1/8" = 1'-0"



2 Existing Left Elevation
1/8" = 1'-0"



3 Existing Right Elevation
1/8" = 1'-0"



project:
Interior Renovation
1264 Foothill Blvd
San Luis Obispo, California 93405

applicant / owner:
PSZ House Corporation
1947 Camino Vida Roja, Suite 105
Carlsbad, CA 92008

revision:

NO.	DESCRIPTION	DATE

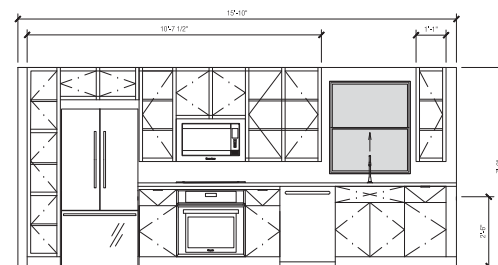
legal stuff:

sheet data:
date: 02/22/2015
drawn by: AA
date: 2/22/2015

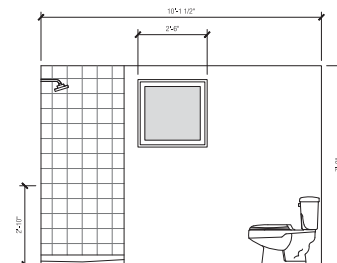
sheet title:
Existing Exterior
Elevations -
Building B

sheet:

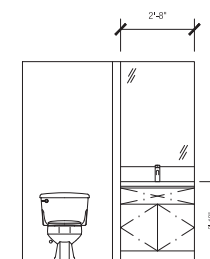
A3.1



1 Existing Kitchen Elevation
1/2" = 1'-0"



2 Existing Bathroom Elevation
1/2" = 1'-0"



3 Existing Sink Elevation
1/2" = 1'-0"

project:
Interior Renovation
1264 Foothill Blvd
San Luis Obispo, California 93405

applicant / owner:
PSZ House Corporation
1947 Camino Vida Roble, Suite 105
Carlsbad, CA 92008

revision:

NO.	DESCRIPTION	DATE

legal stuff:

sheet data:
date: 08/22/2015
drawn by: AA
date: 2/2/2015

sheet title:
Existing Interior
Elevations -
Building B

sheet:

A3.2

PLANNING COMMISSION AGENDA REPORT

SUBJECT: REVIEW OF A TEXT AMENDMENT TO THE ZONING REGULATIONS TO ADD SINGLE-FAMILY AND MULTI-FAMILY USES AS CONDITIONALLY ALLOWED WITH APPROVAL OF A MINOR USE PERMIT IN THE NEIGHBORHOOD COMMERCIAL (C-N) ZONE. THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW.

PROJECT ADDRESS: Citywide

BY: Hannah Hanh, Associate Planner

Phone Number: (805) 781-7432

FILE NUMBER: CODE-0224-2024

Email: hhanh@slocity.org

FROM: Tyler Corey, Deputy Director

RECOMMENDATION

Recommend the City Council introduce and adopt an Ordinance revising Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) to add single-family and multi-family uses as conditionally allowed with approval of a Minor Use Permit in the Neighborhood Commercial (C-N) Zone. The project is exempt from environmental review under Section 15301(b)(3) (General Rule Exemption) of the California Environmental Quality Act (CEQA) Guidelines.

SUMMARY

On behalf of the City of San Luis Obispo (City), the Community Development Director (Director) has initiated a text amendment to Title 17 (Zoning Regulations) of the Municipal Code. To provide additional flexibility in the development potential and use of parcels in the C-N zone, the proposed text amendment includes a revision to [Table 2-1](#) (Uses Allowed by Zone) to add “single-unit dwellings, detached” and “multi-unit residential” as conditionally allowed uses with approval of a Minor Use Permit in the C-N zone (Attachment A – Draft Planning Commission Resolution, Attachment B – Draft City Council Ordinance). There are no other revisions proposed as part of the application.

1.0 PLANNING COMMISSION’S PURVIEW

Per [Chapter 17.124](#) (Amendments – Zoning Regulations and Zoning Map), the Planning Commission’s role is to review the proposed text amendment for consistency with the City’s General Plan and State Law and provide a recommendation to the City Council.

2.0 PROJECT INFORMATION

2.1 Background

Since at least 1981, single-family and multi-family uses were conditionally allowed uses with approval of a Minor Use Permit (i.e., Administrative Use Permit) in the C-N zone

([Ordinance No. 887 \[1981 Series\]](#)). These uses were removed from the list of allowable uses for the C-N zone as part of the comprehensive update to Title 17 (Zoning Regulations) in 2018 ([Ordinance No. 1650 \[2018 Series\]](#)). It is not clear to staff if this change was intentional or an oversight as there was no specific discussion in the staff reports, presentations, or minutes from the public hearings regarding this amendment. As such, the current Zoning Regulations does not include “single-unit dwellings, detached” and “multi-unit residential” uses as allowable uses in the C-N zone (Figure 1 – Table 2-1).

Table 2-1: Uses Allowed By Zone																
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above															
	Land Use	Permit Requirement by Zoning District														Specific Use Regulations
AG		C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	
RESIDENTIAL USES																
General Residential Housing Types																
Single-Unit Dwellings, Detached	A	CUP	A	A	A	A		A								
Multi-Unit Residential				A	A	A		A								
Boarding House					CUP	CUP					MUP	MUP				

Figure 1 – Table 2-1 (Uses Allowed by Zone) of the current Zoning Regulations

2.2 Public Interest / Proposed Text Amendment

In response to public interest received to allow single-family and multi-family uses in the C-N zone, the Director has initiated a text amendment in accordance with [Section 17.124.020\(B\)](#) (Authority to Initiate an Amendment to the Zoning Regulations). The proposed amendment includes a minor revision to Table 2-1 (Uses Allowed by Zone) to add “single-unit dwellings, detached” and “multi-unit residential” uses as conditionally allowed uses with approval of a Minor Use Permit (Figure 2 – Proposed Text Amendment). This amendment would be consistent with use regulations for the C-N zone prior to the comprehensive update in 2018. No other revisions are proposed as part of this application.

Table 2-1: Uses Allowed By Zone																
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above															
	Land Use	Permit Requirement by Zoning District														Specific Use Regulations
AG		C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	
RESIDENTIAL USES																
General Residential Housing Types																
Single-Unit Dwellings, Detached	A	CUP	A	A	A	A		A	MUP							
Multi-Unit Residential				A	A	A		A	MUP							
Boarding House					CUP	CUP					MUP	MUP				

Figure 2 – Proposed Text Amendment to Table 2-1 (Uses Allowed by Zone)

3.0 PROJECT ANALYSIS

3.1 Consistency with the General Plan

The Neighborhood Commercial (NC) land use designation is intended for the provision of goods and services that meet the frequent shopping needs of people living nearby as described in the [Land Use Element](#) (LUE) (Table 1 – General Plan Land Use Designations and Development Standards in the LUCE Planning Sub-area). Listed examples of intended uses include small-scale grocery stores, laundromats, drugstore, small-scale specialty stores, residential uses as part of mixed-use projects, and public and quasi-public uses. It is noted that the examples provided do not reflect an exhaustive list of allowable uses as the intents of land use designations inform allowable uses in corresponding zones of the Zoning Regulations.

Since the NC land use designation is intended for small-scale commercial uses that serve the daily needs of nearby residents, the proposed text amendment would not conflict with the intent of the land use designation and instead provide additional opportunities where residential uses can be allowed. To facilitate its intent, the NC land use designation is located in proximity or adjacent to residential land use designations (e.g., Low, Medium, Medium-High, and High Density Residential) as shown in the [Land Use Map](#). As such, the amendment to add single- and multi-family uses to the list of allowable uses in the C-N zone would result in residential uses that are in proximity to other compatible residential and neighborhood serving commercial uses.

3.2 Consistency with the Zoning Regulations

Per [Chapter 17.26](#) (Neighborhood Commercial [C-N] Zone), the C-N zone is intended to accommodate the establishment and operation of small-scale, pedestrian-oriented, and low-impact retail sales and personal services for the convenience and frequent needs of people living in the surrounding residential areas. As shown in the [Zoning Map](#), there is a limited number of parcels in the C-N zone throughout the City. These properties are developed with existing residential, personal service, restaurant, general retail, commercial recreation, etc. uses. They are primarily concentrated near and along the Broad Street corridor between Church Street and Alphonso Street with few exceptions (or outliers) at the following locations:

- Broad Street and Lincoln Avenue intersection
- California Boulevard between Hathway Avenue and Highway 101
- Laurel Lane between Augusta Street and Southwood Drive

There are also C-N zoned parcels located within the San Luis Ranch Specific Plan and Avila Ranch Development Plan areas. However, these properties are differently regulated by the applicable Specific Plan or Development Plan approval.

After the comprehensive update to the Zoning Regulations in 2018, existing residences not part of mixed-use developments in the C-N zone became nonconforming uses. These

nonconforming residential uses are located primarily near and along Broad Street between Church Street and Alphonso Street, and have specific circumstances in which they may be continued and/or expanded as detailed in [Chapter 17.94](#) (Nonconforming Uses). Since the list of allowable uses in the C-N zone includes a limited range of small-scale and low-impact commercial uses (e.g., food services, personal services, etc.) that are dependent on the surrounding residential areas, the amendment to add single-family and multi-family uses would provide additional flexibility in the development potential and use of these parcels. Additional development and use potential of this zone would be pertinent to consider because the procurement of daily goods and services have evolved with technology in recent decades to allow direct-to-door deliveries, etc. While residential uses can be achieved as part of a mixed-use development (allowed use in the C-N zone), most of the parcels in the C-N zone are fairly small in size, which could make it more difficult to satisfy development standards for a feasible mixed-use development. The amendment would also change existing nonconforming residential uses back to be conforming uses. As proposed, the amendment would result in single-family and multi-family uses that are in proximity to other compatible residential and neighbor serving commercial uses.

3.3 Consistency with the Major City Goals

Housing & Homelessness was prioritized as a Major City Goal in the [2023-2025 Financial Plan](#) to support the expansion of housing options and facilitate housing production. As proposed, the text amendment would advance this Major City Goal by providing additional opportunities where housing may be located within the City.

4.0 ENVIRONMENTAL REVIEW

The text amendment is exempt under Section 15061(b)(3) of the CEQA Guidelines. This “Common Sense” exemption states that CEQA only applies to projects that have the potential for causing significant effect on the environment. Since the text amendment is a minor revision to Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) that would conditionally allow residential uses with a Minor Use Permit in the C-N zone, the scope of this action is limited to a text amendment where subsequent single-family and multi-family residential development would be subject to discretionary review. Since these uses are subject to discretionary review, environmental review would be evaluated on a project-specific basis. It is also noted that there are existing single-family residences in some of the C-N zoned parcels. Therefore, there would not be additional environmental impacts for these parcels.

5.0 OTHER DEPARTMENT / DIVISION REVIEW

If the proposed amendment is adopted, any subsequent single-family and multi-family residential development would be subject to discretionary review. Relevant departments and divisions would have the opportunity to review the proposed residential development as part of the Minor Use Permit application process.

CODE-0224-2024

Planning Commission Report – June 12, 2024

6.0 ALTERNATIVES

1. Continue project. An action to continue the item should include a detailed list of additional information or analysis required to make a decision.
2. Deny the project. An action denying the project should include findings that cite the basis for denial and should reference inconsistency with the General Plan, Zoning Regulations, or other policy documents.

7.0 ATTACHMENTS

- A. Draft Planning Commission Resolution (CODE-0224-2024)
- B. Draft City Council Ordinance (CODE-0224-2024)

RESOLUTION NO. PC-XXXX-24

A RESOLUTION OF THE CITY OF SAN LUIS OBISPO PLANNING COMMISSION RECOMMENDING THE CITY COUNCIL INTRODUCE AND ADOPT AN ORDINANCE AMENDING TABLE 2-1 (USES ALLOWED BY ZONE) IN TITLE 17 (ZONING REGULATIONS) OF THE MUNICIPAL CODE TO ADD SINGLE-FAMILY AND MULTI-FAMILY USES AS CONDITIONALLY ALLOWED WITH APPROVAL OF A MINOR USE PERMIT IN THE NEIGHBORHOOD COMMERCIAL (C-N) ZONE. THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW (CEQA) AS REPRESENTED IN THE PLANNING COMMISSION AGENDA REPORT AND ATTACHMENTS DATED JUNE 12, 2024 (CITYWIDE; CODE-0224-2024)

WHEREAS, the Planning Commission of the City of San Luis Obispo conducted a public hearing in the Council Chamber of City Hall, 990 Palm Street, San Luis Obispo, California on June 12, 2024, for the purpose of recommending an amendment to Table 2-1 (Uses Allowed by Zone) of Title 17 (Zoning Regulations), pursuant to a proceeding under CODE-0224-2024; City of San Luis Obispo, applicant; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by the law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of interested parties and the evaluation and recommendations provided by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of San Luis Obispo as follows:

SECTION 1. Findings. Based upon all evidence, the Planning Commission makes the following findings:

1. The proposed amendment to Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) of the Municipal Code to add single-family and multi-family residential uses as conditionally allowed uses with approval of a Minor Use Permit is consistent with the intent of the Neighborhood Commercial (NC) land use designation and purpose of the Neighborhood Commercial (C-N) zone.
2. The proposed amendment to Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) of the Municipal Code to add single-family and multi-family residential uses as conditionally allowed uses with approval of a Minor Use Permit would not alter the character of the City or cause health safety or welfare concerns because the amendment is consistent with the General Plan. In addition, the amendment would directly implement City goals and policies, particularly the Major City Goal for Housing & Homelessness, to support the expansion of housing options and facilitate housing production.

3. Parcels located in the C-N zone include historical residential uses that are currently nonconforming. The proposed amendment would allow these residential uses to become conforming and facilitate additional opportunities for these uses to continue and expand.

SECTION 2. Environmental Determination. The proposed amendment to Table 2-1 (Uses Allowed by Zone) of Title 17 (Zoning Regulations) has been assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the CEQA Guidelines, and environmental regulations of the City. The amendment is exempt under Section 15061(b)(3) of the CEQA Guidelines. This “Common Sense” exemption states that CEQA only applies to projects that have the potential for causing significant effect on the environment. Since the text amendment is a minor revision that would conditionally allow residential uses with a Minor Use Permit in the C-N zone, the scope of this action is limited to a text amendment where subsequent single-family and multi-family residential development would be subject to discretionary review. Since these uses are subject to discretionary review, environmental review would be evaluated on a project-specific basis. It is also noted that there are existing single-family residences in some of the C-N zoned parcels. Therefore, there would not be additional environmental impacts for these parcels.

SECTION 3. Action. The Planning Commission hereby recommends to the City Council the introduction and adoption of an ordinance to amend Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) of the San Luis Obispo Municipal Code and add single-family and multi-family uses as conditionally allowed uses in the C-N zone as set forth in Exhibit A and incorporated herein.

Upon motion of _____, seconded by _____ and on the following roll call vote:

AYES:
NOES:
ABSENT:

The foregoing resolution was passed and adopted this 12th day of June 2024.

Tyler Corey, Secretary
Planning Commission

EXHIBIT A

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

AGRICULTURE

Agricultural Accessory Structure	A	A															
Animal Husbandry and Grazing	A	A															
Community Garden	A	MUP	A	A	A	A	A										
Crop Production	A	A					A							MUP	MUP		
Greenhouse/Plant Nursery, Commercial	CUP	CUP															

INDUSTRY, MANUFACTURING & PROCESSING, WHOLESALING

Fuel Dealer (propane, etc)														MUP	A		See also Sec. 17.74.060
Laboratory - Medical, Analytical, Research, Testing								CUP			A			A	A	A	See also Sec. 17.74.060
Manufacturing - Heavy														CUP	CUP		See also Sec. 17.74.060
Manufacturing - Light														A	A	A	See also Sec. 17.74.060
Recycling																	
Recycling - Collection Facility										MUP	MUP			MUP	A		
Recycling - Processing Facility															MUP		
Research and Development														A	MUP	A	See also Sec. 17.74.060
Salvage and Wrecking															MUP		
Warehousing, Storage, and Distribution																	
Outdoor Storage														MUP	MUP		
Personal Storage														A	A		
Warehousing and Indoor Storage														A	A	MUP	

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	
Wholesaling and Distribution														A	A	MUP	

LODGING

Bed and Breakfast Establishment	MUP				CUP	CUP					A	A	A				See Sec. 17.86.070
Homeless Shelter				A	A	A	A	A	A	A	A	A	A	A	A		See Sec. 17.86.150 and GC Sec. 65583(a)(4)
Hostel					CUP	CUP					A	A	A				
Hotels and Motels											A	A	A	CUP		CUP	
RV Parks													CUP				

PUBLIC AND QUASI-PUBLIC USES

Cultural Institutions							CUP			A	A	A	CUP				
Hospitals and Clinics																	
Clinic							MUP		MUP	A	MUP		MUP		MUP		See Sec. 17.36.030.C and Sec. 17.42.030.A
Hospital							CUP	CUP									
Park and Recreation Facilities			A	A	A	A	A	A	A	A	A	A	A	A	A	A	Parks and Recreation Commission review required.
Public Assembly Facilities							CUP	A	MUP	MUP	M/A	MUP	CUP				
Religious Assembly Facilities			CUP	MUP	MUP	MUP	MUP	A	MUP	MUP	A	M/A	MUP	MUP	MUP		See 42 U.S.C. §§ 2000cc, et seq.
Schools - Colleges							CUP										
Schools - Primary and Secondary			CUP	CUP	MUP	MUP	CUP	CUP		CUP	MUP			CUP			See Sec. 17.86.240
Schools - Trade Schools							CUP	MUP				CUP		MUP		MUP	In the C-D zone, Trade Schools are not allowed on the ground floor.
Sports and Entertainment Assembly Facility							CUP								CUP		

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

RESIDENTIAL USES

General Residential Housing Types																	
Single-Unit Dwellings, Detached	A	CUP	A	A	A	A		A	MUP								
Multi-Unit Residential				A	A	A		A	MUP								
Boarding House					CUP	CUP					MUP	MUP					
Caretaker Quarters	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	MUP	
Continuing Care Community			MUP	MUP	MUP	MUP		MUP			MUP	MUP					
Elderly and Long Term Care					MUP	MUP		MUP			M/A	M/A	MUP				
Family Day Care (Small and Large)	A		A	A	A	A		A	A	A	A	A	A	A	A		See Sec. 17.86.100 and H&SC 1597.40
Fraternities and Sororities					CUP	CUP											Section 17.86.130
Hospice In-Patient Facility				CUP	CUP	MUP	CUP	CUP			MUP						
Mobile Home Park			A	A	A	A											See GC Sec. 65852.7, 65863.7, 65863.8
Residential Care Facilities - 6 or Fewer Residents	A		A	A	A	A		A	M/A		M/A	M/A	MUP				Multiple state statutes
Residential Care Facilities - 7 or More Residents			MUP	MUP	MUP	MUP		MUP			MUP	MUP					Multiple state statutes
Supportive and/or Transitional Housing, with On or Off-Site Services			A	A	A	A	MUP	A	A	A	A	A	A	A	A		See GC Sec. 65583(a)(5)
Farmworker Housing	A	A															

MIXED USES

Mixed-use Development								A	A	A	A	A	A	A	A		See Sec. 17.70.130
-----------------------	--	--	--	--	--	--	--	---	---	---	---	---	---	---	---	--	--------------------

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

COMMERCIAL USES

Adult Entertainment Businesses																		See Sec. 17.86.030 and GC Section 65850.4
Animal Care, Sales and Services																		
Animal Boarding/Kennels	CUP															MUP	MUP	Outdoor runs and kennel areas shall be allowed only in the C-S zone. See also Sec. 17.86.170.
Animal Grooming									A	A	A	A			A	MUP		
Animal Retail Sales									MUP	A	A	A			A			
Veterinary Services, Large Animal	CUP														MUP	MUP		
Veterinary Services, Small Animal								A	A	A	A	M/A			A			
Banks and Financial Institutions																		
ATMs								A	A	A	A	A	A	A	A	A	A	
Banks and Credit Unions								A		A	A	A			MUP	MUP	MUP	See Sec. 17.36.030.B and Sec. 17.40.030.A
Check Cashing Shops/Payday Loans										MUP	MUP							
Business Services								A		A	A	M/A			A	A	A	
Cemetery		CUP	CUP	CUP	CUP	CUP	CUP					CUP		CUP	CUP	CUP		
Commercial Recreation - Large Scale							CUP				CUP	CUP	CUP	CUP	CUP	CUP	MUP	See Sec. 17.36.030.D and Sec. 17.86.110
Commercial Recreation - Small Scale								MUP	MUP	A	A	A	A	A	A	A	MUP	
Day Care Center			MUP	MUP	MUP	MUP	MUP	A	A	A	A	M/A	MUP	MUP	MUP	MUP		See Sec. 17.86.100

Table 2-1: Uses Allowed By Zone																		
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																	
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																	
Land Use	Permit Requirement by Zoning District																Specific Use Regulations	
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP		
Eating and Drinking Establishments																		
Bars and Taverns										MUP	MUP	MUP	MUP	MUP	MUP		See also Sec. 17.86.040 and Sec. 17.86.050	
Restaurant									A	A	A	A	A	A	MUP	MUP		
Restaurant with Late Hour Alcohol Service									MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	See Sec. 17.86.040 and Sec. 17.86.050	
Food and Beverage Sales																		
General Market									A	A	A	A	CUP				See Sec. 17.26.030.B.1	
Convenience Store				MUP	MUP	MUP			A	A	A	A	A	MUP	MUP	MUP	See Sec. 17.26.030.B.1 and Sec. 17.86.090	
Produce Stand	MUP	MUP							A		A	A		A				
Liquor Store									MUP	MUP	MUP	MUP	CUP				See Sec. 17.26.030.B.2 and Sec. 17.86.040	
Food Preparation																		
Funeral Parlors and Internment Services								MUP	MUP		A			MUP				
Instructional Services								MUP	CUP	MUP	M/A	A	M/A	CUP	A	MUP		
Maintenance and Repair Services														A	A	CUP		
Offices																		
Business and Professional Offices								MUP	A		A	A	M/A		M/A	MUP	MUP	In the C-S zone, a MUP is required for office uses on the ground floor. See also Sec. 17.36.030.B and Sec. 17.40.030.A.
Medical and Dental Offices									A		A	A	M/A		MUP		MUP	See Sec. 17.36.030.C
Personal Services										A	A	A	A	MUP	A		MUP	

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	
Retail Sales																	See Sec. 17.26.030.A, 17.30.030.A, 17.32.030, and 17.34.034.A and 17.36.030.A
Building Materials and Services - Indoor										A	A	A		A	A		
Building Materials and Services - Outdoor										MUP	A	MUP		A	A		
Extended Hour Retail								MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP		
General Retail									MUP	A	A	A	MUP	MUP			
Large-Scale Retail										CUP	CUP	CUP					
Nurseries and Garden Centers											CUP			A	A		
Theaters								CUP			MUP	MUP	MUP			MUP	Only nonprofit theaters are allowed in the PF zone. See also Sec. 17.86.030.
Vehicle Sales and Services																	
Auto and Vehicle Sales and Rental											MUP		CUP	A	MUP		
Large Vehicle, Construction and Heavy Equipment Sales, Service, and Rental														MUP	A		
Service Stations									MUP	MUP	MUP		MUP	A			See Sec. 17.86.250, and Sec. 17.86.060.
Vehicle Services - Major Repair/Body Work														A	A	MUP	
Vehicle Services - Minor Repair/Maintenance										CUP	MUP			A	A	MUP	
Vehicle Services - Washing										MUP	MUP		CUP	MUP	MUP		

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

TRANSPORTATION, COMMUNICATIONS, & UTILITIES

Airport								CUP									CUP	CUP	MUP	
Wireless Telecommunications Facilities	MUP	MUP						MUP	MUP			MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	See Sec. 17.86.290, 47 USC Sec. 332(c)(7) of the Telecommunications Act, Pub. Util. Code Sec. 7901 et seq., GC Sec. 65850.6
Freight/Truck Terminals																A	A	MUP		
Light Fleet-Based Services																A	MUP	MUP		
Media Production																				
Backlots and Soundstages																MUP	MUP	MUP		
Broadcast Studios									A			A	M/A			A	A	A		
Heliport								CUP	CUP							CUP	CUP			
Parking Facilities								CUP	CUP				CUP	CUP			CUP	CUP	See Sec. 17.86.200	
Public Safety Facilities								CUP										CUP		
Transit Station or Terminal								CUP					CUP	CUP			MUP	A		
Utilities Facilities																				
Facilities with Onsite Staff	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	Ground-mounted equipment in residential zones shall be screened by landscaping to the satisfaction of the Director.
Facilities with No Onsite Staff (unmanned)	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	
Transmission Lines	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

CANNABIS ACTIVITY

Cannabis																	See Section 17.86.080				
Specialty Cultivator															MUP	MUP	MUP				
Small Cultivator															MUP	MUP	MUP				
Nursery															MUP	MUP	MUP				
Manufacturing															MUP	MUP	MUP				
Distributor															MUP	MUP	MUP				
Microbusiness															CUP			See Sec. 17.86.080(E)(12) for specific requirements per zone.			
Testing															CUP			Director's action required. See also Sec. 17.86.080(E)(9).			
Retailer (Delivery)																		MUP	MUP	MUP	
Retailer (Storefront)																		CUP			

SPECIFIC AND TEMPORARY LAND USES

Educational Conferences																		MUP	MUP										
Housing																													
Homestay Rentals	See Sec. 17.86.160																												
Home Occupation	See Sec. 17.86.140																												
Food Trucks	See Sec. 17.86.120																												
Nightclubs and Live Entertainment																													
Office - Temporary	See Chapter 17.113																												
Outdoor Temporary and/or Seasonal Sales	See Sec. 17.86.190 and Chapter 17.113																												
Parking Facility - Temporary																													See Chapter 17.113
Safe Parking																		CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	See Sec. 17.86.230
Special Event																													See Chapter 17.113
Vending Machine	See Section 17.86.280																												

DRAFT

ORDINANCE NO. _____ (2024 SERIES)

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SAN LUIS OBISPO, CALIFORNIA, APPROVING AN AMENDMENT TO TABLE 2-1 (USES ALLOWED BY ZONE) IN TITLE 17 (ZONING REGULATIONS) OF THE MUNICIPAL CODE WITH AN EXEMPTION FROM ENVIRONMENTAL REVIEW (CEQA)

WHEREAS, the Planning Commission of the City of San Luis Obispo conducted a public hearing in the Council Chamber of City Hall, 990 Palm Street, San Luis Obispo, California on June 12, 2024, for the purpose of recommending an amendment to Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) of the Municipal Code, pursuant to a proceeding under CODE-0224-2024; City of San Luis Obispo, applicant; and

WHEREAS, the City Council of the City of San Luis Obispo conducted a public hearing in the Council Chamber of City Hall, 990 Palm Street, San Luis Obispo, California on _____, 2024, for the purpose of introducing an ordinance to amend Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) of the Municipal Code, pursuant to a proceeding under CODE-0224-2024; City of San Luis Obispo, applicant; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the City Council has duly considered all evidence, including the testimony of interested parties and the evaluation and recommendation by staff, presented at said hearing.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of San Luis Obispo as follows:

SECTION 1. Findings. Based upon all the evidence, the City Council makes the following findings:

1. The proposed amendment to Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) of the Municipal Code to add single-family and multi-family residential uses as conditionally allowed uses with approval of a Minor Use Permit is consistent with the intent of the Neighborhood Commercial (NC) land use designation and purpose of the Neighborhood Commercial (C-N) zone.
2. The proposed amendment to Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) of the Municipal Code to add single-family and multi-family residential uses as conditionally allowed uses with approval of a Minor Use Permit would not alter the character of the City or cause health safety or welfare concerns because the amendment is consistent with the General Plan. In addition, the amendment would directly implement City goals and policies, particularly the Major City Goal for Housing & Homelessness, to support the expansion of housing options and facilitate housing production.

3. Parcels located in the C-N zone include historical residential uses that are currently nonconforming. The proposed amendment would allow these residential uses to become conforming and facilitate additional opportunities for these uses to continue and expand.

SECTION 2. Environmental Determination. The proposed amendment to Table 2-1 (Uses Allowed by Zone) of Title 17 (Zoning Regulations) has been assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the CEQA Guidelines, and environmental regulations of the City. The amendment is exempt under Section 15061(b)(3) of the CEQA Guidelines. This “Common Sense” exemption states that CEQA only applies to projects that have the potential for causing significant effect on the environment. Since the text amendment is a minor revision that would conditionally allow residential uses with a Minor Use Permit in the C-N zone, the scope of this action is limited to a text amendment where subsequent single-family and multi-family residential development would be subject to discretionary review. Since these uses are subject to discretionary review, environmental review would be evaluated on a project-specific basis. It is also noted that there are existing single-family residences in some of the C-N zoned parcels. Therefore, there would not be additional environmental impacts for these parcels.

SECTION 3. Action. The City Council hereby adopts an ordinance to amend Table 2-1 (Uses Allowed by Zone) in Title 17 (Zoning Regulations) of the San Luis Obispo Municipal Code and add single-family and multi-family uses as conditionally allowed uses in the C-N zone as set forth and incorporated herein.

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

AGRICULTURE

Agricultural Accessory Structure	A	A															
Animal Husbandry and Grazing	A	A															
Community Garden	A	MUP	A	A	A	A	A										
Crop Production	A	A					A							MUP	MUP		
Greenhouse/Plant Nursery, Commercial	CUP	CUP															

INDUSTRY, MANUFACTURING & PROCESSING, WHOLESALING

Fuel Dealer (propane, etc)														MUP	A		See also Sec. 17.74.060
Laboratory - Medical, Analytical, Research, Testing								CUP			A			A	A	A	See also Sec. 17.74.060
Manufacturing - Heavy															CUP	CUP	See also Sec. 17.74.060
Manufacturing - Light														A	A	A	See also Sec. 17.74.060
Recycling																	
Recycling - Collection Facility										MUP	MUP			MUP	A		
Recycling - Processing Facility															MUP		
Research and Development														A	MUP	A	See also Sec. 17.74.060
Salvage and Wrecking															MUP		
Warehousing, Storage, and Distribution																	
Outdoor Storage														MUP	MUP		
Personal Storage														A	A		
Warehousing and Indoor Storage														A	A	MUP	

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	
Wholesaling and Distribution														A	A	MUP	

LODGING

Bed and Breakfast Establishment	MUP				CUP	CUP					A	A	A				See Sec. 17.86.070
Homeless Shelter				A	A	A	A	A	A	A	A	A	A	A	A		See Sec. 17.86.150 and GC Sec. 65583(a)(4)
Hostel					CUP	CUP					A	A	A				
Hotels and Motels											A	A	A	CUP		CUP	
RV Parks													CUP				

PUBLIC AND QUASI-PUBLIC USES

Cultural Institutions								CUP			A	A	A	CUP			
Hospitals and Clinics																	
Clinic								MUP		MUP	A	MUP		MUP		MUP	See Sec. 17.36.030.C and Sec. 17.42.030.A
Hospital								CUP	CUP								
Park and Recreation Facilities			A	A	A	A	A	A	A	A	A	A	A	A	A	A	Parks and Recreation Commission review required.
Public Assembly Facilities								CUP	A		MUP	MUP	M/A	MUP	CUP		
Religious Assembly Facilities			CUP	MUP	MUP	MUP	MUP	A	MUP	MUP	A	M/A	MUP	MUP	MUP		See 42 U.S.C. §§ 2000cc, et seq.
Schools - Colleges								CUP									
Schools - Primary and Secondary			CUP	CUP	MUP	MUP	CUP	CUP			CUP	MUP			CUP		See Sec. 17.86.240
Schools - Trade Schools								CUP	MUP				CUP		MUP		In the C-D zone, Trade Schools are not allowed on the ground floor.
Sports and Entertainment Assembly Facility								CUP							CUP		

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

RESIDENTIAL USES

General Residential Housing Types																	
Single-Unit Dwellings, Detached	A	CUP	A	A	A	A		A	MUP								
Multi-Unit Residential				A	A	A		A	MUP								
Boarding House					CUP	CUP					MUP	MUP					
Caretaker Quarters	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	MUP	
Continuing Care Community			MUP	MUP	MUP	MUP		MUP			MUP	MUP					
Elderly and Long Term Care					MUP	MUP		MUP			M/A	M/A	MUP				
Family Day Care (Small and Large)	A		A	A	A	A		A	A	A	A	A	A	A	A		See Sec. 17.86.100 and H&SC 1597.40
Fraternities and Sororities					CUP	CUP											Section 17.86.130
Hospice In-Patient Facility				CUP	CUP	MUP	CUP	CUP			MUP						
Mobile Home Park			A	A	A	A											See GC Sec. 65852.7, 65863.7, 65863.8
Residential Care Facilities - 6 or Fewer Residents	A		A	A	A	A		A	M/A		M/A	M/A	MUP				Multiple state statutes
Residential Care Facilities - 7 or More Residents			MUP	MUP	MUP	MUP		MUP			MUP	MUP					Multiple state statutes
Supportive and/or Transitional Housing, with On or Off-Site Services			A	A	A	A	MUP	A	A	A	A	A	A	A	A		See GC Sec. 65583(a)(5)
Farmworker Housing	A	A															

MIXED USES

Mixed-use Development								A	A	A	A	A	A	A	A		See Sec. 17.70.130
-----------------------	--	--	--	--	--	--	--	---	---	---	---	---	---	---	---	--	--------------------

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

COMMERCIAL USES

Adult Entertainment Businesses												A		A			See Sec. 17.86.030 and GC Section 65850.4
Animal Care, Sales and Services																	
Animal Boarding/Kennels	CUP														MUP	MUP	Outdoor runs and kennel areas shall be allowed only in the C-S zone. See also Sec. 17.86.170.
Animal Grooming									A	A	A	A		A	MUP		
Animal Retail Sales									MUP	A	A	A		A			
Veterinary Services, Large Animal	CUP													MUP	MUP		
Veterinary Services, Small Animal								A	A	A	A	M/A		A			
Banks and Financial Institutions																	
ATMs								A	A	A	A	A	A	A	A	A	
Banks and Credit Unions								A		A	A	A		MUP	MUP	MUP	See Sec. 17.36.030.B and Sec. 17.40.030.A
Check Cashing Shops/Payday Loans										MUP	MUP						
Business Services								A		A	A	M/A		A	A	A	
Cemetery		CUP	CUP	CUP	CUP	CUP	CUP				CUP		CUP	CUP	CUP		
Commercial Recreation - Large Scale							CUP			CUP	CUP	CUP	CUP	CUP	CUP	MUP	See Sec. 17.36.030.D and Sec. 17.86.110
Commercial Recreation - Small Scale								MUP	MUP	A	A	A	A	A	A	MUP	
Day Care Center			MUP	MUP	MUP	MUP	MUP	A	A	A	A	M/A	MUP	MUP	MUP	MUP	See Sec. 17.86.100

Table 2-1: Uses Allowed By Zone																		
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations	
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																	
Land Use	Permit Requirement by Zoning District																Specific Use Regulations	
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP		
Eating and Drinking Establishments																		
Bars and Taverns										MUP	MUP	MUP	MUP	MUP	MUP		See also Sec. 17.86.040 and Sec. 17.86.050	
Restaurant									A	A	A	A	A	A	MUP	MUP		
Restaurant with Late Hour Alcohol Service									MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	See Sec. 17.86.040 and Sec. 17.86.050	
Food and Beverage Sales																		
General Market									A	A	A	A	CUP				See Sec. 17.26.030.B.1	
Convenience Store				MUP	MUP	MUP			A	A	A	A	A	MUP	MUP	MUP	See Sec. 17.26.030.B.1 and Sec. 17.86.090	
Produce Stand	MUP	MUP							A		A	A		A				
Liquor Store									MUP	MUP	MUP	MUP	CUP				See Sec. 17.26.030.B.2 and Sec. 17.86.040	
Food Preparation											A			A	A			
Funeral Parlors and Internment Services								MUP	MUP			A			MUP			
Instructional Services								MUP	CUP	MUP	M/A	A	M/A	CUP	A	MUP		
Maintenance and Repair Services														A	A	CUP		
Offices																		
Business and Professional Offices								MUP	A		A	A	M/A		M/A	MUP	MUP	In the C-S zone, a MUP is required for office uses on the ground floor. See also Sec. 17.36.030.B and Sec. 17.40.030.A.
Medical and Dental Offices									A		A	A	M/A		MUP		MUP	See Sec. 17.36.030.C
Personal Services										A	A	A	A	MUP	A		MUP	

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required															Specific Use Regulations	
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District															Specific Use Regulations	
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M		BP
Retail Sales																	See Sec. 17.26.030.A, 17.30.030.A, 17.32.030, and 17.34.034.A and 17.36.030.A
Building Materials and Services - Indoor										A	A	A		A	A		
Building Materials and Services - Outdoor										MUP	A	MUP		A	A		
Extended Hour Retail								MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP		
General Retail									MUP	A	A	A	MUP	MUP			
Large-Scale Retail										CUP	CUP	CUP					
Nurseries and Garden Centers											CUP			A	A		
Theaters								CUP			MUP	MUP	MUP			MUP	Only nonprofit theaters are allowed in the PF zone. See also Sec. 17.86.030.
Vehicle Sales and Services																	
Auto and Vehicle Sales and Rental											MUP		CUP	A	MUP		
Large Vehicle, Construction and Heavy Equipment Sales, Service, and Rental														MUP	A		
Service Stations									MUP	MUP	MUP		MUP	A			See Sec. 17.86.250, and Sec. 17.86.060.
Vehicle Services - Major Repair/Body Work														A	A	MUP	
Vehicle Services - Minor Repair/Maintenance										CUP	MUP			A	A	MUP	
Vehicle Services - Washing										MUP	MUP		CUP	MUP	MUP		

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

TRANSPORTATION, COMMUNICATIONS, & UTILITIES

Airport								CUP							CUP	CUP	MUP	
Wireless Telecommunications Facilities	MUP	MUP						MUP	MUP		MUP	MUP	MUP	MUP	MUP	MUP	MUP	See Sec. 17.86.290, 47 USC Sec. 332(c)(7) of the Telecommunications Act, Pub. Util. Code Sec. 7901 et seq., GC Sec. 65850.6
Freight/Truck Terminals															A	A	MUP	
Light Fleet-Based Services															A	MUP	MUP	
Media Production																		
Backlots and Soundstages															MUP	MUP	MUP	
Broadcast Studios								A			A	M/A			A	A	A	
Heliport								CUP	CUP						CUP	CUP		
Parking Facilities								CUP	CUP				CUP	CUP		CUP	CUP	See Sec. 17.86.200
Public Safety Facilities								CUP									CUP	
Transit Station or Terminal								CUP					CUP	CUP		MUP	A	
Utilities Facilities																		
Facilities with Onsite Staff	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	Ground-mounted equipment in residential zones shall be screened by landscaping to the satisfaction of the Director.
Facilities with No Onsite Staff (unmanned)	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP		
Transmission Lines	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP		

Table 2-1: Uses Allowed By Zone																	
Key:	A = Allowed; MUP = Minor Use Permit approval required; CUP = Conditional Use Permit approval required																Specific Use Regulations
	M/A = Minor Use Permit approval required on ground floor along street frontage, allowed on second floor or above																
Land Use	Permit Requirement by Zoning District																Specific Use Regulations
	AG	C/OS	R-1	R-2	R-3	R-4	PF	O	C-N	C-C	C-R	C-D	C-T	C-S	M	BP	

CANNABIS ACTIVITY

Cannabis																	See Section 17.86.080		
Specialty Cultivator																MUP	MUP	MUP	
Small Cultivator																MUP	MUP	MUP	
Nursery																MUP	MUP	MUP	
Manufacturing																MUP	MUP	MUP	
Distributor																MUP	MUP	MUP	
Microbusiness												CUP				MUP/ CUP	MUP/ CUP	MUP/ CUP	See Sec. 17.86.080(E)(12) for specific requirements per zone.
Testing									CUP							A	A	A	Director's action required. See also Sec. 17.86.080(E)(9).
Retailer (Delivery)																MUP	MUP	MUP	
Retailer (Storefront)												CUP				CUP			

SPECIFIC AND TEMPORARY LAND USES

Educational Conferences						MUP	MUP												
Housing												MUP	MUP						
Homestay Rentals	See Sec. 17.86.160																		
Home Occupation	See Sec. 17.86.140																		
Food Trucks	See Sec. 17.86.120																		
Nightclubs and Live Entertainment											MUP	MUP	MUP	MUP	MUP	MUP			
Office - Temporary	See Chapter 17.113																		
Outdoor Temporary and/or Seasonal Sales	See Sec. 17.86.190 and Chapter 17.113																		
Parking Facility - Temporary								CUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP		See Chapter 17.113
Safe Parking			CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP			See Sec. 17.86.230
Special Event								MUP	MUP	MUP	MUP	MUP	MUP	MUP	MUP				See Chapter 17.113
Vending Machine	See Section 17.86.280																		

SECTION 4. A summary of this ordinance, together with the names of Council members voting for and against, shall be published at least five (5) days prior to its final passage, in the New Times, a newspaper published and circulated in this City. The Ordinance shall be effective thirty (30) days after its final passage.

INTRODUCED on the ____ day of _____, 2024, AND FINALLY ADOPTED by the Council of the City of San Luis Obispo on the ____ day of _____, 2024, on the following vote:

AYES:
NOES:
ABSENT:

Mayor Erica A. Stewart

ATTEST:

Teresa Purrington,
City Clerk

APPROVED AS TO FORM:

J. Christine Dietrick,
City Attorney

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of San Luis Obispo, California, on _____.

Teresa Purrington,
City Clerk