



Tree Committee
AGENDA

Monday, May 20, 2024, 5:30 p.m.

Council Hearing Room, 990 Palm Street, San Luis Obispo

SPECIAL MEETING OF THE TREE COMMITTEE

The Tree Committee holds in-person meetings. Zoom participation will not be supported at this time.

INSTRUCTIONS FOR PUBLIC COMMENT:

Public Comment prior to the meeting (must be received 3 hours in advance of the meeting):

Mail - Delivered by the U.S. Postal Service. Address letters to the City Clerk's Office at 990 Palm Street, San Luis Obispo, California, 93401.

Email - Submit Public Comments via email to advisorybodies@slocity.org. In the body of your email, please include the date of the meeting and the item number (if applicable). Emails *will not* be read aloud during the meeting.

Voicemail - Call (805) 781-7164 and leave a voicemail. Please state and spell your name, the agenda item number you are calling about, and leave your comment. Verbal comments must be limited to 3 minutes. Voicemails *will not* be played during the meeting.

**All correspondence will be archived and distributed to members, however, submissions received after the deadline may not be processed until the following day.*

Public Comment during the meeting:

Meetings are held in-person. To provide public comment during the meeting, you must be present at the meeting location. As this is a Special Meeting, public comment is limited to items listed on the agenda only.

Electronic Visual Aid Presentation. To conform with the City's Network Access and Use Policy, Chapter 1.3.8 of the Council Policies & Procedures Manual, members of the public who desire to utilize electronic visual aids to supplement their oral presentation are encouraged to provide display-ready material to the City Clerk by 12:00 p.m. on the day of the meeting. Contact the City Clerk's Office at cityclerk@slocity.org or (805) 781-7114.

1. CALL TO ORDER

Chair Elizabeth Lucas will call the Special Meeting of the Tree Committee to order.

2. PUBLIC COMMENT FOR ITEMS ON THE AGENDA

As this is a Special Meeting, public comment is limited to items listed on the agenda.

3. CONSENT

Matters appearing on the Consent Calendar are expected to be non-controversial and will be acted upon at one time. A member of the public may request the Tree Committee to pull an item for discussion. The public may comment on any and all items on the Consent Agenda within the three-minute time limit.

3.a CONSIDERATION OF MINUTES - MARCH 25, 2024 TREE COMMITTEE MINUTES

5

Recommendation:

To approve the Tree Committee Minutes of March 25, 2024.

4. TREE REMOVAL APPLICATION

4.a 10 HIGUERA ST (ARCH-0358-2023) REVIEW REQUEST TO REMOVE TWO TREES AND REPLANT 25 TREES AS PART OF A NEW MIXED-USE PROJECT THAT CONTAINS APPROXIMATELY 23,164 SQUARE FEET OF COMMERCIAL SPACE, A ONE BEDROOM RESIDENTIAL UNIT, AND ASSOCIATED SITE IMPROVEMENTS

9

Recommendation:

Review a request to remove two (2) Peruvian pepper (*Schinus mole*) trees, determine consistency with the City's Tree Regulations, and provide a recommendation to the Planning Commission.

5. ELECTION OF CHAIR AND VICE CHAIR

As required by the Tree Committee Bylaws, hold the annual election of Chair and Vice Chair to a one-year term.

6. COMMENT AND DISCUSSION

6.a ARBORIST REPORT

Receive a brief update from Urban Forest Program Coordinator / City Arborist Walter Gault.

7. ADJOURNMENT

The next Regular Meeting of the Tree Committee meeting is scheduled for June 24, 2024 at 5:30 p.m. in the Council Hearing Room at City Hall, 990 Palm Street, San Luis Obispo.

LISTENING ASSISTIVE DEVICES are available -- see the Clerk

The City of San Luis Obispo wishes to make all of its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's Office at (805) 781-7114 at least 48 hours before the meeting, if possible. Telecommunications Device for the Deaf (805) 781-7410.

Agenda related writings or documents provided to the Tree Committee are available for public inspection on the City's website:

[https://www.slocity.org/government/mayor-and-city-council/agendas-and-](https://www.slocity.org/government/mayor-and-city-council/agendas-and-minutes)

[minutes](https://www.slocity.org/government/mayor-and-city-council/agendas-and-minutes). Meeting video recordings can be found on the City's website:

<http://opengov.slocity.org/WebLink/Browse.aspx?id=61087&dbid=0&repo=CityClerk>



Tree Committee Minutes

March 25, 2024, 5:30 p.m.

Council Hearing Room, 990 Palm Street, San Luis Obispo

Tree Committee Members Present:	Member Alan Bate, Member Henry Bonifas, Member Brian Pineda, Member Emily Rosten, Vice Chair Ben Parker
Tree Committee Members Absent:	Member Daniel Canella, Chair Elizabeth Lucas
City Staff Present:	Urban Forest Supervisor / City Arborist Anthony Whipple, Urban Forest Program Coordinator / City Arborist Walter Gault, Deputy Director of Maintenance Greg Cruce, Deputy Clerk Megan Wilbanks

1. CALL TO ORDER

A Regular Meeting of the San Luis Obispo Tree Committee was called to order on March 25, 2024 at 5:30 p.m. in the Council Hearing Room at City Hall, 990 Palm Street, San Luis Obispo, by Vice Chair Parker.

Urban Forest Supervisor / City Arborist Anthony Whipple introduced the new Urban Forestry Program Coordinator / City Arborist, Walter Gault, who will take over as the staff liaison for the Tree Committee.

2. PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA

Public Comment:

Fitzgerald Kelly

--End of Public Comment--

3. CONSENT

3.a CONSIDERATION OF MINUTES - FEBRUARY 12, 2024 TREE COMMITTEE MINUTES

Motion By Member Bate

Second By Member Pineda

To approve the Tree Committee Special Meeting Minutes of February 12, 2024.

Ayes (4): Member Bate, Member Bonifas, Member Pineda, and Vice Chair Parker

Abstained* (1): Member Rosten

**per Tree Committee Bylaws, abstentions without a conflict of interest count as a "Yes" vote*

Absent (2): Member Canella, and Chair Lucas

CARRIED (5 to 0)

4. TREE REMOVAL APPLICATION

4.a 1065 HIGUERA STREET TREE REMOVAL APPLICATION

Urban Forest Supervisor / City Arborist Anthony Whipple presented the staff report and responded to Committee inquiries.

The applicant, Tom Brown, and property owner, Ernie Kim, provided an overview of the Tree Removal Application and responded to questions raised.

Vice Chair Parker opened Public Comment

Public Comment:

Fitzgerald Kelly

--End of Public Comment--

Motion By Member Bate

Second By Member Rosten

Recommend the Community Development Director approve the Tree Removal Application to remove four (4) Mexican Palm (*Washingtonia robusta*) trees, located at 1065 Higuera Street, with the following recommendations:

- Replacement shall occur at a 1:1 ratio with four (4) 24-inch box trees planted in-ground on the site.
- Require that tree varieties be selected from the City's Master Tree List.
- The applicant is encouraged to provide protection around the young trees, such as stakes or a cage, to discourage vandalism and prevent damage to the trees.

Ayes (5): Member Bate, Member Bonifas, Member Pineda, Member Rosten, and Vice Chair Parker

Absent (2): Member Canella, and Chair Lucas

CARRIED (5 to 0)

5. COMMENT AND DISCUSSION

5.a ARBORIST REPORT

Urban Forest Supervisor / City Arborist Anthony Whipple provided the following update of upcoming projects and activities in the Tree Division:

- Onboarding Walter Gault, the new Urban Forestry Program Coordinator / City Arborist. Tree Removal Applications and Appeals will now filter through Mr. Gault's office in Community Development
- Update on San Luis Ranch tree removals
- Update on trees removals along Monterey Street and at the intersection of Monterey Street and Toro Street

Senior Planner Rachel Cohen provided more details on the San Luis Ranch tree removal request.

Deputy Director of Maintenance Operations Greg Cruce informed the Committee that staff from Public Works will provide quarterly maintenance updates at future Tree Committee meetings.

6. ADJOURNMENT

The meeting was adjourned at 6:13 p.m. The next Regular Meeting of the Tree Committee is scheduled for April 22, 2024 at 5:30 p.m. in the Council Hearing Room at City Hall, 990 Palm Street, San Luis Obispo.

APPROVED BY TREE COMMITTEE: XX/XX/2024

TREE COMMITTEE AGENDA REPORT

SUBJECT: REQUEST TO REMOVE TWO TREES AND REPLANT 25 TREES AS PART OF A NEW MIXED-USE PROJECT THAT CONTAINS APPROXIMATELY 23,164 SQUARE FEET OF COMMERCIAL SPACE, A ONE BEDROOM RESIDENTIAL UNIT, AND ASSOCIATED SITE IMPROVEMENTS

FILE NUMBER: ARCH-0358-2023

PROJECT ADDRESS: 10 Higuera St.

BY: Rachel Cohen, Senior Planner
 Phone Number: (805) 781-7574
 Email: rcohen@slocity.org

FROM: Walter Gault, Urban Forestry
 Program Coordinator / City Arborist
 Phone Number: (805) 783-7883
 Email: wgault@slocity.org

APPLICANT: Keith Sweeny

REPRESENTATIVE: Neil Miller, TenOver Studios

RECOMMENDATION

Review the proposed tree removals for consistency with the City's Tree Regulations and provide a recommendation to the Planning Commission.

SITE DATA

Zoning: Service Commercial with a special consideration overlay (C-S-S) & Tourist Commercial with a mixed-use overlay (C-T-MU) zone

General Plan: General Retail and Services & Manufacturing

Site Area: 2.96-acre parcel (128,938 square feet)

Environmental Status: The project is categorically exempt from environmental review under CEQA Guidelines section 15332 (Class 32, Infill Development Projects)

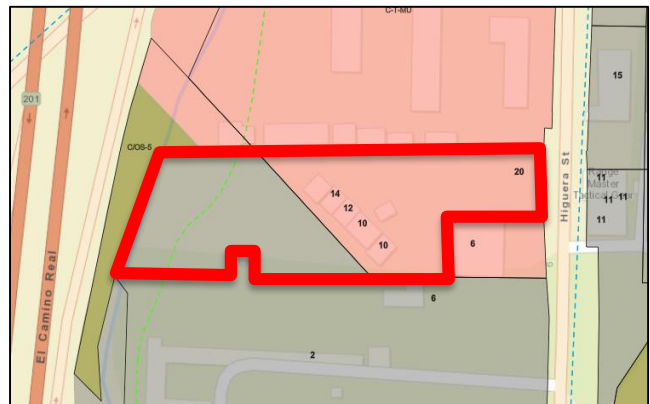


Figure 1: Subject Property Location

1.0 PROJECT DESCRIPTION

Keith Sweeny (Applicant) has applied for a Major Development Review (ARCH-0358-2023) to allow for the construction of a new mixed-use project that contains approximately 23,164 square feet of commercial space [proposed to be occupied by a distillery, restaurant, tasting room, and associated spaces] and a one-bedroom residential unit with associated site improvements, a sign program, and a request to remove two trees. The project is proposed on property located at 10 Higuera Street (Assessor Parcel Numbers [APN] 004-511-015, 004-511-022) that is 2.96 acres in size located in the Service Commercial with a special consideration overlay (C-S-S) & Tourist Commercial with a mixed-use overlay (C-T-MU) zone (see Attachment A, Project Plans).

ARCH-0358-2023 (10 Higuera Street)
Tree Committee Report – May 20, 2024

Along with the new mixed-use structure, the project will include various site improvements. Demolition activities would include the removal of asphalt, concrete, various accessory structures, and two pepper trees. The project also proposes site improvements including installation on-site water lines, a backflow preventer, new water meters, sewer service lines within the site and a connection to existing City wastewater infrastructure. Underground electrical service would be installed throughout the project site and connect to a new transformer. The project would include on-site amenities including a trash enclosure, a parking lot, bicycle parking, and landscaping (including the planting of 25 trees).

2.0 COMMITTEE PURVIEW

The Tree Committee's role is to review the project and provide a recommendation to the Planning Commission regarding consistency with the policies and standards set forth in San Luis Obispo Municipal Code (SLOMC) Section 12.24 (Tree Regulations).

3.0 TREE REGULATIONS

The City's Tree Ordinance (Municipal Code Chapter 12.24) was adopted in 2010 and recently updated in 2019 with the purpose of establishing a comprehensive program for installing, maintaining, and preserving trees within the City. This ordinance establishes policies, regulations, and specifications necessary to govern installation, maintenance, removal, and preservation of trees to beautify the city; to purify the air; to provide shade and wind protection; to add environmental and economic value; and to preserve trees with historic or unusual value.

Criteria for Construction Related Tree Removal Recommendations. SLOMC §12.24.090 subsection F.4 requires review by the Tree Committee for tree removal requests related to discretionary permit applications for Major Development Review and make a recommendation based on criteria set forth in subsection G. Applicable criteria are provided below with a description of how the proposed project responds.

- Size of Tree. The applicant is requesting to remove two trees (identified as Tree 1 and Tree 2 in the Arborist Report, Attachment C). Tree 1 is a *Schinus mole* (Peruvian pepper) that is in good health, structure, and form and is 48-inches in diameter at standard height (4.5-feet above natural grade). Tree 2 is also a *Schinus mole* (Peruvian pepper) and is in good health but fare structure and poor form. The issues with Tree 2's form and structure are due to pruning for overhead utilities that has created an off-balanced tree. It is 36-inches in diameter at standard height.
- Location of Tree on Private Property. The two trees are located interior to the almost 3-acre project site. Tree 1 is located over 400 feet from the public right of way behind an existing structure. It can be seen from the public right of way but is not of high visual impact to the neighborhood. Tree 2 is located behind a structure located at 6 Higuera Street and not easily visible from the public right of way.

ARCH-0358-2023 (10 Higuera Street)
Tree Committee Report – May 20, 2024

- Species of Tree. Trees 1 and 2 are both non-native trees. The Peruvian pepper tree, according to the Arborist Report, is mildly invasive and can be problematic near washes, creeks, and waterways. The project site is bordered by the San Luis Obispo Creek to the west and Exposition Creek to the south.
- Compliance Regarding Compensatory Plantings. The applicant is proposing to replant 25 trees on the site. Project Plans sheet L1.0 (Attachment A) shows the location and species of the new trees. The Plans include 6, 15-gallon *Aesculus californica* (California Buckeye), 11, 24-inch box *Arbutus* (Marina Strawberry Tree) and 3, 24-inch *Quercus rubra* (Red Oak). This proposal is beyond the one-to-one replacement planting outlined in Municipal Code [Section 12.24.090\(J\)](#).

Based on the criteria above, Trees 1 and 2, although larger in size, are not native, do not appear to provide high visual impact to the neighborhood, and the applicant is replacing the two trees with 25 trees and as such the proposed tree removals appear to be consistent with the City's Tree Regulations.

4.0 ACTIONS

- 4.1 Recommend findings of consistency with the Tree Regulations. An action recommending approval of the application based on consistency with the Tree Regulations (SLOMC Section 12.24) will be forwarded to the Planning Commission for final action. This action may include recommendations for conditions to address consistency with the Tree Regulations.
- 4.2 Continue the project to a hearing date certain, or uncertain. An action continuing the application should include direction to the applicant and staff on pertinent issues.
- 4.3 Recommend findings of inconsistency with the Tree Regulations. An action recommending denial of the application should include findings that cite the basis for denial and should reference inconsistency with the General Plan, Tree Regulations, or other policy documents.

5.0 ATTACHMENTS

- A - Project Plans (ARCH-0358-2023)
- B - Tree Removal Site Plan (ARCH-0358-2023)
- C - Arborist Report and Tree Protection Plan (ARCH-0358-2023)
- D - Tree Removal Application (ARCH-0358-2023)

10 HIGUERA

10 HIGUERA ST., SAN LUIS OBISPO, CA 93401

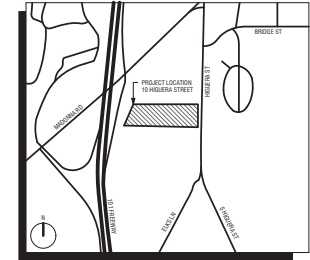


SUMMARY OF CONTEXT

Our site is primarily surrounded by C-5 AND C-7 zones. The site is situated between 101 and Higuera street. Directly to the south is a cemetery and southeast of the property is the South Hills Open Space nature conservation. To the east of the site there are 1-story retail buildings and to the north there are 1-story commercial buildings.



VICINITY MAP



SHEET INDEX (ARC)

GENERAL	TITLE SHEET
11.0	
C1.0	EXISTING CONDITIONS
C2.0	SITE DEMOLITION PLAN
C2.1	SITE PLAN
C4.1	GRADING AND DRAINAGE PLAN
C4.2	USE SECTIONS
C5.1	UTILITY PLAN
C6.1	STORMWATER CONTROL PLAN
C7.1	CONSTRUCTION DETAILS

LANDSCAPE	LANDSCAPE PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE PLAN
L3.0	LANDSCAPE CUT SHEET

ARCHITECTURE	SITE PLAN
A1.0	SITE PLAN
A2.0	FIRST FLOOR PLAN
A2.1	SECOND FLOOR PLAN
A2.2	EXTERNAL ELEVATIONS
A3.1	SCREENING PROGRAM
A4.0	PERSPECTIVE IMAGES

PROJECT DIRECTORY

OWNER	CONTACT:	ARCHITECT	CONTACT:
KATH SWANEY	PHONE: 805.541.1010	TEN OVER STUDIO	PHONE: 805.541.1010
275 MARSH LANE	EMAIL: kate@tenoverstudio.com	538 MARSH ST	EMAIL: jared@tenoverstudio.com
SAN LUIS OBISPO, CA 93401		SAN LUIS OBISPO, CA 93401	
CIVIL ENGINEER	CONTACT:	LANDSCAPE ARCHITECT	CONTACT:
BOB ENGINEERS	PHONE: 805.461.9400	TEN OVER STUDIO	PHONE: 805.541.1010
1001 1/2 STREET, SUITE 300	EMAIL: bob@bobengineers.com	538 MARSH ST	EMAIL: jared@tenoverstudio.com
SAN LUIS OBISPO, CA 93401		SAN LUIS OBISPO, CA 93401	

AGENCIES & UTILITIES

CITY OF SAN LUIS OBISPO - COMMUNITY DEVELOPMENT DEPARTMENT	
919 PALM STREET	PH: 805.781.7100
SAN LUIS OBISPO, CA 93401	
CITY OF SAN LUIS OBISPO - BUILDING DEPARTMENT	
919 PALM STREET	PH: 805.781.7100
SAN LUIS OBISPO, CA 93401	
CITY OF SAN LUIS OBISPO - PLANNING DEPARTMENT	
919 PALM STREET	PH: 805.781.7100
SAN LUIS OBISPO, CA 93401	
CITY OF SAN LUIS OBISPO - PUBLIC WORKS DEPARTMENT	
515 HIGHLAND STREET, CA 93401	PH: 805.781.7200
CITY OF SAN LUIS OBISPO - FIRE DEPARTMENT	
2160 SANTA BARBARA AVENUE	PH: 805.781.7300
SAN LUIS OBISPO, CA 93401	
P&E	
406 HIGUERA STREET	PH: 807.743.5000
SAN LUIS OBISPO, CA 93401	
SOUTHERN CALIFORNIA GAS COMPANY	
1574 BROAD STREET	PH: 1.800.437.2200
SAN LUIS OBISPO, CA 93401	

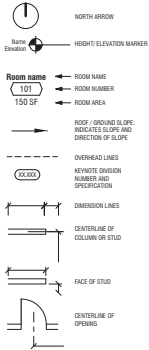
CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA HISTORICAL BUILDING STANDARDS CODE
- 2022 CALIFORNIA RESTORE STANDARDS CODE
- 2022 CALIFORNIA RETROFIT STANDARDS CODE

CITY OF SAN LUIS OBISPO MUNICIPAL CODE, TITLE 5 BUILDINGS AND CONSTRUCTION
CITY OF SAN LUIS OBISPO TITLE 17 ZONING REGULATIONS

DRAWING SYMBOLS



PARKING CALCULATIONS

PARKING REQUIRED (PER PROPOSED USE)	AREA SF	PARKING FACTOR	SPACES REQUIRED
WAREHOUSE	7070 SF	1 / 1000 SF	5
DISTILLERY	8028 SF	1 / 1000 SF	6
STILLS	514 SF	1 / 1000 SF	1
RESTAURANT	3084 SF	1 / 100 SF	30
RESIDENTIAL UNIT	864 SF	20 / 1000 SF	7
TALKING ROOM	2498 SF	1 / 100 SF	24
TOTAL REQUIRED			78

TOTAL NEW SPACES PROVIDED FOR PROJECT (PER PROPOSED USE) 78

TOTAL EXISTING SPACES FOR EXISTING USES (PER EXISTING ZONING & DEVELOPMENT) 38

TOTAL NEW SPACES ON PROPERTY (TOTAL ALL EXISTING AND PROPOSED AVAILABLE) 116

ADA SPACES	USE	# OF SPACES	ADA FACTOR	ADA REQUIRED
COMMERICAL	78	4.00	78 / 100 SPACES	4
	PROVIDED TOTAL			1 WALK, 3 STD

EV REQUIRED	USE	# OF SPACES	EV FACTOR	EV REQUIRED
COMMERICAL	78	1.00	78 / 100 SPACES	8
	COMMERICAL	78	25% OF SPACES	19
PROVIDED TOTAL	EV REQUIRED			1 WALK, 1 STD
	EV CAPABLE			19 STD

MOTORCYCLE	USE	# OF SPACES	PARKING FACTOR	MOTORCYCLE REQUIRED
COMMERICAL	78	1.00	10 / 100 SPACES	4
	PROVIDED TOTAL			4

BICYCLE PARKING CALCULATIONS

BICYCLE PARKING REQUIRED	NET COUNT (ON ST)	TOTAL BICYCLE	SHORT TERM	LONG TERM	
WAREHOUSE	7070 SF	1 / 1000 SF	4	25%	1
DISTILLERY	8028 SF	1 / 1000 SF	4	25%	1
STILLS	514 SF	1 / 1000 SF	1	25%	0
RESTAURANT	3084 SF	1 / 100 SF	6	75%	0
RESIDENTIAL UNIT	1 UNIT	3 / UNIT	0	0	3
TALKING ROOM	2498 SF	1 / 100 SF	16	75%	12
REQUIRED TOTAL			28	15	
PROVIDED TOTAL			28	15	

BUILDING INFO

DISTILLERY, WAREHOUSE & RESTAURANT BAY

OCCUPANCY A-2, A-2.1, M-2, B, D, S, 1

CONSTRUCTION TYPE VI

STORIES PROPOSED 2 STORES

HIGHEST PROPOSED 4P

BUILDING AREA SF 27,380 SF

ALLOWABLE BUILDING HEIGHT, STORIES & AREAS

HEIGHT	STORIES	AREA FACTOR (applies to all)
A-2	2	16,000
A-2	2	16,000
A-1	3	25,000
M-2	4	5,000
M-3	4	UNLIMITED
M-3	4	UNLIMITED
S-1	8	37,000

SEPARATED OCCUPANCIES (SEPARATED USE)	ALLOWABLE AREA	ACTUAL AREA	RATIO	
FIRST FLOOR	A-2	3,240	16,000	0.21
	A-1	8,830	25,000	0.36
	M-2	914	5,000	0.18
	M-3	108	UNLIMITED	0.00
	S-1	1,976	37,000	0.06
TOTAL		5,274	16,000	0.36
	M-3	708	UNLIMITED	0.00
TOTAL				0.36

SEPARATED OCCUPANCIES (SEPARATED USE)	ALLOWABLE HEIGHT	ACTUAL HEIGHT	HEIGHT PROPOSED	# OF STORES
	A-2	30'-0"	33'-0"	1
	A-1	40'-0"	33'-0"	1
	M-3	40'-0"	40'-0"	2
	M-3	40'-0"	29'-0"	1
	S-1	80'-0"	33'-0"	1

PROJECT DESCRIPTION

THE PROPOSED PROJECT INVOLVES THE SITE DEVELOPMENT OF AN EXISTING 2.96 ACRE LOT IN TWO SEPARATE PHASES WITHIN THE COMMERCIAL, TOURISM AND COMMERCIAL SERVICES ZONES. THE PRIMARY GOAL OF THE PROJECT IS TO CREATE A DESTINATION THAT ALLOWS LOCAL BUSINESS AND VISITORS TO HAVE AN IMMERSIVE EDUCATIONAL EXPERIENCE WHILE PROMOTING THE LOCAL BUSINESSES ON SITE.

PHASE ONE INCLUDES OVERALL SITE IMPROVEMENTS, GRADING AND DRAINAGE, UTILITY UPDATES, VEHICULAR AND PEDESTRIAN PATHS AND EXPOS, SITE PARKING, LANDSCAPING, A TRASH ENCLOSURE, AND A NEW TWO STORY 21,600 SF PRE-ENGINEERED METAL SHELL BUILDING WITH RESIDENTIAL USE PROVIDED PER MIXED USE ZONING OVERLAY.

PHASE TWO (UNDER SEPARATE PERMITS) WILL INCLUDE THE TENANT IMPROVEMENTS WITHIN THE NEW 21,600 SF SHELL BUILDING TO BE A NEW RESTAURANT, BAR, DISTILLERY, AND DISTILLERY WAREHOUSE.

THE PROPOSED USES ARE ALLOWABLE ON SITE PER THE CITY OF SAN LUIS OBISPO MUNICIPAL CODE, SECTION 17.10.020, TABLE 2.1. COMMERCIAL LEASAGE FEE (PER SLO MARV CODE CHAPTER 4.80) WILL BE PAID PRIOR TO BUILDING PERMIT OBTAINANCE.

LAND USE REQUIREMENTS

ADDRESS	10 HIGUERA ST. SAN LUIS OBISPO, CA 93401
APN	004-011-016 & 004-011-002
ZONING	C-5, C-7
CHECKED ZONING	M-2
CURRENT USE	WAREHOUSE, DISTILLERY, BREWERY
PROPOSED USE	RESTAURANT, DISTILLERY, WAREHOUSE
ALLOWED USE IN ZONE	RESTAURANT, YES; BARS, MUP, WAREHOUSE, YES
ENVIRONMENTAL USE PERMIT REQUIRED	Y
NET AREA	17,000 SF
C-5 TOURIST COMMERCIAL	
MAX SITE COVERAGE	ALLOWABLE: 75% PROPOSED: 20%
MAX FLOOR AREA	ALLOWABLE: 2.5 PROPOSED: 2.58
HEIGHT LIMIT	ALLOWABLE: 40'-0" PROPOSED: 40'-0"
C-5 SERVICE COMMERCIAL	
MAX SITE COVERAGE	ALLOWABLE: 75% PROPOSED: 15%
MAX FLOOR AREA	ALLOWABLE: 1.5 PROPOSED: 2.14
HEIGHT LIMIT	ALLOWABLE: 30'-0" PROPOSED: 33'-0"
ALIGNMENT ZONES	
	NORTH
	EAST
	SOUTH
	WEST
	C-5
	FRONT
	BACK
	LEFT
	RIGHT
	C-6
	FRONT
	BACK
	LEFT
	RIGHT
CREAK STRUTS	SLO CREAK 20 MIN. EXPOSITION CREAK 20 MIN.
DRIVE WALKWAY WIDTH	20.0

10
TEN OVER
STUDIO, INC

939 Marsh Street
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com
www.tenoverstudio.com

LICENSED ARCHITECT
NOT FOR CONSTRUCTION
CROSS
2.08.2023
08/28/23

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF TEN OVER STUDIO, INC. NO PART OF THIS DRAWING OR INFORMATION SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF TEN OVER STUDIO, INC.

10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

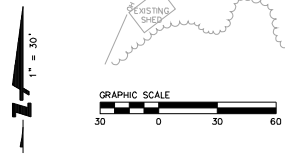
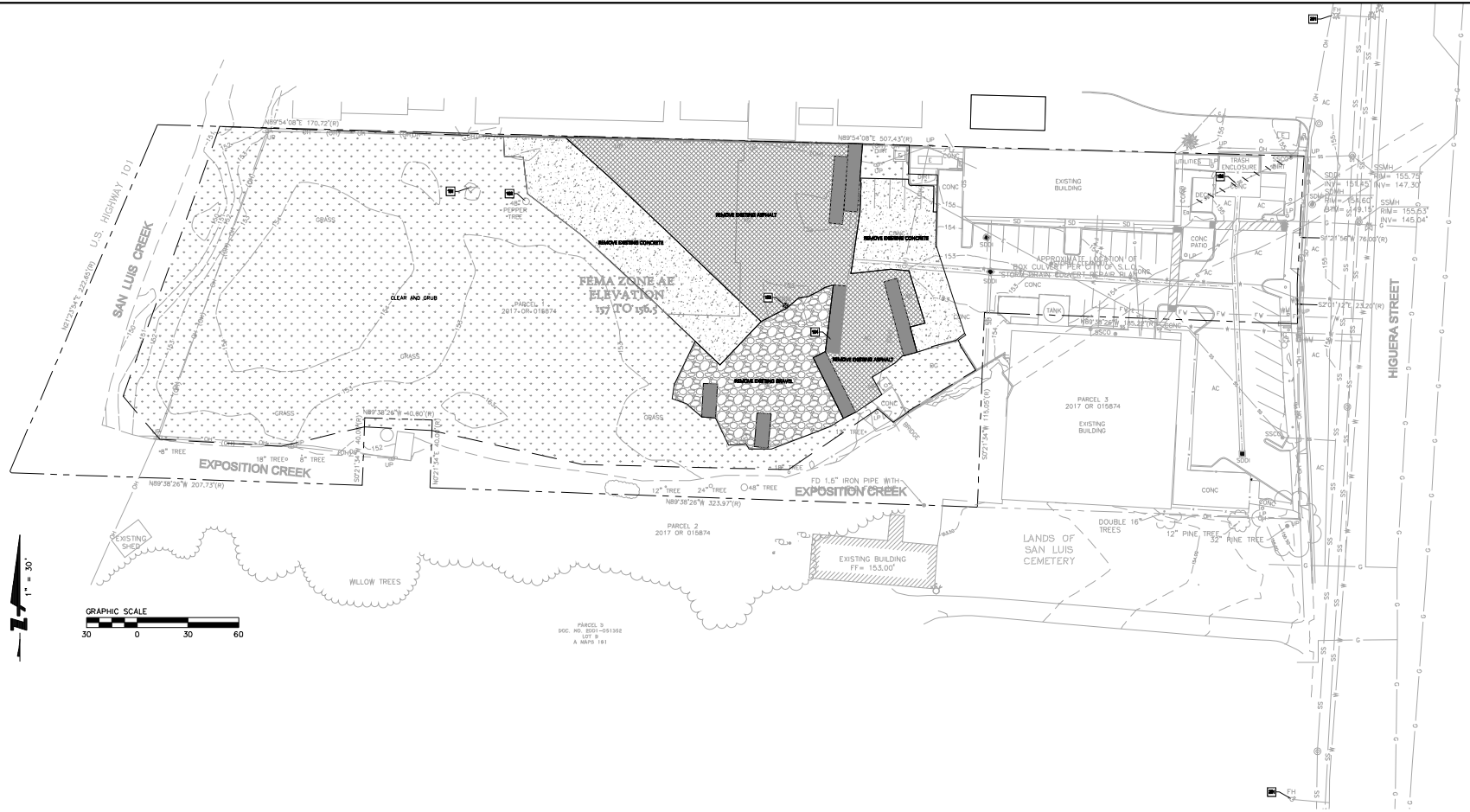
PHD: 4/ 2023-03
DRAWN BY: MZ
CHECKED BY: MZ

NO. DATE SUBMITTED
1- 2023 14 ARCH/REG SUBMITTAL 1
2- 24-23 28 ARCH/REG SUBMITTAL 1
3- 24-23 19 ARCH/REG SUBMITTAL 2

TITLE SHEET

T1.0

NOT FOR CONSTRUCTION



LEGEND

	LIMIT OF WORK
	REMOVE EXISTING UTILITY LINE
	REMOVE EXISTING CONCRETE
	REMOVE EXISTING GRAVEL
	CLEAR AND GRUB
	REMOVE EXISTING ASPHALT

DEMOLITION KEYNOTES

REMOVE
101 EXISTING WELL PER LOCATE REQUIREMENTS
102 EXISTING TREE
103 EXISTING STORM DRAIN STRUCTURE
104 EXISTING STORAGE UNITS (TYPICAL)
105 REMOVE EXISTING SEWER LATERAL

PROJECT

201 EXISTING FIRE HYDRANT

- NOTES**
- ITEMS SHOWN TO BE REMOVED ARE INDICATED FOR INFORMATION AVAILABLE TO THE ENGINEER. IT IS THE INTENTION OF THESE PLANS TO REMOVE ALL EXISTING UTILITIES AND IMPROVEMENTS, UNLESS OTHERWISE NOTED, TO ALLOW CONSTRUCTION OF THE PROPOSED IMPROVEMENTS, WHETHER INDICATED ON THE PLAN OR NOT, AND TO ALLOW FUTURE GRADING AND CONSTRUCTION OF IMPROVEMENTS TO OCCUR. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND THE PROPOSED IMPROVEMENT PLANS PRIOR TO BID.
 - ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED ON THE PLANS.
 - PROTECT ALL EXISTING UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED ON THE PLAN.
 - SUBCONTRACTOR IS RESPONSIBLE TO LEGALLY DISPOSE OF ALL NON HAZARDOUS REMOVED MATERIAL AT THE SUBCONTRACTOR'S EXPENSE.
 - THE SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL THE WORK PERFORMED BY HIS SUBCONTRACTORS WITHOUT DISCUSSION.
 - EXERCISE CAUTION DURING CONSTRUCTION TO PROTECT EXISTING UTILITIES, UTILITY BOXES, STRUCTURES, LANDSCAPING FEATURES, EQUIPMENT, CONCRETE SIDEWALK, CONCRETE CURB AND GUTTER, AND ASPHALT/CONCRETE PAVING TO REMAIN. REPAIR ANY DAMAGE RESULTING FROM SUBCONTRACTOR OPERATIONS AS DIRECTED BY OWNER.
 - SHALLOW UTILITIES MAY BE PRESENT. IDENTIFY AND LOCATE ALL UTILITIES IN PROJECT AREA PRIOR TO CONSTRUCTION.
 - ADJUST ALL EXISTING UTILITIES, BOXES, STRUCTURES, MANHOLES, AND VALVES WITHIN LIMIT OF WORK TO FINAL GRADE UNLESS OTHERWISE NOTED ON THE PLANS.
 - PROTECT ALL EXISTING UTILITY LINES, STRUCTURES, VALVES AND BUNDLES, UNLESS OTHERWISE NOTED ON THE PLANS.
 - THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT, ** BY, DATED,
 - COORDINATE WITH ALL SITE WORK WITH ALL DISCIPLINES, CIVIL DRAWINGS, ELECTRICAL, MECHANICAL, ETC.
 - SUBCONTRACTOR TO COORDINATE ALL TRENCHING AND ASSOCIATED PAVEMENT RESTORATION WITH UTILITY PLAN.
 - REFER TO UTILITY PLAN FOR PROPOSED PIPE LOCATIONS AND ALIGNMENT; TRENCHING MUST BE PROVIDED FOR INSTALLATION, IN ACCORDANCE WITH ALL APPLICABLE CONSTRUCTION SAFETY REQUIREMENTS NOT REFLECTED ON THE PLAN.
 - CONTRACTOR TO PATCH/REPAIR AND SUBMIT RFI IF DEPTH BELOW PROPOSED SUBGRADE DOES NOT MEET THE REQUIREMENTS IN THE PUBLIC DESIGN DRAWINGS AND REQUIREMENTS.
 - VOIDS CREATED BY THE REMOVAL OF MATERIALS OR UTILITIES DESCRIBED ABOVE

SHOULD BE CALLED TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER. NO FILL SHOULD BE PLACED UNLESS THE UNDERLYING SOIL HAS BEEN OBSERVED BY THE GEOTECHNICAL ENGINEER.
 CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY FOR WORK IN RIGHT OF WAY.

DRAWING NAME: C:\2023\230233_10_Higuera_Cem_San_Luis_Creek_Landmarks_Files\10_Higuera_Cem_San_Luis_Creek.dwg
 PLOT DATE: 03-18-24 PLOTTED BY: BUR

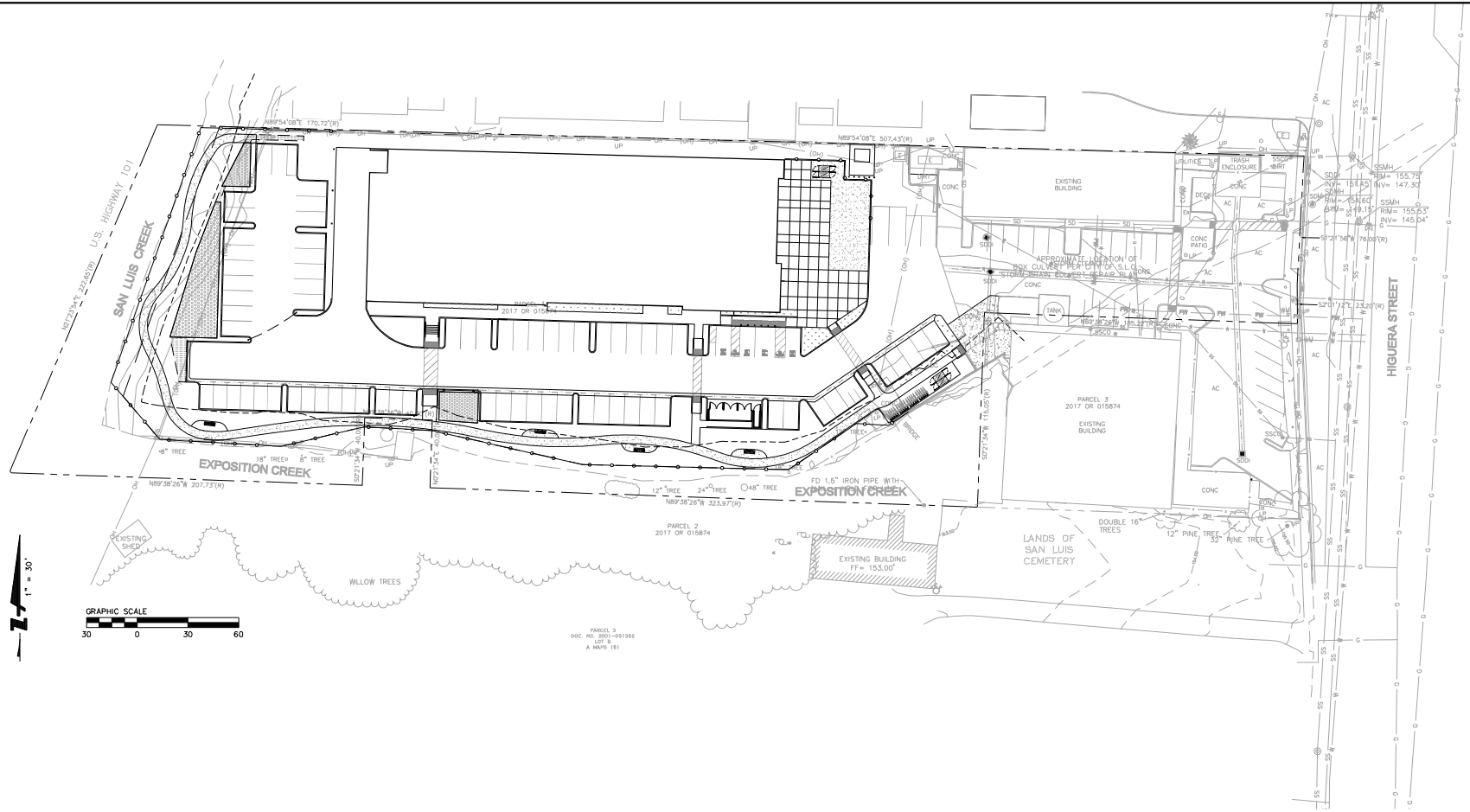


CALIFORNIA

**10 HIGUERA STREET
 DEMOLITION PLAN**
 SAN LUIS OBISPO

SAN LUIS OBISPO

Revisors	No.	Date	03-18-24
Scale	1" = 30'	Design	MB
Drawn	MB	Approved	JM
Job No.	20230233		
Drawing Number:	C2.0		
	2 OF 8		



DRAWING NAME: C:\2023\202331_Lands of San Luis\Drawings\Site\ENG-L\Drawings\Final\Plots.dwg
 PLOT DATE: 03-18-24 PLOTTED BY: BUR

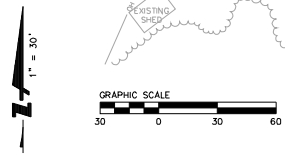
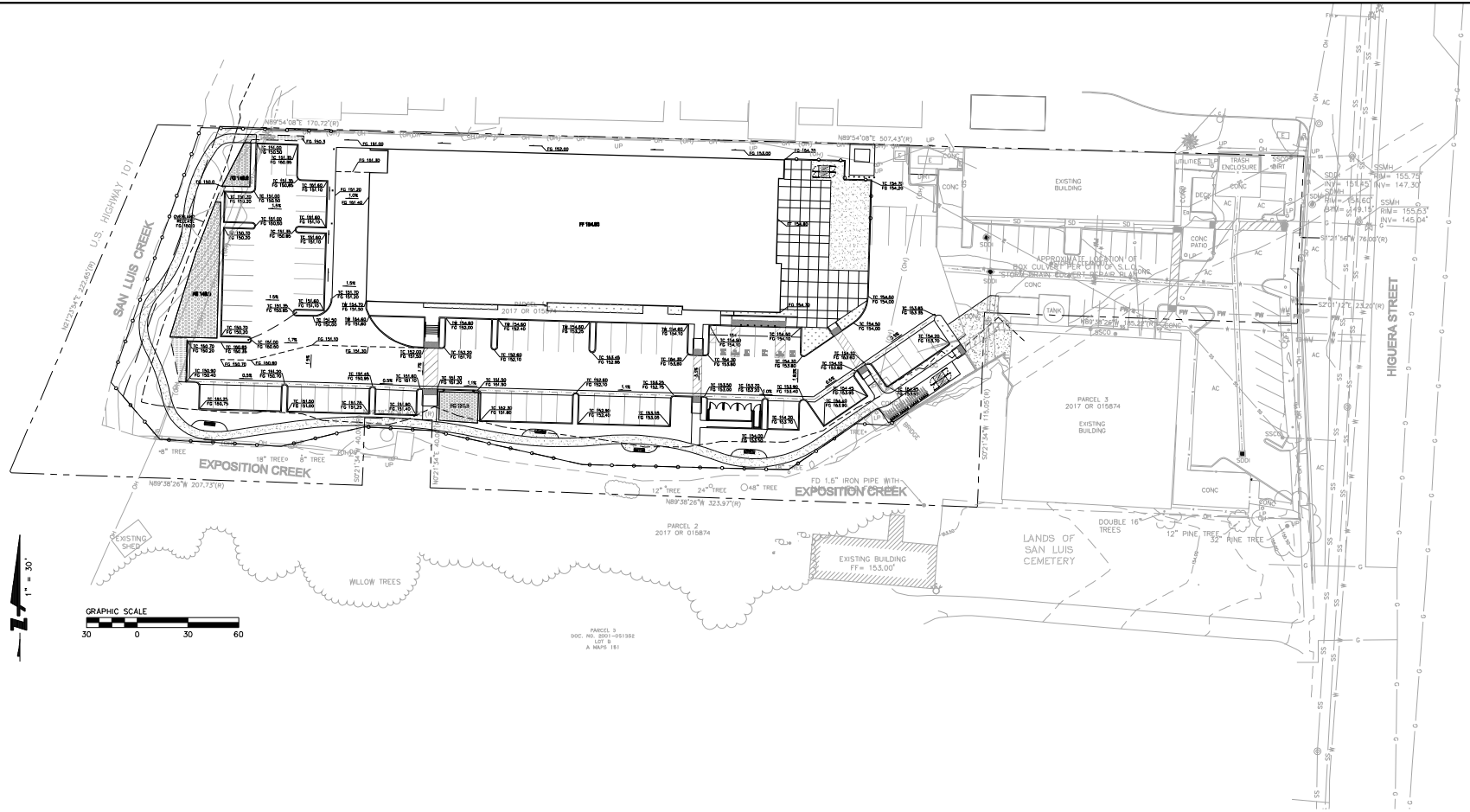


10 HIGUERA STREET
SITE PLAN
 SAN LUIS OBISPO CALIFORNIA

Revisions	
No.	Description

Date: 03-18-24
 Scale: 1" = 30'
 Design: MB
 Drawn: MB
 Approved: JM
 Drawing Number: Job No: 20230233

C3.0
 3 OF 8



PARCEL 1
DOC. NO. 2001-091388
L.P.S. #
A MAPS 181

PARCEL 2
2017 OR 015874

PARCEL 3
2017 OR 015874
EXISTING BUILDING
FF = 153.00

LANDS OF SAN LUIS CEMETERY

EXISTING BUILDING
FF = 153.00

EXISTING BUILDING
FF = 153.00

EXISTING BUILDING
FF = 153.00

EXISTING BUILDING
FF = 153.00

EXISTING BUILDING
FF = 153.00

EXISTING BUILDING
FF = 153.00

EXISTING BUILDING
FF = 153.00

EXISTING BUILDING
FF = 153.00

EXISTING BUILDING
FF = 153.00

DRAWING NAME: C:\2023\300311_10_Higuera_San_Luis_Creek_Lands_of_San_Luis_Cemetery_Plan.dwg
PLOT DATE: 03-18-24 PLOTTED BY: BUR

- LEGEND**
- GRADE BREAK LINE
 - SURFACE SLOPE
 - XXX SPOT ELEVATION

- ABBREVIATIONS**
- BW BOTTOM OF STAIRS
 - BS BACK OF WALK
 - EG EXISTING GRADE
 - FF FINISH FLOOR
 - FG FINISH GRADE
 - FL FLOWLINE
 - MA MATCH
 - TC TOP OF CURB
 - TS TOP OF STAIRS
 - TTS TOP OF TREATMENT SOIL

- NOTES**
1. ALL GRADING, EARTHWORK, AND SITE PREPARATION OPERATIONS ARE TO CONFORM WITH GUIDELINES AND REQUIREMENTS PER THE GEOTECHNICAL REPORT.
 2. PROVIDE ACCESSIBLE LANDING AT ALL DOORS AS FOLLOWS:
 - 2.1. WIDTH = 3'-0" MIN.
 - 2.2. DEPTH = 3'-0" MIN.
 - 2.3. CROSS SLOPE = 0.5% MIN, 2.0% MAX
 3. ALL ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL HAVE A CROSS SLOPE AT A MINIMUM OF 1.0% AND MAXIMUM 2.0% IN ALL DIRECTIONS.
 4. MAXIMUM SLOPE IN DEFINED DIRECTION OF TRAVEL SHALL NOT EXCEED 4.9% FOR ACCESSIBLE PATHS OF TRAVEL. THE MAXIMUM 4.9% SLOPE IS NOT AN AVERAGE, BUT RATHER A MAXIMUM FOR THE ENTIRE LENGTH OF TRAVEL.
 5. ALL MANHOLES, GRATES, CLEANSOUTS, AND VALVES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED TO FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 6. FOR DRAINAGE LAYOUT AND DESIGN WITHIN BUILDING LIMITS, SEE PLUMBING PLANS.
 7. THE SITE SHALL BE GRADED SO THAT NO ADDITIONAL RUNOFF IS DIRECTED TO AND SO AS NOT TO IMPED RUNOFF FROM ADJACENT PROPERTIES.
 8. ALL BUILDING SITES SHALL BE GRADED TO SLOPE AWAY FROM THE BUILDING AND BUILDING FOUNDATIONS WITH A MAXIMUM SLOPE OF 2% FOR 5 FEET MINIMUM IN LANDSCAPED AREAS AND A MINIMUM SLOPE OF .5% FOR 10 FEET MINIMUM IN LANDSCAPED AREAS, OR AS REQUIRED BY THE SOILS ENGINEER.
 9. IF DURING CONSTRUCTION, ARCHAEOLOGICAL OR NATIVE REMAINS OR ARTIFACTS ARE ENCOUNTERED, THE CONTRACTOR SHALL HALT CONSTRUCTION IN THE VICINITY AND SHALL NOTIFY THE CITY OF SAN LUIS OBISPO.
 10. SEE UTILITY PLAN FOR UTILITY GRATES, RIMS, AND LIDS. ALL GRATES, RIMS, AND LIDS SHALL BE ADA AND HELL PROOF RATED, AS WELL AS NON-SLIP.

EARTHWORK SUMMARY

TOTAL CUT = 4,400 CUBIC YARDS
 TOTAL FILL = 800 CUBIC YARDS
 TOTAL EXPORT = 3,600 CUBIC YARDS

EXPORT ENSURES ZERO-NET FILL GRADING PLAN



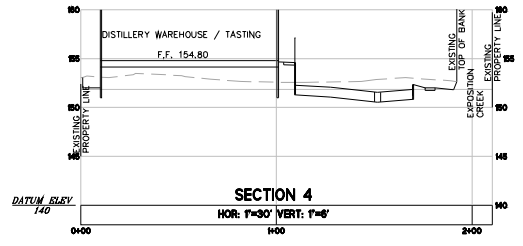
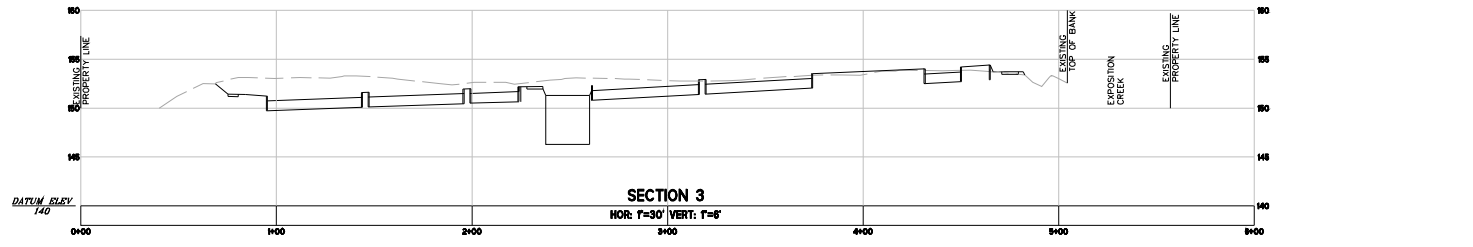
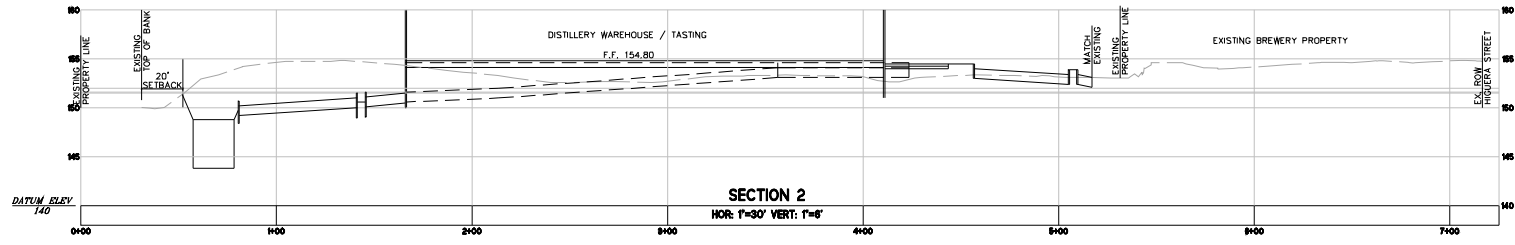
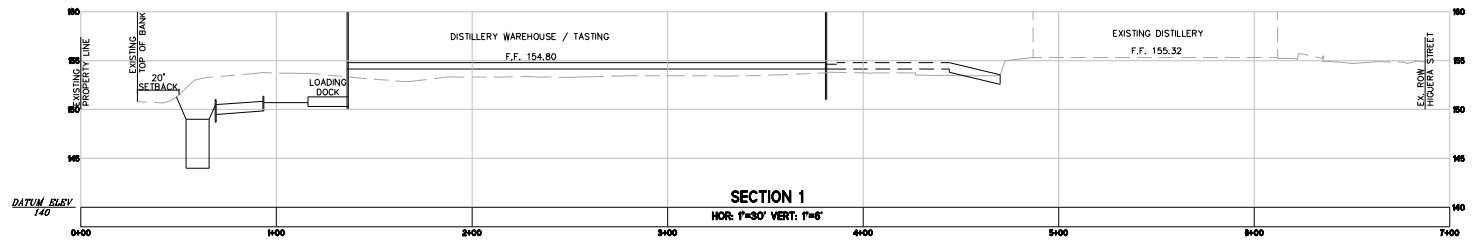
CALIFORNIA

**10 HIGUERA STREET
GRADING AND DRAINAGE PLAN**

SAN LUIS OBISPO

Revisors	No.	Date	Scale	Drawn	Checked	Approved	Job
		03-18-24	1" = 30'	MB	MB	JM	Ne02020233

Drawing Number:
C4.1
4 OF 8



DRAWING NAME: K:\2023\230331_10_Higuera.ctb\ENCL\Bname_Files\MA_Plots.dwg
PLOT DATE: 03-18-24 PLOTTED BY: BUR

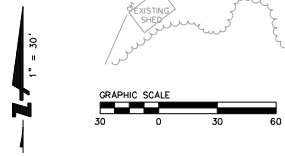
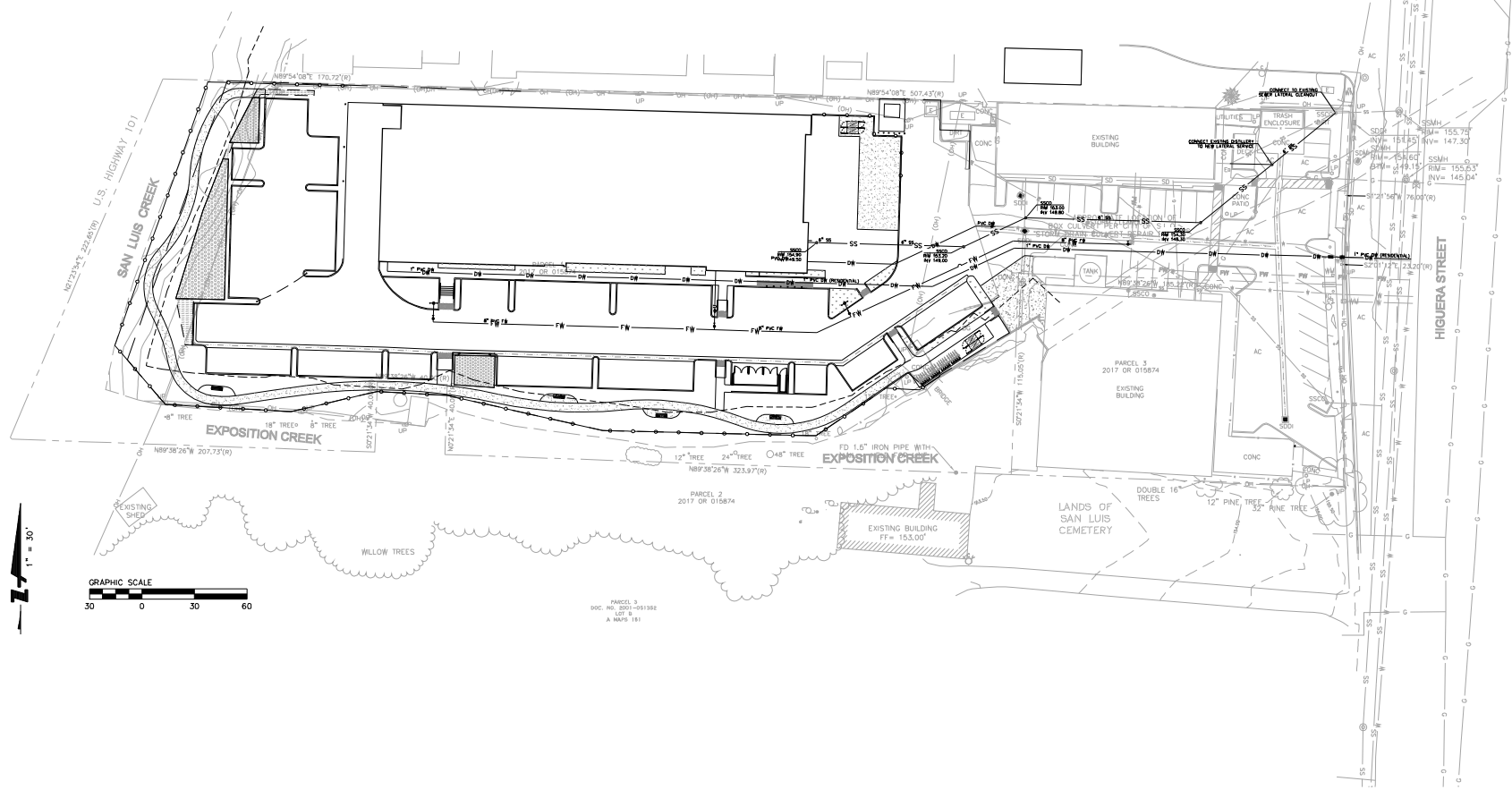


10 HIGUERA STREET
SITE SECTIONS
SAN LUIS OBISPO
CALIFORNIA

Revisors	
No.	Description

Date: 03-18-24
Scale: AS SHOWN
Design: MB
Drawn: MB
Approved: JM
Job: No20230233
Drawing Number:

C4.2
5 OF 8



ABBREVIATIONS:

- DW DOMESTIC WATER
- EX EXISTING
- E ELECTRIC
- FDC FIRE DEPARTMENT CONNECTION
- FL FLOWLINE
- FW FIRE WATER
- INV INVERT
- GRT GRATE
- PSB PERFORATED PIPE
- PV POST INDICATOR VALVE
- POC POINT OF CONNECTION
- PVC POLY(VINYL CHLORIDE)
- RPB REDUCED PRESSURE BACKFLOW
- SD STORM DRAIN
- SDAD STORM DRAIN AREA DRAIN
- SDCB STORM DRAIN CATCH BASIN
- SDIB STORM DRAIN CATCH BASIN
- SDMH STORM DRAIN MANHOLE
- SO SIDE OPENING
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- WM WATER METER

LEGEND:

- DOMESTIC WATER LINE (PVC C90)
- FIRE WATER LINE (PVC C90/C95)
- STORM DRAIN LINE (PVC SDR 26)
- STORM DRAIN PERFORATED PIPE (PVC SDR 35)
- STORM DRAIN INLET WITH FLOGARD - PLUS STANDARD CATCH BASIN INSERT FILTER
- STORM DRAIN CLEANOUT
- STORM DRAIN AREA DRAIN
- SANITARY SEWER LINE (PVC SDR 26)
- SANITARY SEWER CLEANOUT
- ⊙ SANITARY SEWER MANHOLE
- ↓ GATE VALVE
- JOINT TRENCH, SEE PSBE DRAWINGS
- FIRE HYDRANT
- ▼ THRUST BLOCK
- ◁ FIRE DEPARTMENT CONNECTION (FDC)
- ⬇ POST INDICATOR VALVE (PIV)
- WM WATER METER (WM) BOX
- ◻ REDUCED PRESSURE BACKFLOW (RPB)

DRAWING NAME: C:\2023\200333_10_Higuera_Street_San_Luis_Obispo_California_Plan.dwg
 PLOT DATE: 03-18-24
 PLOTTED BY: BUR



CALIFORNIA

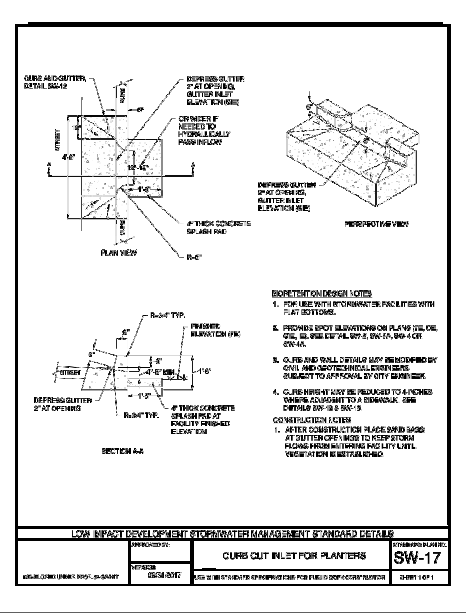
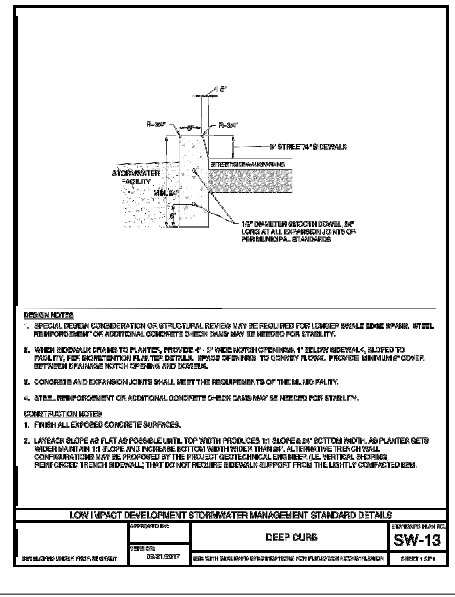
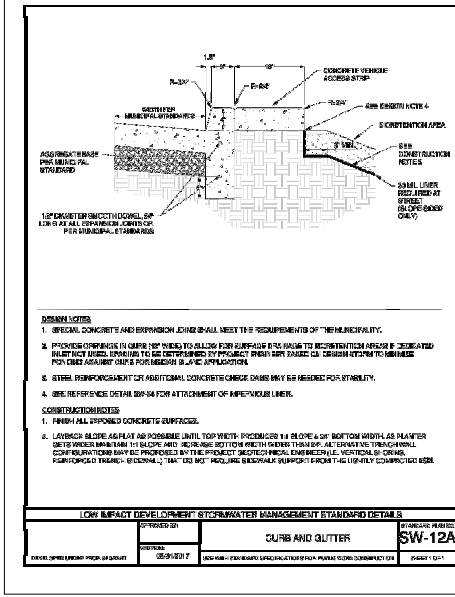
**10 HIGUERA STREET
 UTILITY PLAN**

SAN LUIS OBISPO

Revisions	
No.	Description

Date: 03-18-24
 Scale: 1" = 30'
 Design: MB
 Drawn: MB
 Approved: JM
 Job: No20230233

C5.1
 6 OF 8



DRAWING NAME: 10 Higuera Street SW-17 (ENC-1) - 18-24 PLOTTED BY: BUR



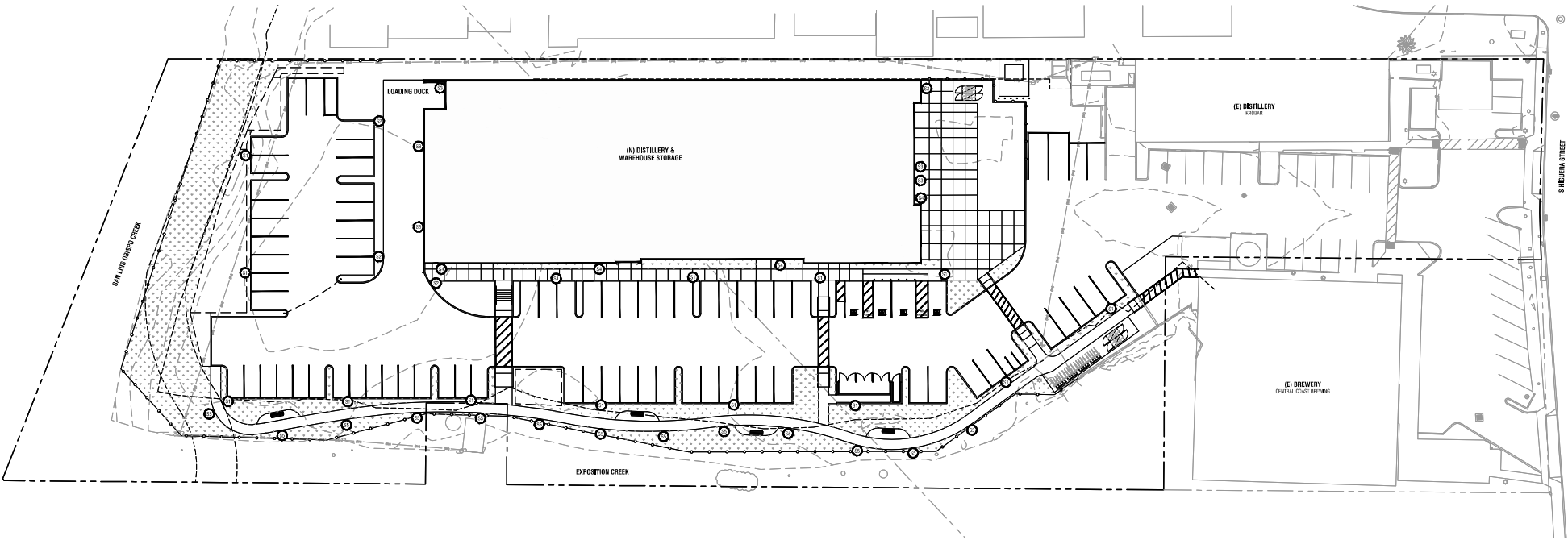
BKF ENGINEERS
20014 STREET
SANTA ROSA, CA 95401
(707) 538-0500
www.bkf.com

CALIFORNIA

10 HIGUERA STREET
CONSTRUCTION DETAILS

SAN LUIS OBISPO

Date	03-18-24	No.	
Scale	AS SHOWN	Revisions	
Drawn	MB		
Checked	MB		
Approved	JM		
Job No.	20220233		
Drawing Number:			
C7.1			
8 OF 8			



1 LIGHTING PLAN



LIGHTING SCHEDULE

SYMBOL	QTY.	DESCRIPTION	MODEL
Ⓜ	14	LETYONIA LIGHTING	OVERBUSH LED 5' X 4' X 4' LUMINAIRE P3 PERFORMANCE PACKAGE 4000 CCT 2.0 DENSITY 2.0 BULK/IN
Ⓝ	3	LETYONIA LIGHTING	OVERBUSH LED 5' X 4' X 4' LUMINAIRE P3 PERFORMANCE PACKAGE 4000 CCT 2.0 DENSITY 2.0 BULK/IN
Ⓞ	6	LETYONIA LIGHTING	W1022 LED WITH P35W - PERFORMANCE PACKAGE, 4000K, BUCK, RECAL, CONVERT FORWARD OPTIC
Ⓟ	4	BSFA	SURFACE MOUNTED CYLINDER
Ⓠ	13	BSFA	LOW LEVEL BOLLARD

LIGHTING PLAN GENERAL NOTES

1. REFER TO SHEET L1.0 FOR LIGHTING PRODUCT CUT SHEETS.
2. REFER TO PHOTOGRAPHIC LIGHTING PLAN PROVIDED BY OWS FOR MORE INFORMATION REGARDING PHOTOGRAPHIC VALUES AND PRODUCT INFORMATION.

10

TEN OVER STUDIO, INC

559 Marsh Street
San Luis Obispo, CA
805.541.0110
info@tenoverstudio.com
www.tenoverstudio.com



THIS DOCUMENT IS THE PROPERTY OF TEN OVER STUDIO, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF TEN OVER STUDIO, INC. THE USER OF THIS DOCUMENT AGREES TO HOLD TEN OVER STUDIO, INC. HARMLESS FROM ANY AND ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM OR OUT OF SUCH REPRODUCTION OR TRANSMISSION.

10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

PROJ # 222402
DRAWN BY: JZ
CHECKED BY: MA

NO.	DATE	REVISION
1	08/20/24	ISSUE FOR PERMITS SUBMITTAL
2	08/20/24	ISSUE FOR PERMITS SUBMITTAL
3	08/20/24	ISSUE FOR PERMITS SUBMITTAL

LIGHTING PLAN

L2.0

NOT FOR CONSTRUCTION

30-watt ballast - programmable wide beam

TYPE: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100

TYPE: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100

Available options: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100



BRGA LED ceiling mounted downlight - wide beam

TYPE: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100

TYPE: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100



BRGA WDG4 LED Architectural Wall Sconce

TYPE: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100

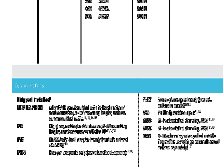
TYPE: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100



BRGA D-Series Size 0 LED Area Luminaire

TYPE: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100

TYPE: BRGA, PWD02, PWD03, PWD04, PWD05, PWD06, PWD07, PWD08, PWD09, PWD10, PWD11, PWD12, PWD13, PWD14, PWD15, PWD16, PWD17, PWD18, PWD19, PWD20, PWD21, PWD22, PWD23, PWD24, PWD25, PWD26, PWD27, PWD28, PWD29, PWD30, PWD31, PWD32, PWD33, PWD34, PWD35, PWD36, PWD37, PWD38, PWD39, PWD40, PWD41, PWD42, PWD43, PWD44, PWD45, PWD46, PWD47, PWD48, PWD49, PWD50, PWD51, PWD52, PWD53, PWD54, PWD55, PWD56, PWD57, PWD58, PWD59, PWD60, PWD61, PWD62, PWD63, PWD64, PWD65, PWD66, PWD67, PWD68, PWD69, PWD70, PWD71, PWD72, PWD73, PWD74, PWD75, PWD76, PWD77, PWD78, PWD79, PWD80, PWD81, PWD82, PWD83, PWD84, PWD85, PWD86, PWD87, PWD88, PWD89, PWD90, PWD91, PWD92, PWD93, PWD94, PWD95, PWD96, PWD97, PWD98, PWD99, PWD100



4 S5 BOLLARD

REFER TO SHEET L24 FOR LIGHTING SCHEDULE & PLAN

3 S4 LIGHT FIXTURE

REFER TO SHEET L24 FOR LIGHTING SCHEDULE & PLAN

2 S3 LIGHT FIXTURE

REFER TO SHEET L24 FOR LIGHTING SCHEDULE & PLAN

1 S1 & S2 LIGHT FIXTURE

REFER TO SHEET L24 FOR LIGHTING SCHEDULE & PLAN

Product name

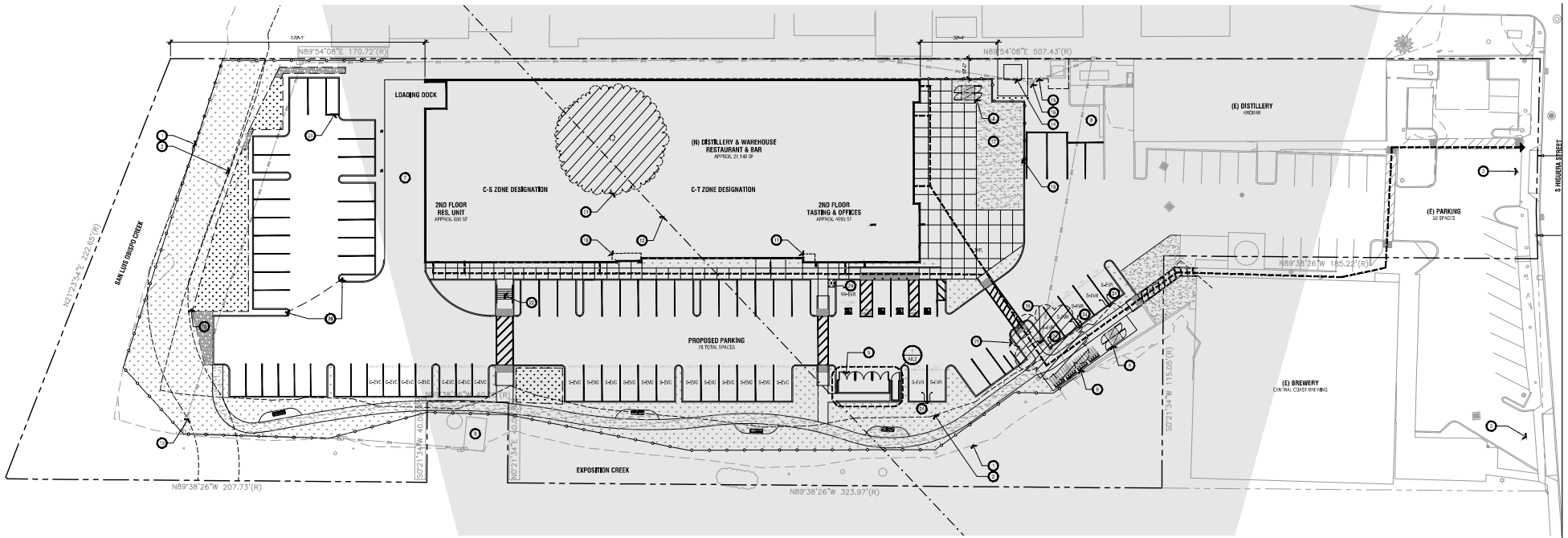
BRISKEY seat
BRISKEY
Designed by Andrew Engquist
BRISKEY seat is a high-quality, durable, and comfortable outdoor seating solution. It features a unique design with a curved backrest and a wide seat, providing a relaxing and ergonomic seating experience. The seat is made from high-quality materials and is built to last, making it a perfect choice for outdoor spaces. The seat is easy to assemble and is suitable for use in a variety of outdoor settings, including patios, decks, and gardens. The seat is also available in a variety of colors and finishes, allowing you to choose the perfect look for your outdoor space.

Anchoring/assembly
Primary materials
Warranty

Availability
Certifications
Warranty

6 BENCH

5



1 SITE PLAN



KEYNOTES

- TOP OF CREEK BANK LINE
- 20' SETBACK LINE FROM TOP OF CREEKBANK
- (E) DRIVEWAY, NOT A PART OF THIS PROJECT
- LONG TERM (5+ YEAR) PARKING (IN TOTAL, 2 EA)
- TROUGH ENCLOSURE TO COMPLY WITH CITY OF SAN LUIS OBISPO CITY ENGINEERING STANDARDS BY PROVIDING ADEQUATE BENCH TO STORE TRUCKS AND TRAILERS FOR WASTE, RECYCLING, DISCARDS, AND FUEL. FILL CITY OF SAN LUIS OBISPO CITY ENGINEERING STANDARDS TO 20' TO 25' TO 30' TO 35' TO 40' TO 45' TO 50' TO 55' TO 60' TO 65' TO 70' TO 75' TO 80' TO 85' TO 90' TO 95' TO 100' TO 105' TO 110' TO 115' TO 120' TO 125' TO 130' TO 135' TO 140' TO 145' TO 150' TO 155' TO 160' TO 165' TO 170' TO 175' TO 180' TO 185' TO 190' TO 195' TO 200' TO 205' TO 210' TO 215' TO 220' TO 225' TO 230' TO 235' TO 240' TO 245' TO 250' TO 255' TO 260' TO 265' TO 270' TO 275' TO 280' TO 285' TO 290' TO 295' TO 300' TO 305' TO 310' TO 315' TO 320' TO 325' TO 330' TO 335' TO 340' TO 345' TO 350' TO 355' TO 360' TO 365' TO 370' TO 375' TO 380' TO 385' TO 390' TO 395' TO 400' TO 405' TO 410' TO 415' TO 420' TO 425' TO 430' TO 435' TO 440' TO 445' TO 450' TO 455' TO 460' TO 465' TO 470' TO 475' TO 480' TO 485' TO 490' TO 495' TO 500' TO 505' TO 510' TO 515' TO 520' TO 525' TO 530' TO 535' TO 540' TO 545' TO 550' TO 555' TO 560' TO 565' TO 570' TO 575' TO 580' TO 585' TO 590' TO 595' TO 600' TO 605' TO 610' TO 615' TO 620' TO 625' TO 630' TO 635' TO 640' TO 645' TO 650' TO 655' TO 660' TO 665' TO 670' TO 675' TO 680' TO 685' TO 690' TO 695' TO 700' TO 705' TO 710' TO 715' TO 720' TO 725' TO 730' TO 735' TO 740' TO 745' TO 750' TO 755' TO 760' TO 765' TO 770' TO 775' TO 780' TO 785' TO 790' TO 795' TO 800' TO 805' TO 810' TO 815' TO 820' TO 825' TO 830' TO 835' TO 840' TO 845' TO 850' TO 855' TO 860' TO 865' TO 870' TO 875' TO 880' TO 885' TO 890' TO 895' TO 900' TO 905' TO 910' TO 915' TO 920' TO 925' TO 930' TO 935' TO 940' TO 945' TO 950' TO 955' TO 960' TO 965' TO 970' TO 975' TO 980' TO 985' TO 990' TO 995' TO 1000'
- SHORT TERM (5+ YEAR) PARKING: PEAK TRUCK OR TRAILER TO STAY BACK, ONE (1) EA
- BACK-UP TRAMP TO LOADING DOCK
- MECHANICAL PAD UNDER FUTURE TENANT IMPROVEMENT PERMIT
- (E) PUMP HOUSE TO REMAIN, NOT IN SCOPE
- FLAG POLE
- FIRE RISER PENETRATORY LOCATION: FLAG ROOM LOCATION AND RISER SHALL BE LOCATED FOR BUILDING PERMIT, NOT FOR RECORD.
- (E) ZONE BOUNDARY, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- EXTENT OF FUTURE BIR JONES TRAIL EASEMENT THROUGH SITE
- (N) TRASHROOM
- PUMP EASEMENT
- UTILITY POLE TO REMAIN, PROTECT IN PLACE
- DECOMPOSED GRANITE
- 10' FOOT FALL DECORATIVE LAMPSHED FENCING AT OUT ROOF AREA
- SWITCHGEAR LOCATION
- INCLUDE AND CHANGELINE LOCATION AT DRIVEWAY PARKING, ON-THE-SPOT PARKING SHALL REMAIN LOCATED WITH CONCRETE SURFACING TO BE REMOVED
- (E) PERMANENT FENCES TO BE REMOVED, IN PLACE SEE ARCHITECT REPORT FOR FENCE REMOVAL AND SITE PROTECTION INFORMATION
- CONCRETE STAIRS WITH HANDRAIL
- ACCESS TO PUMP EASEMENT ON NORTHERN PROPERTY LINE
- (N) LOCATION OF FUTURE ELECTRICAL VEHICLE CHARGING STATION (EVCS)

ARCHITECTURAL SITE PLAN LEGEND

- FLOOD SHADOW
- LANDSCAPE AREA
- STORMWATER TREATMENT LANDSCAPE AREA
- CONCRETE AT ENTRY PLAZA
- (S) PROPERTY LINE, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- (E) ZONE BOUNDARY, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- (S) GREEN BUILDING SETBACK LINE
- 6' FENCE - 6' TALL, COATED CHAIN LINK, COLOR BLACK
- SITE ARRIVAL POINT PATH OF TRAVEL FROM SIDEWALK AND OFF-ROADWAY ROUTE PATH OF TRAVEL

ARCHITECTURAL SITE PLAN GENERAL NOTES

1. REFER TO CITY OF SAN LUIS OBISPO ENGINEERING STANDARDS FOR FLOOD SHADOWS.
2. REFER TO SAN LUIS OBISPO CITY ENGINEERING STANDARDS FOR STORMWATER TREATMENT LANDSCAPE AREAS.
3. REFER TO SAN LUIS OBISPO CITY ENGINEERING STANDARDS FOR CONCRETE AT ENTRY PLAZA.
4. REFER TO SAN LUIS OBISPO CITY ENGINEERING STANDARDS FOR GREEN BUILDING SETBACK LINES.

10
TEN OVER
STUDIO, INC

559 Marsh Street
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com
www.tenoverstudio.com

RELEASED ARCHITECTURAL
NOT FOR CONSTRUCTION
CONSOLE
DATE: 03/20/2024
BY: JZ

THIS DOCUMENT IS THE PROPERTY OF TEN OVER STUDIO, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF TEN OVER STUDIO, INC.

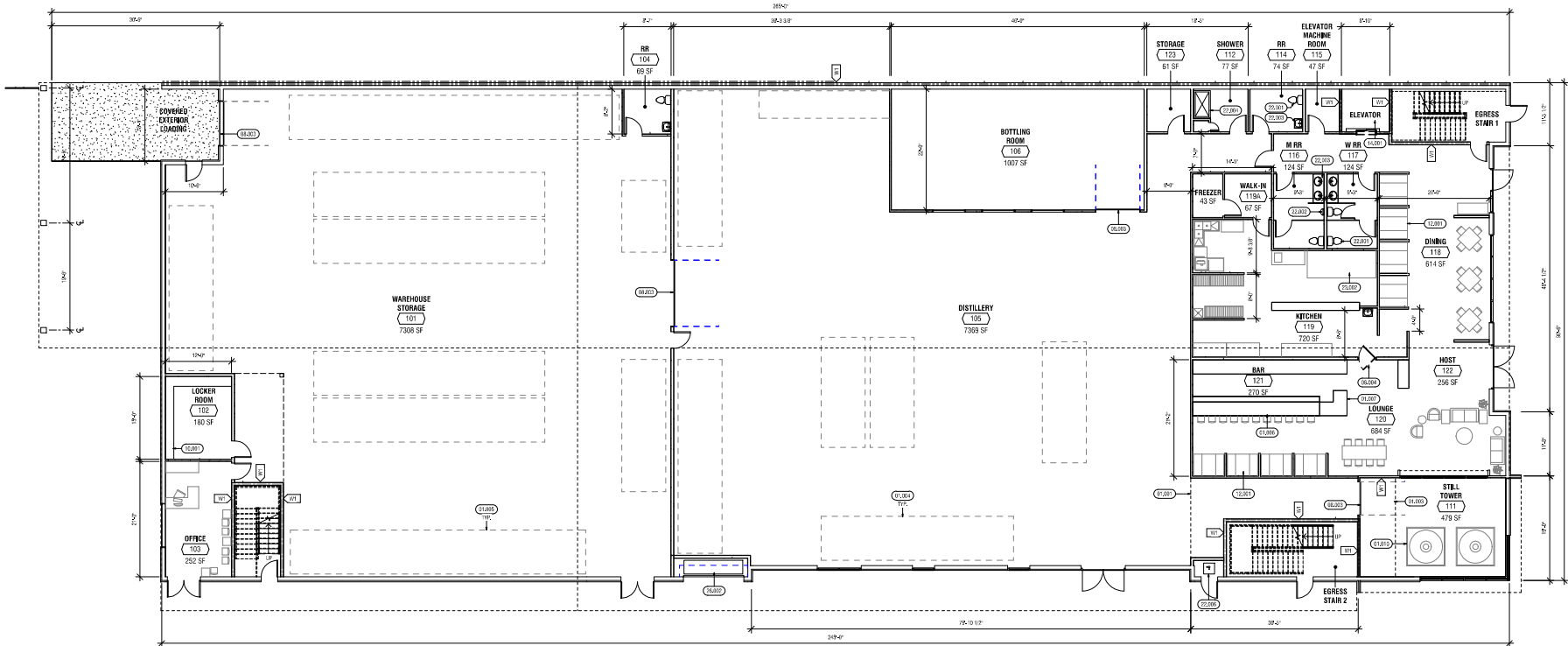
10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

NO.	DATE	REVISION
1	03/20/2024	ARCHITECTURAL SITE PLAN
2	03/20/2024	ARCHITECTURAL SITE PLAN
3	03/20/2024	ARCHITECTURAL SITE PLAN

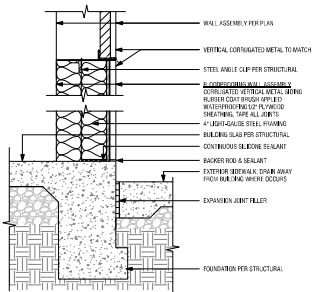
SITE PLAN

A1.0

NOT FOR CONSTRUCTION



1 FLOOR PLAN
 1/12" = 1'-0"



2 FLOODPROOFING @ EXTERIOR WALL
 1/12" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. LOCKER ROOMS SHALL HAVE EXHIBIT RATE OF 50 GPM MINIMUM.
2. ELECTRICAL OUTLETS TO BE PLACED AT 4 FT TO CENTERLINE AND MINIMUM FLOOR FINISH.
3. ELECTRICAL SWITCHES TO BE PLACED AT 4 FT TO CENTERLINE FROM FINISH FLOOR FINISH.
4. DOORS, WINDOWS, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MINIMUM 34" AND A MAXIMUM 48" A.F.F.
5. ALL CEILING WALLS SHALL BE 2x4 FRAMING WITH 1/2" MINIMUM INSULATION OTHER THAN 2x4 LVLs. REFER TO WALL LEGEND.
6. ALL PARTITION WALLS SHALL BE 2x4 FRAMING, TYPICAL LVLs. REFER TO WALL LEGEND.
7. ALL PARTITION WALLS SHALL BE 2x4 FRAMING, TYPICAL LVLs. REFER TO WALL LEGEND.
8. PROVIDE 1/2" MINIMUM AIR SPACE BETWEEN WOOD STRUCTURES AND RETAINING WALLS.
9. PROVIDE 1" MINIMUM AIR SPACE BETWEEN WOOD STRUCTURES AND RETAINING WALLS.
10. PROVIDE 1" MINIMUM AIR SPACE BETWEEN WOOD STRUCTURES AND RETAINING WALLS.
11. THRESHOLD AND LANDING:
 - A. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING DOWN.
 - B. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - C. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - D. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - E. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - F. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - G. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - H. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - I. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - J. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - K. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - L. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - M. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - N. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - O. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - P. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - Q. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - R. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - S. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - T. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - U. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - V. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - W. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - X. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - Y. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.
 - Z. THRESHOLD AND LANDING SHALL NOT EXCEED 2" MAX HEIGHT FOR GOING UP.

KEYNOTES

- 01-010 DASHED OVERHEAD LINE INDICATES EXTENT OF SECOND FLOOR
- 01-011 DASHED LINE INDICATES CANTILEVER OVERLAPPING THE STEEL TRUSS
- 01-012 DASHED LINE INDICATES WALL STORAGE, SHIP-HOLDING TANKS AND FERROUS TANKS
- 01-013 DASHED LINE INDICATES VALLET STORAGE
- 01-014 BAR AND BAR BEARING
- 01-015 ADA MAX MAXIMUM HEIGHT OF 34"
- 01-016 LOCKER LVL
- 01-017 OVERHEAD HOLLOW FLOOR
- 01-018 DOUBLE SLIDING FRENCH DOOR
- 01-019 METAL LOCKING TYPE AND MANUFACTURER TBD
- 01-020 SLIDING FRENCH DOOR
- 01-021 ELEVATOR TYPE AND MANUFACTURER TBD
- 01-022 ACCESSIBLE ROLL-UP CURTAIN WITH 2x4x8 BARS
- 01-023 INSULATION TO BE SUBMITTED
- 01-024 COUNTERSIGNED LAYOUT WITH REQUIRED NOTES AND FOR CLEARANCES PROVIDED
- 01-025 ACCESSIBLE ROLL-UP CURTAIN WITH 2x4x8 BARS AND FLOOR SPACE PROVIDED
- 01-026 PER HEAD PRIMARY LOCAL FAN ROOM LOCATION AND AREA SHALL BE LOCATED FOR ALL FAN ROOM APPLICATION SUBMITTALS
- 01-027 TYPE: FAN ROOM
- 01-028 ELECTRICAL SWITCHGEAR. SEE ELECTRICAL DRAWINGS

EXTERIOR WALL ASSEMBLY SCHEDULE

TYPE	DESCRIPTION
1W1	FIRE RATED WALL

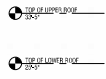
NOT FOR CONSTRUCTION

10 HIGUERA
 10 HIGUERA ST.
 SAN LUIS OBISPO, CA

NO.	DATE	REVISION
1	02/23/23	ISSUE FOR PERMITS SUBMITTAL
2	02/23/23	ISSUE FOR PERMITS SUBMITTAL
3	02/23/23	ISSUE FOR PERMITS SUBMITTAL
4	02/23/23	ISSUE FOR PERMITS SUBMITTAL
5	02/23/23	ISSUE FOR PERMITS SUBMITTAL
6	02/23/23	ISSUE FOR PERMITS SUBMITTAL
7	02/23/23	ISSUE FOR PERMITS SUBMITTAL
8	02/23/23	ISSUE FOR PERMITS SUBMITTAL
9	02/23/23	ISSUE FOR PERMITS SUBMITTAL
10	02/23/23	ISSUE FOR PERMITS SUBMITTAL

FIRST FLOOR PLAN

A2.0



1 SOUTH ELEVATION
1/8" = 1'-0"

SIGN ZONE 1

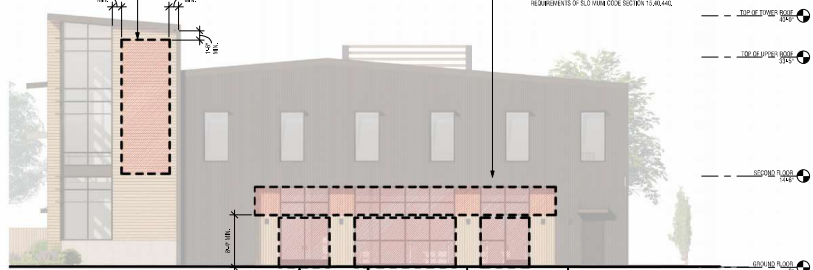
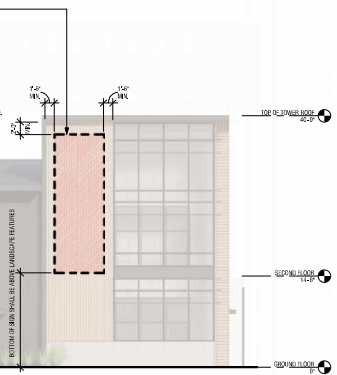
TYPES PERMITTED: WALL MOUNTED SIGNS
NUMBER: 1 SIGN MAXIMUM
MAXIMUM SIZE: 10'0" TOTAL
DESIGN: THESE DIMENSIONAL LETTERS AND/OR LOGO BALANCED AND IN PROPORTION TO SCALE WITH BUILDING ELEVATION WITH CONSIDERATION THAT THEY ARE VIEWED FROM AN OBSCURE ANGLE.
MATERIAL: HIGH QUALITY AND DURABLE MATERIALS THAT ARE COMPLEMENTARY AND/OR SIMILAR TO BUILDING MATERIALS AND DO NOT DETRACT FROM OR OVERSHADOW BUILDING MATERIALS. COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
INSTALLATION: HIGH QUALITY INSTALLATION UNLESS A DIRECT OBJECT OF THE BUILDING IS ATTACHED TO THE BUILDING. ATTACHMENTS SHALL BE SECURED FROM VIEW BY LEAST OBSTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNS SHALL NOT BE CONSIDERED LANDSCAPE FEATURES OR BUILDING ELEMENTS. SIGNS SHALL EXTEND BEYOND EDGE OF BUILDING OR ASSOCIATED DESIGN ELEMENT.

SIGN ZONE 2

TYPES PERMITTED: SIGN PROJECTED HANGING & SUSPENDED
NUMBER: 1 SIGN PER SIGN MAXIMUM
MAXIMUM SIZE: PER SIGN, SIGNETS, SETS OF SIGNS SHALL BE PROPORTIONAL SCALE AND PROPORTION WITH BUILDING AND NOT NEARLY OBSCURE. TRANSPARENT GLASS AND TRANSPARENT WITH SIGNAGE SHOULD BE USED FOR SIGNAGE. SEE FRAMEWORK.
DESIGN: ALL SIGNAGE IN THIS ZONE SHALL BE THE SAME TYPE PER SIGNAGE. SIGNAGE SHALL BE THREE DIMENSIONAL NOT FLAT OR SHINY. MATERIALS SHALL BE COMPLEMENTARY TO BUILDING MATERIALS AND NOT DETRACT FROM OR OVERSHADOW BUILDING MATERIALS. COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
INSTALLATION: HIGH QUALITY INSTALLATION UNLESS A DIRECT OBJECT OF THE BUILDING IS ATTACHED TO THE BUILDING. ATTACHMENTS SHALL BE SECURED FROM VIEW BY LEAST OBSTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNS SHALL NOT BE CONSIDERED LANDSCAPE FEATURES OR BUILDING ELEMENTS. SIGNS SHALL EXTEND BEYOND EDGE OF BUILDING OR ASSOCIATED DESIGN ELEMENT.

SIGN ZONE 4

TYPES PERMITTED: WALL MOUNTED SIGNS
NUMBER: 1 SIGN MAXIMUM
MAXIMUM SIZE: 10'0" TOTAL
DESIGN: THESE DIMENSIONAL LETTERS AND/OR LOGO BALANCED AND IN PROPORTION TO SCALE WITH BUILDING ELEVATION WITH CONSIDERATION THAT THEY ARE VIEWED FROM AN OBSCURE ANGLE.
MATERIAL: HIGH QUALITY AND DURABLE MATERIALS THAT ARE COMPLEMENTARY AND/OR SIMILAR TO BUILDING MATERIALS AND DO NOT DETRACT FROM OR OVERSHADOW BUILDING MATERIALS. COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
INSTALLATION: HIGH QUALITY INSTALLATION UNLESS A DIRECT OBJECT OF THE BUILDING IS ATTACHED TO THE BUILDING. ATTACHMENTS SHALL BE SECURED FROM VIEW BY LEAST OBSTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNS SHALL NOT BE CONSIDERED LANDSCAPE FEATURES OR BUILDING ELEMENTS. SIGNS SHALL EXTEND BEYOND EDGE OF BUILDING OR ASSOCIATED DESIGN ELEMENT.



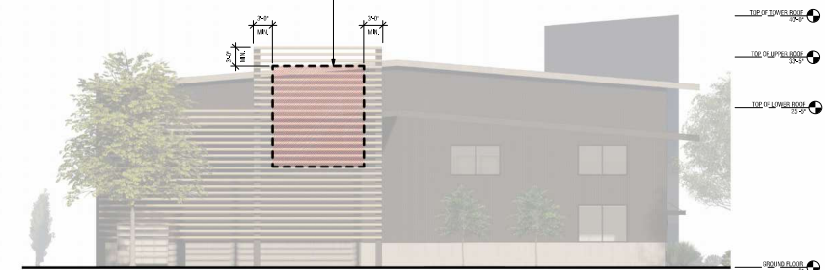
SIGN ZONE 3

TYPES PERMITTED: WINDOW SIGNS
NUMBER: 1 SIGN PER WINDOW MAXIMUM
MAXIMUM SIZE: PER WINDOW, SIGNETS, SETS OF SIGNS SHALL BE PROPORTIONAL SCALE AND PROPORTION WITH BUILDING AND NOT NEARLY OBSCURE. TRANSPARENT GLASS AND TRANSPARENT WITH SIGNAGE SHOULD BE USED FOR SIGNAGE. SEE FRAMEWORK.
DESIGN: ALL SIGNAGE IN THIS ZONE SHALL BE THE SAME TYPE PER SIGNAGE. SIGNAGE SHALL BE THREE DIMENSIONAL NOT FLAT OR SHINY. MATERIALS SHALL BE COMPLEMENTARY TO BUILDING MATERIALS AND NOT DETRACT FROM OR OVERSHADOW BUILDING MATERIALS. COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
INSTALLATION: HIGH QUALITY INSTALLATION UNLESS A DIRECT OBJECT OF THE BUILDING IS ATTACHED TO THE BUILDING. ATTACHMENTS SHALL BE SECURED FROM VIEW BY LEAST OBSTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNS SHALL NOT BE CONSIDERED LANDSCAPE FEATURES OR BUILDING ELEMENTS. SIGNS SHALL EXTEND BEYOND EDGE OF BUILDING OR ASSOCIATED DESIGN ELEMENT.

WALL SIGN ZONE 5

TYPES PERMITTED: WALL MOUNTED SIGNS
NUMBER: 1 SIGN PER SIGN MAXIMUM
MAXIMUM SIZE: PER SIGN, SIGNETS, SETS OF SIGNS SHALL BE PROPORTIONAL SCALE AND PROPORTION WITH BUILDING AND NOT NEARLY OBSCURE. TRANSPARENT GLASS AND TRANSPARENT WITH SIGNAGE SHOULD BE USED FOR SIGNAGE. SEE FRAMEWORK.
DESIGN: ALL SIGNAGE IN THIS ZONE SHALL BE THE SAME TYPE PER SIGNAGE. SIGNAGE SHALL BE THREE DIMENSIONAL NOT FLAT OR SHINY. MATERIALS SHALL BE COMPLEMENTARY TO BUILDING MATERIALS AND NOT DETRACT FROM OR OVERSHADOW BUILDING MATERIALS. COLOR: ALL COLORS SHOULD BE COMPLEMENTARY TO BUILDING MATERIALS AND COLOR.
INSTALLATION: HIGH QUALITY INSTALLATION UNLESS A DIRECT OBJECT OF THE BUILDING IS ATTACHED TO THE BUILDING. ATTACHMENTS SHALL BE SECURED FROM VIEW BY LEAST OBSTRUCTIVE MANNER POSSIBLE.
ADDITIONAL REQUIREMENTS: SIGNS SHALL NOT BE CONSIDERED LANDSCAPE FEATURES OR BUILDING ELEMENTS. SIGNS SHALL EXTEND BEYOND EDGE OF BUILDING OR ASSOCIATED DESIGN ELEMENT.

3 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



WALL MOUNTED SIGN



AWNING SIGN



PROJECTING SIGN



HANGING & SUSPENDED SIGN



WINDOW SIGN

NOTE: THE SIGNS ABOVE ARE EXAMPLES OF SIGNAGE THAT GENERALLY COMPLY WITH THE DESIGN STANDARDS OF THIS SIGNAGE PROGRAM. SEE SIGNAGE FOR SPECIFIC REQUIREMENTS.

4 SIGNAGE TYPE EXAMPLES
3" = 1'-0"

SIGNAGE PROGRAM GENERAL NOTES

1. SIGNAGE IS ONLY PERMITTED IN THE ZONES INDICATED BY THE SIGNAGE PROGRAM MAPS.
2. ALL SIGNAGE SHALL FOLLOW GUIDELINES LATTER IN EACH RESPECTIVE SIGNAGE NOTES ON THESE ZONES INCLUDING SIGNAGE TYPES, HEIGHTS, SPACING, SETS, MATERIALS, COLOR.
3. BUILDING MATERIALS AND FINISHES SHALL BE USED TO MATCH THE BUILDING MATERIALS AND FINISHES.
4. ALL SIGNAGE SHALL BE SECURED FROM VIEW BY LEAST OBSTRUCTIVE MANNER POSSIBLE.
5. ALL SIGNAGE SHALL COMPLY WITH ALL APPLICABLE REGULATIONS IN SAN LUIS OBISPO MUNICIPAL CODE SECTION 15.40.000.
6. ALL SIGNAGE SHALL COMPLY WITH ALL APPLICABLE REGULATIONS IN SAN LUIS OBISPO MUNICIPAL CODE SECTION 15.40.000.

NOT FOR CONSTRUCTION

10
TEN OVER STUDIO, INC
 559 Marsh Street
 San Luis Obispo, CA
 805.541.1010
 info@tenoverstudio.com
 www.tenoverstudio.com

REGISTERED ARCHITECT
NOT FOR CONSTRUCTION
 JAMES J. SHAW
 2/18/2023
 2:30:00 PM
 PROJECT: 10 HIGUERA ST. SAN LUIS OBISPO, CA

10 HIGUERA
 10 HIGUERA ST.
 SAN LUIS OBISPO, CA

PROJECT NO.	2023-00
PREPARED BY	JMS
DATE	2/18/2023
SCALE	AS SHOWN
PROJECT NO.	10 HIGUERA ST. SAN LUIS OBISPO, CA
DATE	2/18/2023

SIGNAGE PROGRAM

A3.1



01 - VIEW FROM ENTRY



02 - VIEW FROM PLAZA



03 - VIEW FROM PARKING AREA



04 - VIEW FROM LOADING AREA

10

**TEN OVER
STUDIO, INC**
559 Marsh Street
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com
www.tenoverstudio.com



THIS DOCUMENT IS THE PROPERTY OF TEN OVER STUDIO, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TEN OVER STUDIO, INC.

10 HIGUERA
10 HIGUERA ST.
SAN LUIS OBISPO, CA

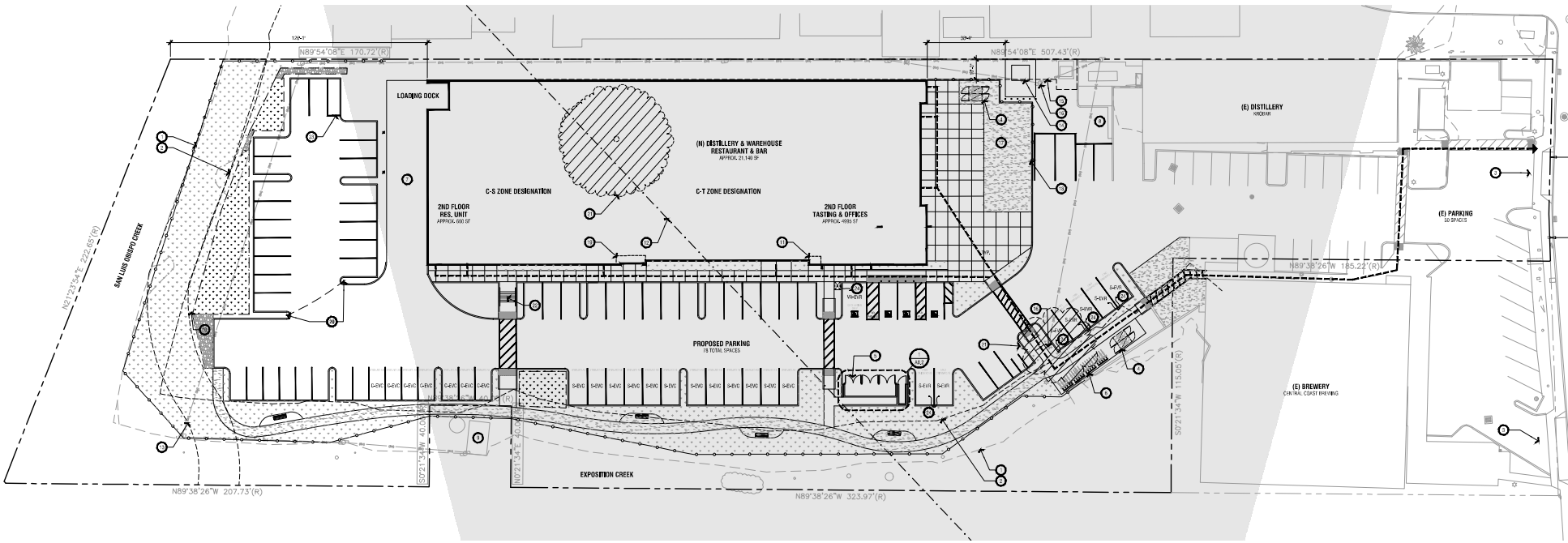
PROJ.#: 2023-000
DRAWN BY: EM
CHECKED BY: MB

NO. DATE REVISIONS
1 10/2023 ARCHITECTURAL CONCEPT
2 10/2023 ARCHITECTURAL CONCEPT
3 10/2023 ARCHITECTURAL CONCEPT

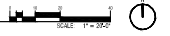
PERSPECTIVE
IMAGES

A4.0

NOT FOR CONSTRUCTION



1 SITE PLAN



KEYNOTES

- TOP OF CREEK BANK LINE
- 20' SETBACK LINE FROM TOP OF CREEKBANK
- (E) DRIVEWAY, NOT A PART OF THIS PROJECT
- LONG TERM (5+ YEAR) PARKING (IN TOTAL) 2 EA
- TROUGH ENCLOSURE TO COMPLY WITH CITY OF SAN LUIS OBISPO CITY ENGINEERING STANDARDS BY PROVIDING ADEQUATE BENCH TO STORE TRUCKS AND TRAILERS FOR WASTE, RECYCLING, DISCARDS, AND FUEL. PER CITY OF SAN LUIS OBISPO ENGINEERING AND IS A MAINTENANCE CONC TO BE MAINTAINED THROUGHOUT THE PROJECT.
- SHORT TERM (1-5 YEAR) PARKING: PEAK TRUCK OR TRAILER 10' STYLE BACK, ONE 5 EA
- BACK-UP TRAMP TO LOADING DOCK
- MECHANICAL PAD UNDER FUTURE TENANT IMPROVEMENT PERMIT
- (E) PUMP HOUSE TO REMAIN, NOT IN SCOPE
- FLAG POLE
- FIRE RISER PENETRATORY LOCATION: FLAG ROOM LOCATION AND RISER SHALL BE LOCATED FOR BUILDING PERMIT AND FIRE DEPARTMENT.
- (E) ZONE BOUNDARY, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- EXTENT OF FUTURE BIKELANES TRAIL EASEMENT THROUGH SITE
- (N) TRANSFORMER
- PUMP EASEMENT
- UTILITY POLE TO REMAIN, PROTECT IN PLACE
- DECOMPOSED GRANITE
- 10' FOOT FALL DECORATIVE LAMBSKIN FINISH AT OUT ROOF AREA
- SWITCHGEAR LOCATION
- INCLUDE AND CHANGELINE LOCATION AT DRIVEWAY PARKING, ON-THE-SPOT PARKING SHALL REMAIN LOCATED WITH CONVALENTS DURING CONSTRUCTION
- (E) PERMANENT TREES TO BE REMOVED, IN CASE SEE ARBORIST REPORT FOR TREE REMOVAL AND TREE PROTECTION INFORMATION
- CONCRETE STAIRS WITH HANDRAIL
- ACCESS TO PUMP EASEMENT ON NORTHERN PROPERTY LINE
- (N) LOCATION OF FUTURE ELECTRICAL VEHICLE CHARGING STATION (EVCS)

ARCHITECTURAL SITE PLAN LEGEND

- FLOOD SHADOW
- LANDSCAPE AREA
- STORMWATER TREATMENT LANDSCAPE AREA
- CONCRETE AS ENTRY PLAZA
- (S) PROPERTY LINE, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- (E) ZONE BOUNDARY, REFER TO ATTACHED LOT LINE ADJUSTMENT DOCUMENT
- (S) CREEK/STREAM BEDROCK LINE
- (S) FENCE - OPTICAL COATED CHAIN LINK, COLOR BLACK
- (E) ARRIVAL POINT PATH OF TRAFFIC FROM DRIVEWAY AND OFF-ROADSIDE ROUTE FROM LOT TRAIL

ARCHITECTURAL SITE PLAN GENERAL NOTES

1. REFER TO SHEET 2 FOR PARKING DIMENSIONS AND FINISHES.
2. REFER TO SAN LUIS OBISPO CITY ENGINEERING STANDARDS FOR WASTE, RECYCLING, DISCARDS, AND FUEL. PER CITY OF SAN LUIS OBISPO ENGINEERING AND IS A MAINTENANCE CONC TO BE MAINTAINED THROUGHOUT THE PROJECT.
3. REFER TO SHEET 3 FOR FUTURE IMPROVEMENTS AND FINISHES.

10 TEN OVER STUDIO, INC
 559 Marsh Street
 San Luis Obispo, CA
 805.541.1010
 info@tenoverstudio.com
 www.tenoverstudio.com

RELEASED ARCHITECTURAL SITE PLAN
 NOT FOR CONSTRUCTION
 JULIUS STUBER ARCHITECTS
 2370223
 10/10/2023

10 HIGUERA
 10 HIGUERA ST.
 SAN LUIS OBISPO, CA

NO.	DATE	SUBMITTAL
1	10/10/2023	ARCHITECTURAL SITE PLAN
2	10/10/2023	ARCHITECTURAL SITE PLAN
3	10/10/2023	ARCHITECTURAL SITE PLAN

SITE PLAN

A1.0

NOT FOR CONSTRUCTION



Tree Protection Plan

for

10 Higuera Street
San Luis Obispo, CA 93401

Prepared for:

Ten Over Studio, Inc.

Neil Miller

539 Marsh Street

San Luis Obispo, CA 93401

Prepared by:

Sam Oakley

ISA Board Certified Master Arborist # WE-9474B

ASCA Registered Consulting Arborist #556

The Oakley Group LLC

PO Box 2412

Pismo Beach, CA 93448

February 2, 2024

Project Assignment

This report was prepared for the proposed project at 10 Higuera Street within the city-limits of San Luis Obispo. The proposed project consists of the development of a 21,900-sf commercial building and associated site improvements on an existing 2.96-acre lot.

As part of a Project Completeness Letter issued by the City of San Luis Obispo on August 10, 2023, you were asked to identify all tree removals on the site plan (as described in Municipal Code Section 12.24.090(D)(2)) as well as submit a tree removal application and arborist report for review by the City Arborist.

This report identifies the proposed removals related to the project and provides additional tree protection guidelines to successfully retain trees that are directly adjacent to the project/property.

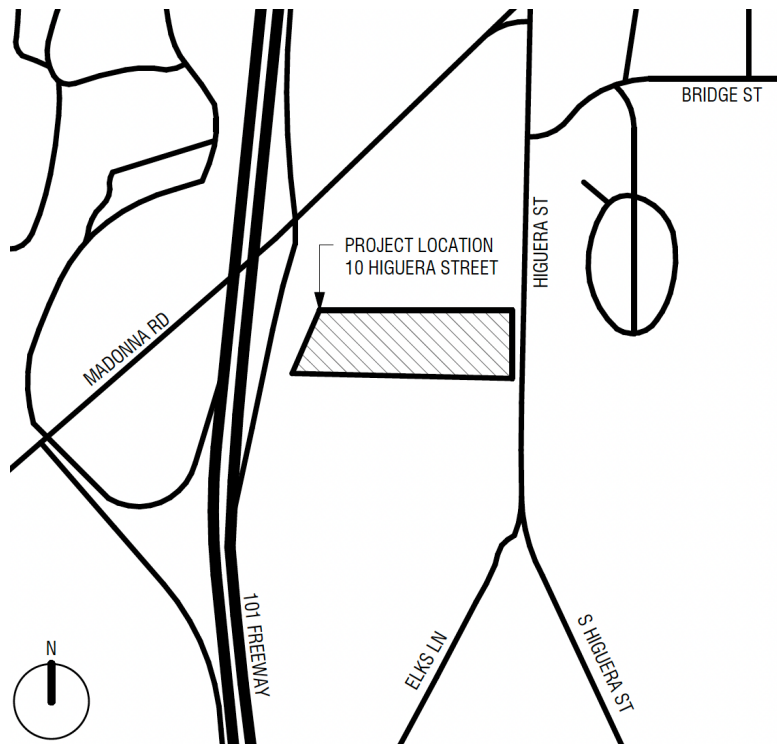


Figure 1: 10 Higuera Street. Courtesy of Ten Over Studio, Inc.

Analysis

1. Site Visit on August 25, 2023.
2. Identify tree location, species, trunk diameter at 4.5 feet above grade, and size.
3. Digitally image trees & their surroundings.
4. Evaluate trees and their surroundings.
5. Analysis of basic impacts based on a discussion about the scope of the project.

Site Description

The project location is situated between 101 highway and Higuera Street. Directly south of the property is a cemetery, and to the north is a CalTrans corporate yard. The property is bordered to the east and south by Exposition Creek and San Luis Creek, respectively.

There are two existing buildings on the Higuera Street-side of the property housing a distillery and brewery. The rear portion of the property, where the proposed development is to occur, is an unmaintained open field (Fig. 2). The rear of the lot faces a perennial stream that is densely vegetated.

The lot is sparsely vegetated with a large pepper tree prominently growing towards the middle of the lot, another pepper in the southwest corner of the lot, and overgrowth towards the back and south-side of the property. There are no structures on the property (Fig. 3).



Figure 2: looking southeast across the open lot toward exposition creek.



Site Plan

I reviewed the preliminary Site Plan prepared by Ten Over Studios, dated July 14, 2023. The main structure is to be built directly over the location of Tree 1 towards top of the property. Tree 2 is located at the southwest corner of the project and is in the footprint of the proposed parking lot.

Although there are trees located in San Luis Creek and Exposition Creek, the impact will be negligible if basic tree protection is performed as outlined in this report. A fence will help mitigate any encroachment into the creek trees' critical root zones.

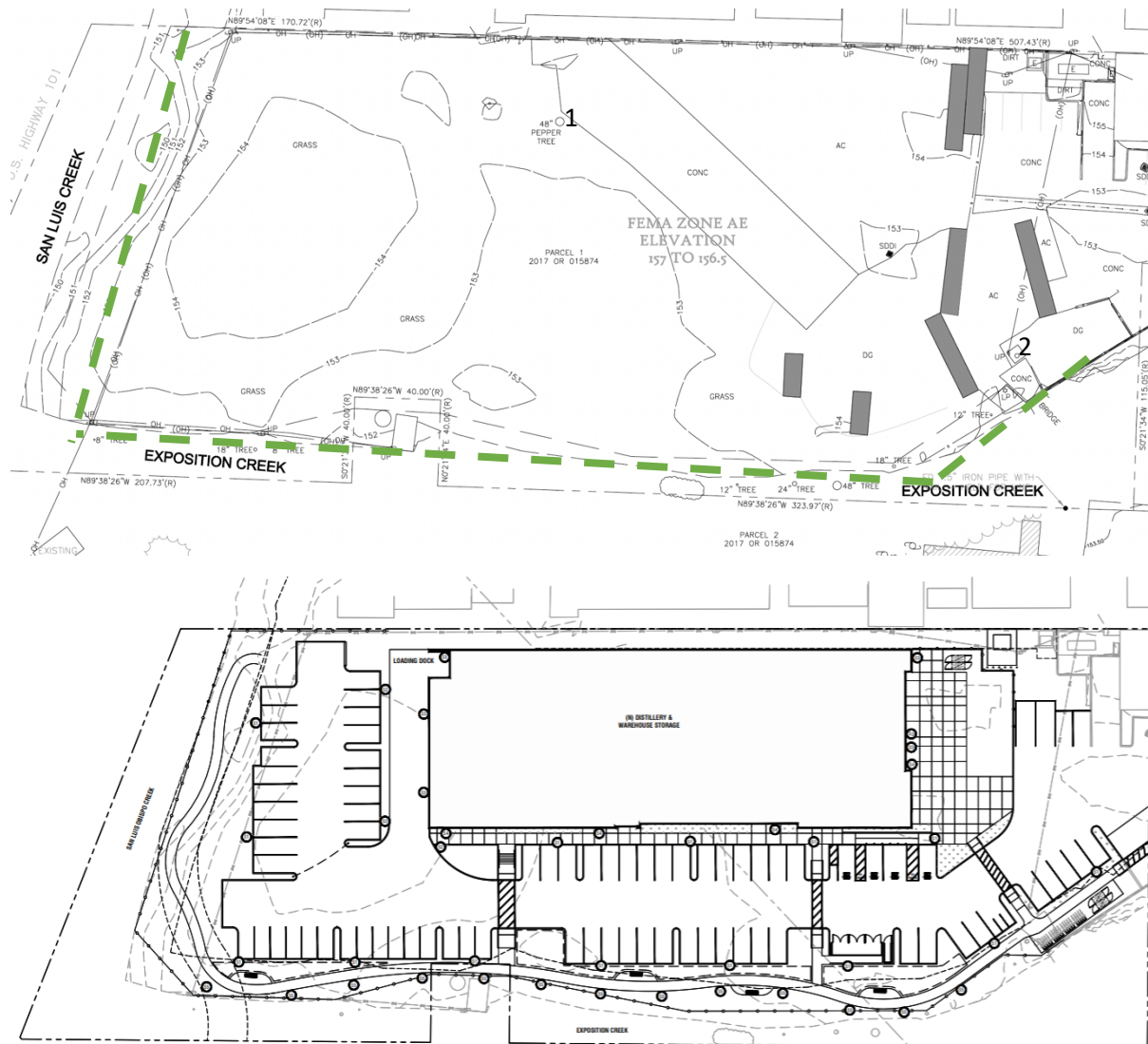


Figure 3: (top) site plan of existing conditions—numbered tree locations for removal. Tree protection locations in green. (bottom) A site plan of the proposed site improvements.

Tree Disposition

The two (2) trees on-site will need to be removed due to proposed improvements that cannot be reasonably designed to avoid the need for tree removal.

These trees are:

Tree 1 is a *Schinus mole* (Peruvian pepper) in good health, structure, and form. It is 48-inches in diameter at standard height (4.5-feet above natural grade).

Tree 2 is also *Schinus mole* (Peruvian pepper) in good health but fair structure and poor form. The issues with the tree's form and structure have been created by clearance pruning for overhead utilities, creating an off-balanced tree. It is 36-inches in diameter at standard height (4.5-feet above natural grade).

The Peruvian pepper tree, as a species, is mildly invasive and can be problematic near washes, creeks, and waterways. These trees may need to be mitigated 1:1 with the appropriate size and species of tree. I recommend placing replacements on the creek-side and perimeter of the property to provide screening from adjacent properties.

The proposed improvements have the potential to impact creek trees that are to be preserved. These impacts can be mitigated by erecting tree protection fencing along the boundary of the existing top of bank.



Figure 4: Tree 1 located towards the center of the lot.



Figure 5: Tree 2 located along the south property line.

Tree Protection Measures

The objective of this section is to reduce the negative impacts of construction on trees to a less than significant level. Trees vary in their ability to adapt to altered growing conditions, while mature trees have established stable biological systems in the preexisting physical environment. Disruption of this environment by construction activities interrupts the tree's physiological processes, causing depletion of energy reserves and a decline in vigor. This sometimes is exhibited as death.

The tree protection regulations are intended to guide a construction project to ensure that appropriate practices will be implemented in the field to eliminate undesirable consequences that may result from uninformed or careless acts and preserve both trees and property values.

The following details are required to be implemented prior to any construction activities:

The Project Arborist or contractor shall verify, in writing, that all preconstruction conditions have been met (tree fencing, erosion control, pruning, etc.).

Fenced enclosures shall be erected around trees to be protected to achieve three primary goals:

- To keep the foliage crowns and branching structure of the trees to be preserved clear from contact by equipment, materials, and activities. Dead, diseased, and dying material may be pruned at this time.
- Preserve roots intact and maintain proper soil conditions in a non-compacted state and;
- To identify the tree protection zone (TPZ) in which no soil disturbance is permitted, and activities are restricted.

Tree Protection Zone (TPZ)

Each tree to be preserved shall have a designated TPZ identifying the area sufficiently large enough to protect the tree and roots from disturbance. The recommended TPZ area can be determined by the CRZ formula of 10 X diameter at 4.5-feet above grade.

Because multiple trees have a shared canopy footprint, the TPZ can be joined together into one fenced area.

The TPZ shall be shown on all site plans for the project. Improvements or activities such as paving, utility and irrigation trenching and other ancillary activities shall occur outside the TPZ, unless authorized by the Project Arborist. Unless otherwise specified, the protective fencing shall serve as the TPZ boundaries.

Activities prohibited within the TPZ include:

Storage or parking vehicles, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots. Poisonous materials include, but are not limited to, paint, petroleum products, concrete or stucco mix, dirty water or any other material which may be deleterious to tree health.

The use of tree trunks as a winch support, anchorage, as a temporary power pole, signposts, or other similar function.

Cutting of tree roots by utility trenching, foundation digging, placement of curbs and trenches and other miscellaneous excavation without prior approval of the Project Arborist.

Activities required within the TPZ include:

Mulching: Any wood chips generated on-site from the proposed removals will need to remain on-site and can be spread within the TPZ of trees to remain that are within the building envelope. The mulch shall be spread within the TPZ to a maximum six (6) inch depth, while leaving the trunk clear of mulch. This mulch will help inadvertent compaction and soil moisture loss from occurring.

Irrigation, aeration, fertilizing or other beneficial practices that have been specifically approved for use within the TPZ.

Size and type of fence

A sturdy, temporary barrier should be placed around the tree dripline until construction activities are done. This detail shall appear on grading, demolition, and improvement plans (Figs. 5 & 6).

The fence shall enclose as much of the area under the canopy dripline as possible, being set up under the direction of the Project Arborist and to remain throughout the duration of the project, or until final improvement work within the area is required, typically near the end of the project. If the fencing must be located on the edge of paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

Tree Protection Fencing locations are shown in the above Site Plan section of this report. Exact dimensions will need to be determined in the field during job set-up in coordination with the Project Arborist.

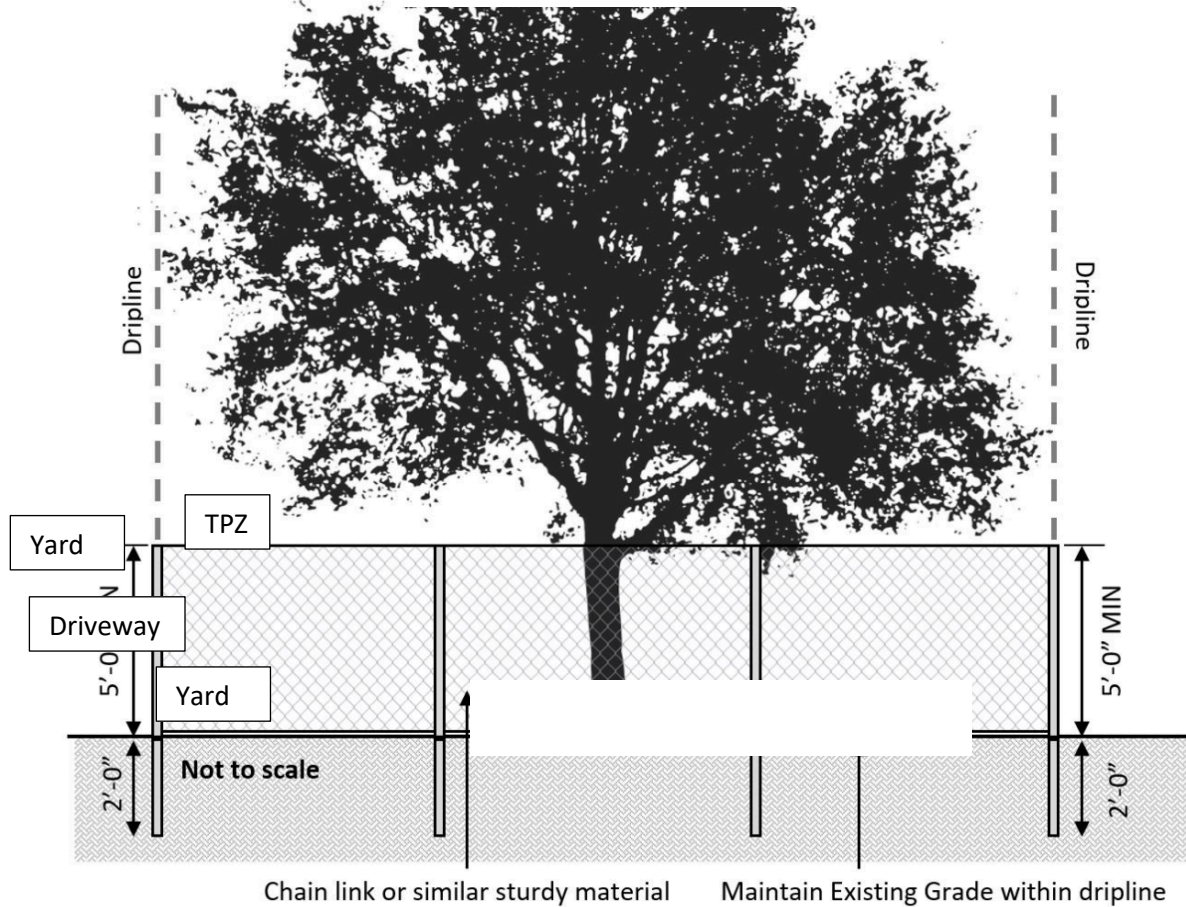


Figure 5: tree protection detail showing the modified Tree Protection Zone to accommodate the area required for the driveway. Tree Protection Zone and driveway are to be installed prior to any construction activity to ensure their proper function of protecting the protected oaks.

Duration of Tree Protection Fencing

Tree fencing shall be erected prior to demolition, grading or construction and remain in place until final inspection.

“Warning” Signage

Warning signs a minimum of 8.5x11-inches shall be prominently displayed on each fence. The sign shall clearly state:

WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a penalty.

Tree protection fencing, if required to be moved, must be moved under the direction of the Project Arborist. All tree protection zones need to be clear of debris and construction materials, and cleared of weeds regardless of if fencing is present or not.

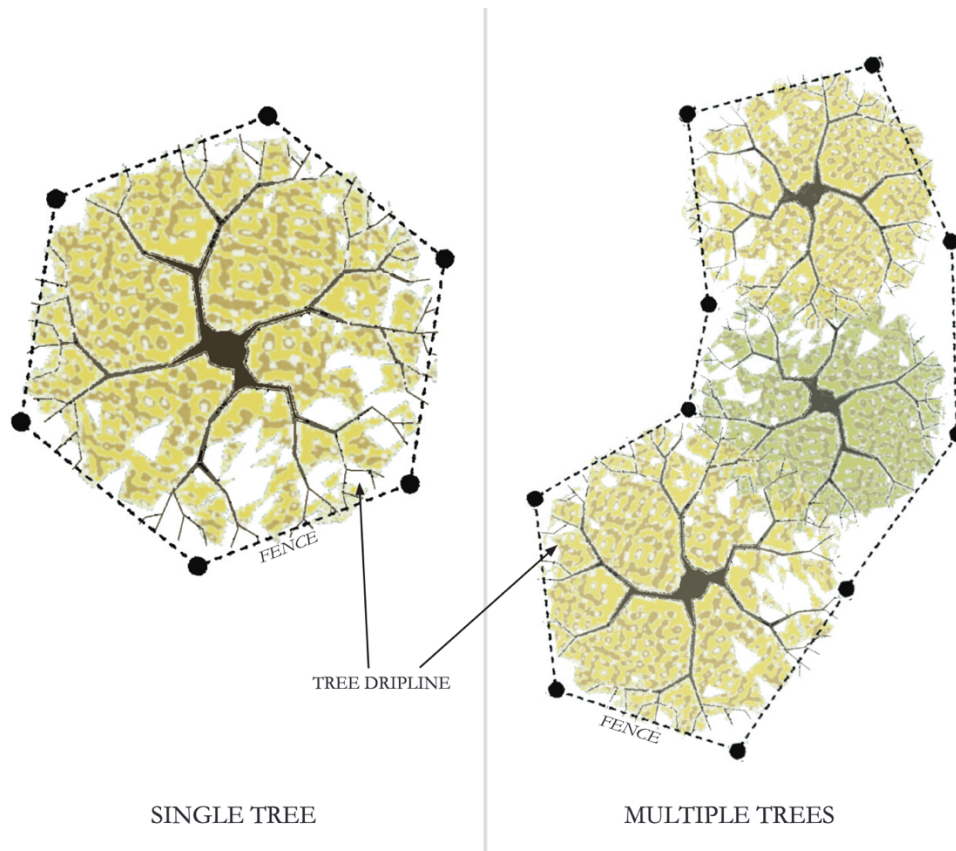


Figure 6: tree protection detail in plan-view.

Pruning, Surgery & Removal

Prior to construction, trees may require that branches be pruned clear from proposed/existing structures, activities, building encroachment or may need to be strengthened by means of mechanical support (cabling) or surgery. Such pruning, surgery or the removal of trees shall adhere to the following standards:

Pruning limitations:

Minimum Pruning: If the Project Arborist recommends that trees be pruned, and the type of pruning is left unspecified, the standard pruning shall consist of 'crown cleaning' as defined by ISA Pruning Guidelines. Trees shall be pruned to reduce hazards and develop a strong, safe framework.

Maximum Pruning: Maximum pruning should only occur in the rarest situation approved by the Project Arborist. No more than one-fourth (1/4) of the functioning leaf and stem area may be removed within one

(1) calendar year of any tree, or removal of foliage to cause the unbalancing of the tree. It must be recognized that trees are individual in form and structure, and that pruning needs may not always fit strict rules. The Project Arborist shall assume all responsibility for special pruning practices that vary from the standards outlined in this TPP.

Tree Workers: Pruning shall not be attempted by construction or contractor personnel.

Activities During Construction & Demolition Near Trees

Soil disturbance or other injurious and detrimental activity within the TPZ is prohibited unless approved by the Project Arborist. If an injurious event inadvertently occurs, or soil disturbance has been specifically conditioned for project approval, then the following mitigation is required:

Soil Compaction: If compaction of the soil occurs, it shall be mitigated as outlined in Soil Compaction Damage, and/or Soil Improvement.

Grading Limitations within the Tree Protection Zone:

Grade changes outside of the TPZ shall not significantly alter drainage to the tree.

Grade changes within the TPZ are not permitted.

Trenching, Excavation & Equipment Use

Excavation or boring activity within 5-feet of the TPZ is restricted to the following activities, conditions and requirements if approved by the Project Arborist:

Notification. Contractor shall notify the Project Arborist a minimum of twenty-four (24) hours in advance of the activity in the TPZ.

Root Severance. Roots that are encountered shall be cut to sound wood and repaired. Roots two (2) inches and greater must remain injury free. See the section below.

Excavation. Any approved excavation, demolition or extraction of material shall be performed with equipment sitting outside the TPZ. Methods permitted within 5-feet of the TPZ are by hand digging, hydraulic or pneumatic air excavation technology only. Avoid excavation within the TPZ during hot, dry weather.

If excavation or trenching within 5-feet of the TPZ for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots two (2) inches in diameter and greater.

Heavy Equipment. Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited.

Root Severance

Cutting and removal of roots within 5-feet of the TPZ that are smaller than two (2) inches in diameter shall be done by chain saw or hand saw to provide a flat and smooth cut and cause the least damage possible to



the root and tree's health. Cutting roots by means of tractor-type equipment or other than chain saws and hand saws is prohibited.

Proper pruning technique shall encourage callusing of the roots. Root cutting and removal shall not exceed thirty-five (35) percent of total root surface of the tree.

The Contractor shall remove any wood chips or debris that may be left over from root removal.

If any roots over two (2) inches in diameter are severed during any excavation, the following procedure shall be followed:

The roots shall be shaded by immediately covering the entire trench with plywood, or by covering the sides of the trench with burlap sheeting that is kept moist by watering twice per day.

When ready to backfill, each root shall be severed cleanly with a handsaw. Where practical, they should be cut back to a side root. Immediately, a plastic bag shall be placed over the fresh cut and secured with a rubber band or electrical tape. Shading should immediately be placed until backfilling occurs.

Plastic bags shall be removed prior to backfilling.

Backfill shall be clean, native material free of debris, gravel, or wood chips.

If roots three (3) inches in diameter, or larger, are encountered during excavation, Contractor shall contact the Project Arborist and request a field inspection, or their designated representatives, and obtain instruction as to how the roots should be treated. No roots three (3) inches in diameter, or larger, shall be cut and removed without prior approval from the Project Arborist, or their designated representatives.

Damage to Trees - Reporting

Any damage or injury to trees shall be reported immediately to the Project Arborist and job superintendent so that mitigation can take place. All mechanical or chemical injury to branches, trunk or to roots over two (2) inches in diameter shall be reported to the Project Arborist. In the event of injury, the following mitigation and damage control measures shall apply:

Root injury: If trenches are cut and tree roots two (2) inches or larger are encountered they must be cleanly cut back to a sound wood lateral root. The end of the root shall be covered with either a plastic bag and secured with tape or rubber band or be coated with latex paint. All exposed root areas within the TPZ shall be backfilled or covered within one (1) hour. Exposed roots may be kept from drying out by temporarily covering the roots and draping layered burlap or carpeting over the upper three (3) feet of trench walls. The materials must be kept wet until backfilled to reduce evaporation from the trench walls.

Bark or trunk wounding: Current bark tracing and treatment methods shall be performed by a qualified tree care specialist within two (2) days.

Scaffold branch or leaf canopy injury: Remove broken or torn branches back to an appropriate branch capable of resuming terminal growth within five (5) days. If leaves are heat scorched from equipment exhaust pipes, consult the Project Arborist within six (6) hours.

Any damage to any tree's canopy will need to be restoratively pruned effective immediately after the damage occurs and no later than 48 hours after the damage occurs.

Inspection Schedule

The Project Arborist retained by the applicant shall conduct the following required inspections of the construction site:

Inspections shall verify that the type of tree protection and/or plantings are consistent with the standards outlined within this report. For each required inspection or meeting, a written summary of the changing tree related conditions, actions taken, and condition of trees shall be provided to the contactor.

Inspection of Protective Tree Fencing & Pre-Construction Meeting: Prior to commencement of construction, the contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading equipment operators, and the Project Arborist.

Inspection of Rough Grading: The Project Arborist shall perform an inspection during rough grading adjacent to the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage, and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the Project Arborist at least forty-eight (48) hours advance notice of such activity.

Any special activity within the Tree Protection Zone: Work in this area (TPZ) requires the direct on-site supervision of the Project Arborist.

Conclusion

It is the nature of trees exposed to construction that some do not survive, and mortality cannot be predicted. If due care is exercised, all the trees on the project are expected to remain healthy and alive.

Certification

I, Sam Oakley, CERTIFY to the best of my knowledge and belief:

1. That the statements of fact contained in this plant appraisal are true and correct.
2. That the analysis, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and that they are my personal, unbiased professional analysis, opinions, and conclusions.
3. That I have no present or prospective interest in the plants that are the subject of this analysis and that I have no personal interest or bias with respect to the parties involved.
4. That my compensation is not contingent upon a predetermined value or direction in value that favors the cause of the client, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of a subsequent event.
5. That my appraisal is based on the information known to me at this time. If more information is disclosed, I may have further opinions.



Public Works Urban Forest Services

25 Prado Road, San Luis Obispo, CA 93401-3218
805.781.7220
Trees@slocity.org

For Office Use Only:
Date Entered: ___/___/___
Letter sent: ___/___/___
SR # _____

TREE REMOVAL APPLICATION
RESIDENTIAL, COMMERCIAL, DEVELOPMENT

Follow Non-Construction Tree Removal Criteria and Process here (SLOMC 12.24.090.E)
Follow Construction Tree Removal Criteria and Process here (SLOMC 12.24.090.F)

Owner: KEITH SWEENEY Applicant: KEITH SWEENEY
Address: 225 EL RANCHITO LANE Address: 225 EL RANCHITO LANE
City: SAN LUIS OBISPO Zip: 93401 City: SAN LUIS OBISPO Zip: 93401
Phone: 415.740.4984 Phone: 415.740.4984
Email: KEITH@SWEENEYPLUMBING.COM Email: KEITH@SWEENEYPLUMBING.COM
Address of Tree(s): 10 HIGUERA Number of trees applying to remove? 2
Tree Species: PERUVIAN PEPPER TREE
Reason: DO NOT WORK WITH THE PROPOSED DEVELOPMENT, PLEASE REFER TO ARBORIST REPORT
Is this removal a City Tree? YES X NO UNKNOWN Dog in yard? YES X NO
Is this property governed by a Homeowners Association (HOA)? YES X NO If YES, please provide HOA Board Approved Meeting minutes authorizing tree removal(s) with your tree removal application.

ALL ITEMS BELOW MUST BE INCLUDED TO PROCESS TREE REMOVAL APPLICATION:
List of requirements with checkboxes: Tree(s) must be banded with ribbon or duct tape, Site Plan Drawing or Photo of Tree site with Tree ID, Supporting documentation, Photo Log showing damage or conditions for removal, Replanting Plan.
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.
FAILURE TO KEEP TREES BANDED MAY RESULT IN A RETURNED APPLICATION.




1 Please include a photo log that clearly shows the trees requested for removal. All Tree(s) must be uniquely identified by a number and a ribbon or an identifier wrapped around the trunk in the photo and prior to inspection



2 Please include a replanting plan in accordance with Section 12.24.090(J) of the City's Municipal Code. A minimum of one new tree shall be planted for each tree authorized to be removed on the same property (on site) or two new trees shall be planted for each tree authorized to be removed when planted on a different property or within the public right-of-way (off site).

Tree Removal Decisions as outlined in Section [12.24.090](#) of the City's Municipal Code

	SELECT ONE CRITERIA FROM BELOW SUPPORTING TREE REMOVAL APPLICATION	DECISION MAKER	APPEAL BODY
	Imminent Hazard to Life or Property Section 12.24.090(E)(1)(a)	City Arborist	No Appeal
	Tree Health and Hazard Mitigation Section 12.24.090(E)	City Arborist	Tree Committee
	Minor Ministerial Development Permit (removal for residential or accessory construction on an R-1 or R-2 lot) Section 12.24.090(F)(1)	City Arborist	Community Development Director
	Criteria for Discretionary Permits Construction Tree Removal Section 12.24.090(F)(3)	Community Development Director	Planning Commission City Council
X	Major Development / Tentative Tract Map/ Conditional Use Permit Section 12.24.090(F)(4)	Community Development Director	City Council

Please include a check for \$157.17 along with completed application & documentation. Tree Removal applications may be submitted in person at 25 Prado Road at the City's Corporation Yard in SLO or mailed to:

City of San Luis Obispo
Public Works Urban Forest Services
25 Prado Road
San Luis Obispo, CA 93401.

This tree removal application must be signed by the property owner or an Authorized Agent. **I declare under penalty of perjury that all the facts stated within this tree removal application are true and correct.**

Property Owner's Signature: Keith Sweeney Date: 3.19.24

Applicant's Signature: Keith Sweeney Date: 3.19.24

Please make check payable to the [City of San Luis Obispo](#) \$157.17 Check # _____

For Office Use Only

Date Posted:	Date Removal Authorized:
Trees Approved for Removal:	
Compensatory Replant Plan:	
Trees for Tree Committee Review:	